

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

September 30, 2022

Project Team

Owner/Developer:
Joint Venture between Fickling & Company, Inc. and Novare Group
 577 Mulberry Street
 Suite 1100
 Macon, Georgia 31201
 Phone: 478-748-9421
 Fax: 478-742-2015

Contact: Todd Andersen
 E-mail: TAndersen@novaregroup.com

Contact: Bobby Cleveland
 E-mail: bcleveland@fickling.com

Contact: Ross Rabun
 E-mail: rrabun@fickling.com

General Contractor:
T.B.D.

Contact:
 E-mail:

Contact:
 E-mail:

Architect:
SGN+A, Inc.
 315 West Ponce de Leon Avenue
 Suite 755
 Decatur, Georgia 30030
 Phone: 404-373-7370
 Fax: 404-373-7372

Contact: Jim Moran
 E-mail: jmoran@sgnplusa.com

Landscape Architect:
SGN+A, Inc.
 315 West Ponce de Leon Avenue
 Suite 755
 Decatur, Georgia 30030
 Phone: 404-373-7370
 Fax: 404-373-7372

Contact: Brian Nonemaker
 E-mail: bnonemaker@sgnplusa.com

Structural Engineer:
Davis & Church, LLC
 1400 Union Hill Road
 Alpharetta, Georgia 30005
 Phone: 770-642-1213
 Fax: 770-752-8891

Contact: Matt Church
 E-mail: mchurch@davis-church.com

Mechanical, Electrical, and Plumbing Engineer:
Jordan and Skala Engineers, Inc.
 4275 Shackleford Road
 Suite 200
 Norcross, Georgia 30093
 Phone: 770-447-5547
 Fax: 770-448-0262
Direct Consultants to the Owner:

Contact: Ross Bush
 E-mail: rbush@jordanskala.com

Project Code Data

Project Data Sheet

Bldg #	Type	A1: four story	A1: walk ups	A2: four story	A2: walk ups; direct entry garage	A3: four story	A3 : carraige	B1: four story	B1: walk ups	B2: four story	B2: walk ups; direct entry garage	C	Total per Bldg	Direct entry garages	Bway entry garage	Detached garage
1	retail															
2	II		12		2				6				20	2		
3	I						2						2		2	4
4	I						2						2		2	4
5	V	12		8		8			4	20			52			
6	I						2						2		2	4
7	IV								12		2	10	24	2		
8	IV								12		2	10	24	2		
9	I						2						2		2	4
10	I						2						2		2	4
11	II		12		2				6				20	2		
12	III				2				22				24	2		
13	I						2						2		2	4
14	I						2						2		2	4
15	II		12		2				6				20	2		
16	II		12		2				6				20	2		
17	I						2						2		2	4
18	I						2						2		2	4
19	IV								12		2	10	24	2		
20	V	12		8		8		4		20			52			
		24	48	16	10	16	18	4	86	40	6	30	298	16	18	36
					132				136			10.1%			70	
					44.3%				45.6%						23.5%	



Planning • Architecture
 Landscape Architecture

SGN+A, Inc.
 315 W. Ponce De Leon Avenue
 Suite 755
 Decatur, Georgia 30030
 Tel: 404.373.7370
 Fax: 404.373.7372
 www.sgnplusa.com

Revisions:

Date: Description:

Date	Description

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

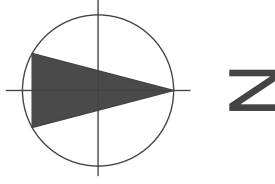
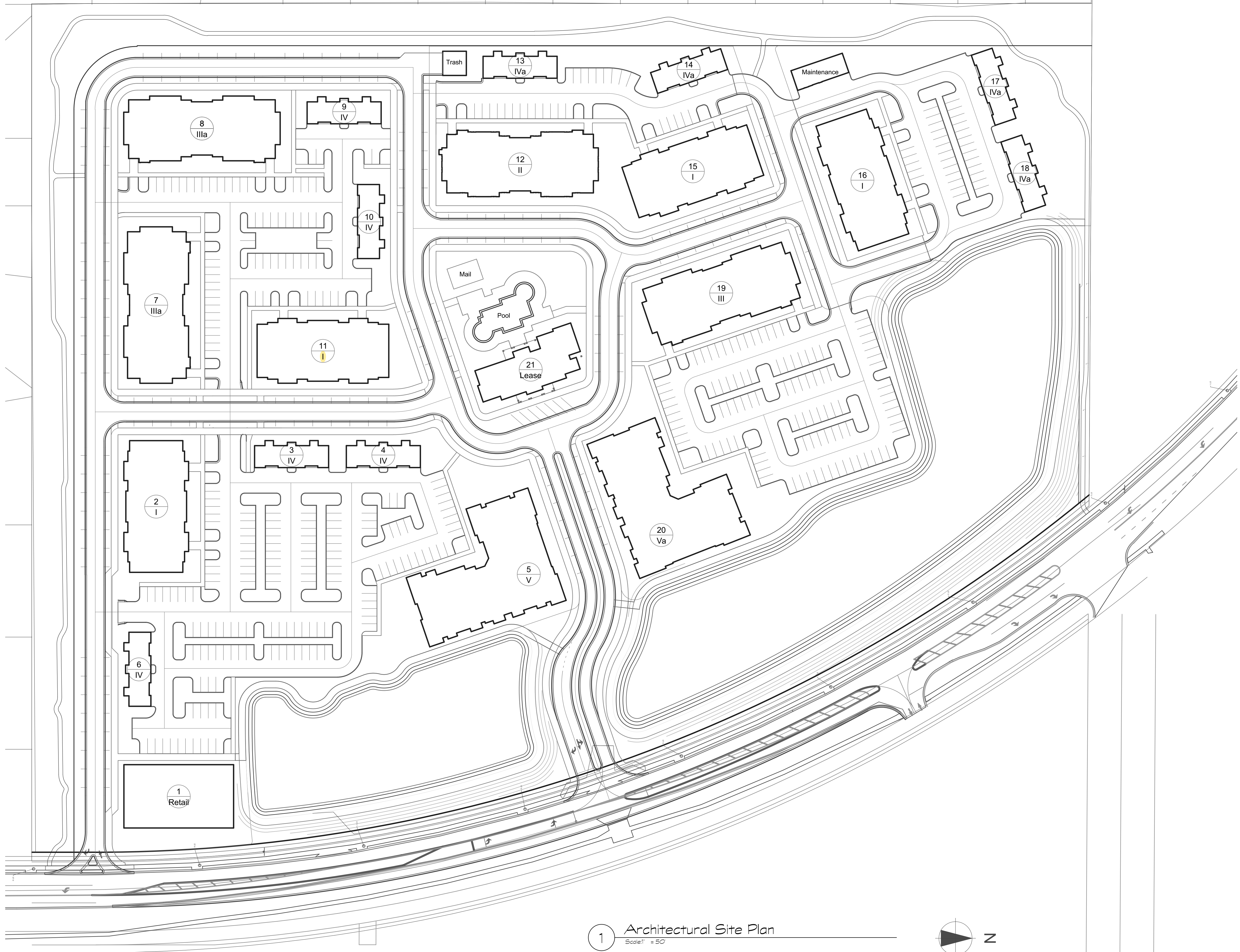
Sheet Title:
Architectural Site Plan

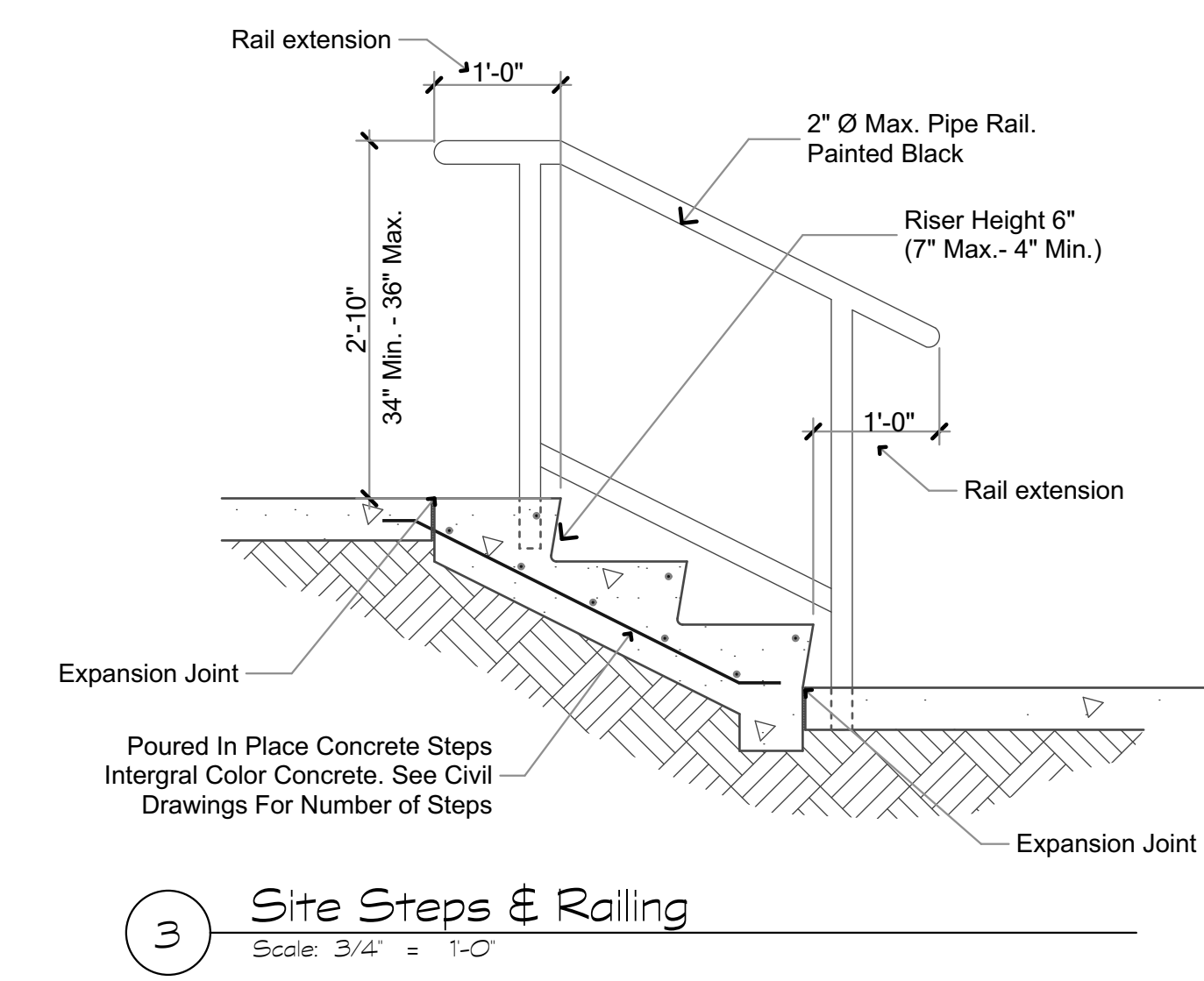
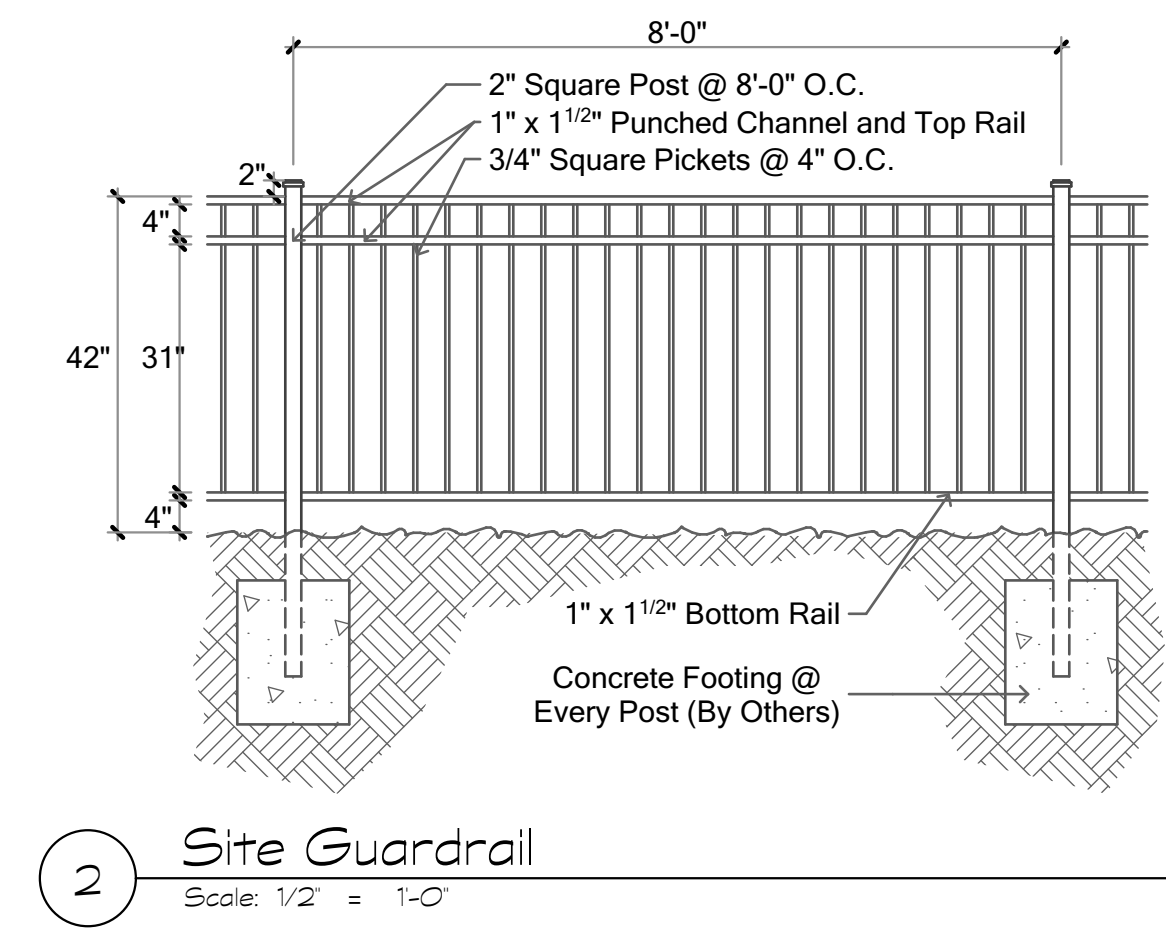
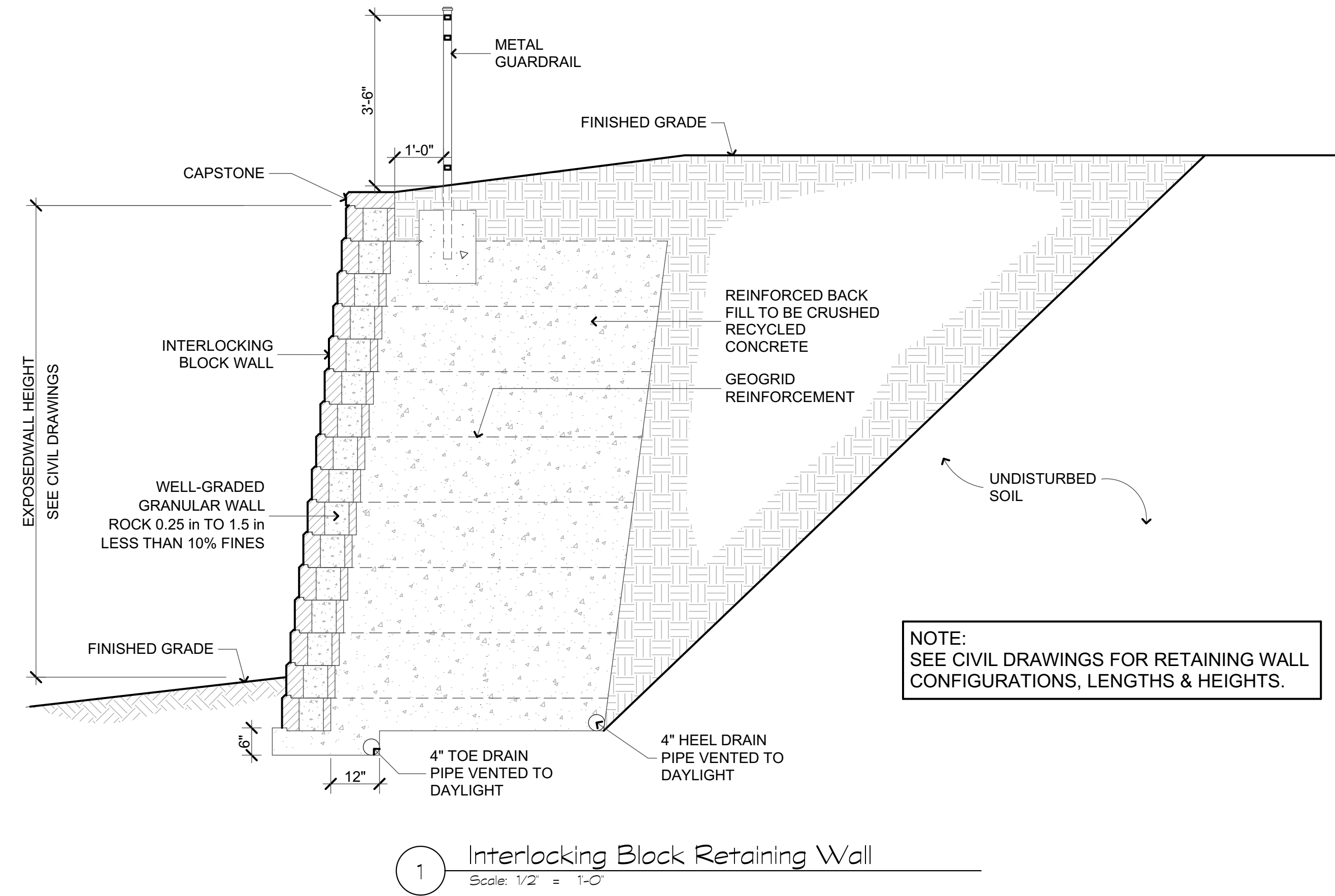
Date:
September 30, 2022

Sheet Number:

A1.1

Not Released for Construction





Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Site Details

Date:
September 30, 2022

Sheet Number:

A1.2

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

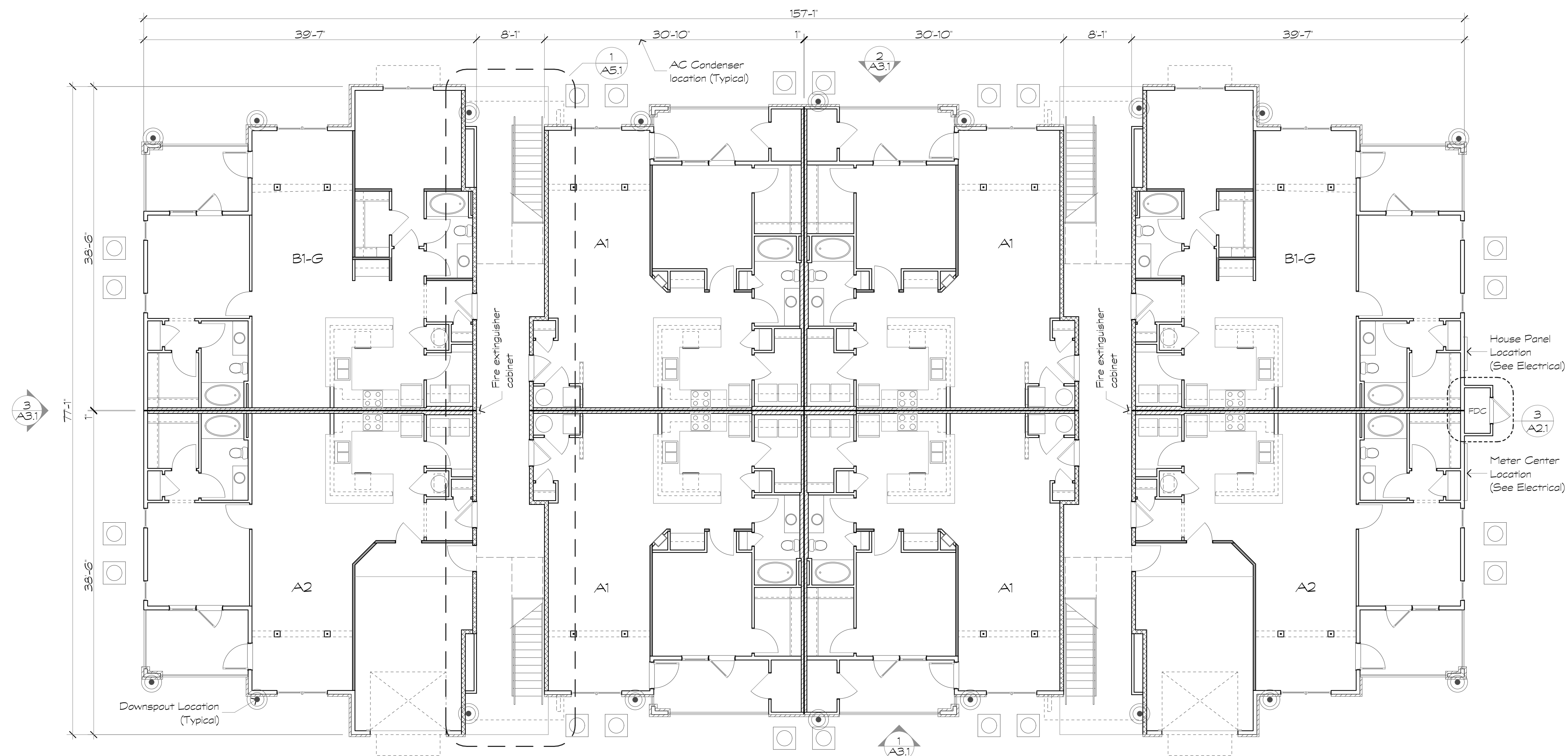
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Building Plans, Type I,
First & Second Level Plans

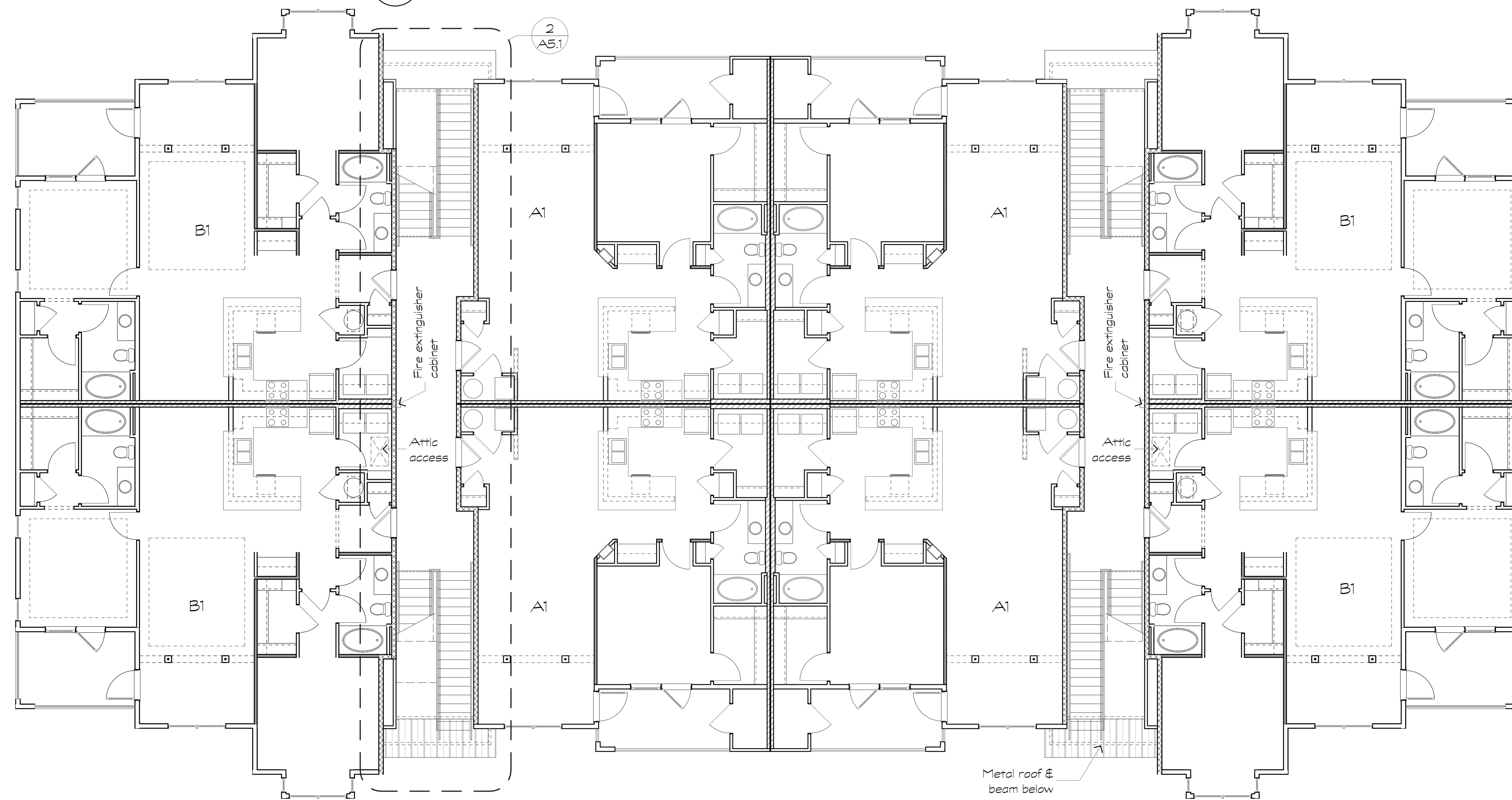
Date:
September 30, 2022

Sheet Number:

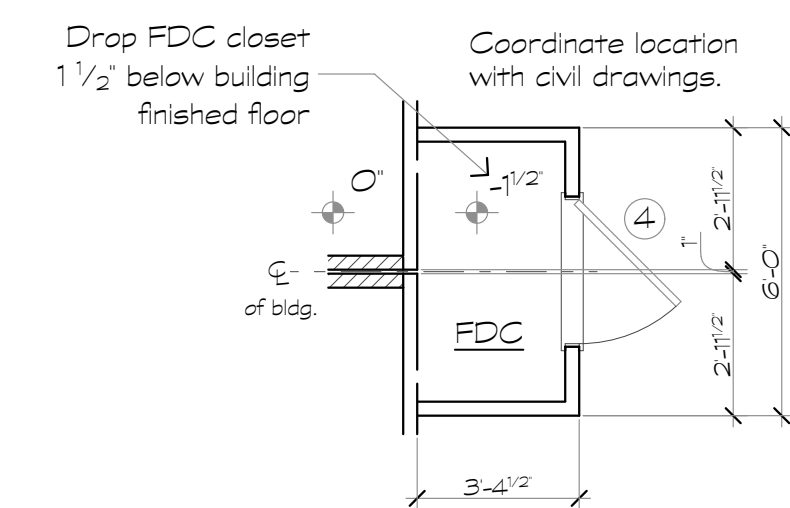
A2.1



1 Building Type I
Scale: 1/8" = 1'-0" First Level



2 Building Type I
Scale: 1/8" = 1'-0" Second Level



3 FDC Type I
Scale: 1/4" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

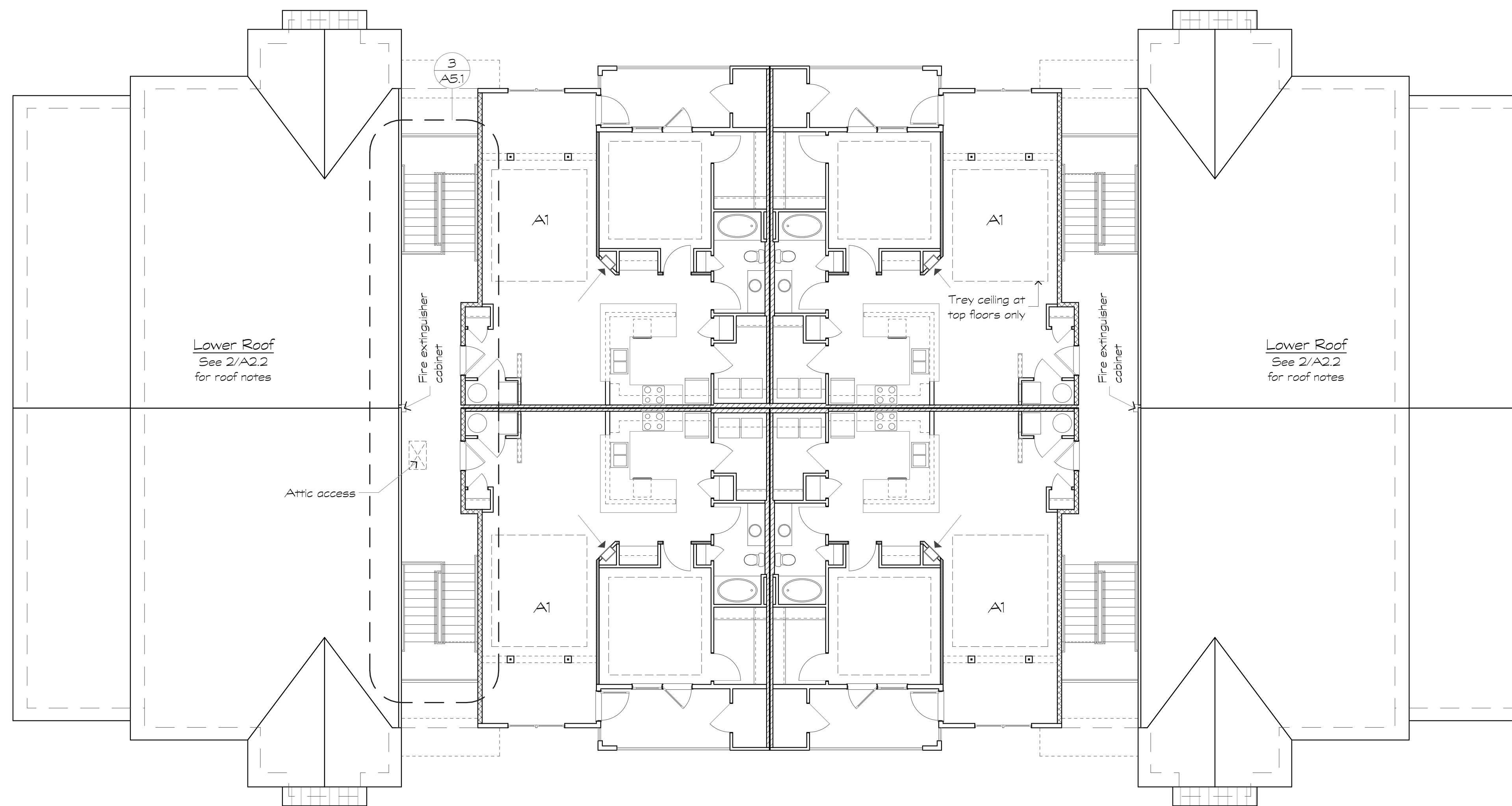
Sheet Title:
Building Plans, Type I,
Third Level Plan &
Roof Plan

Date:
September 30, 2022

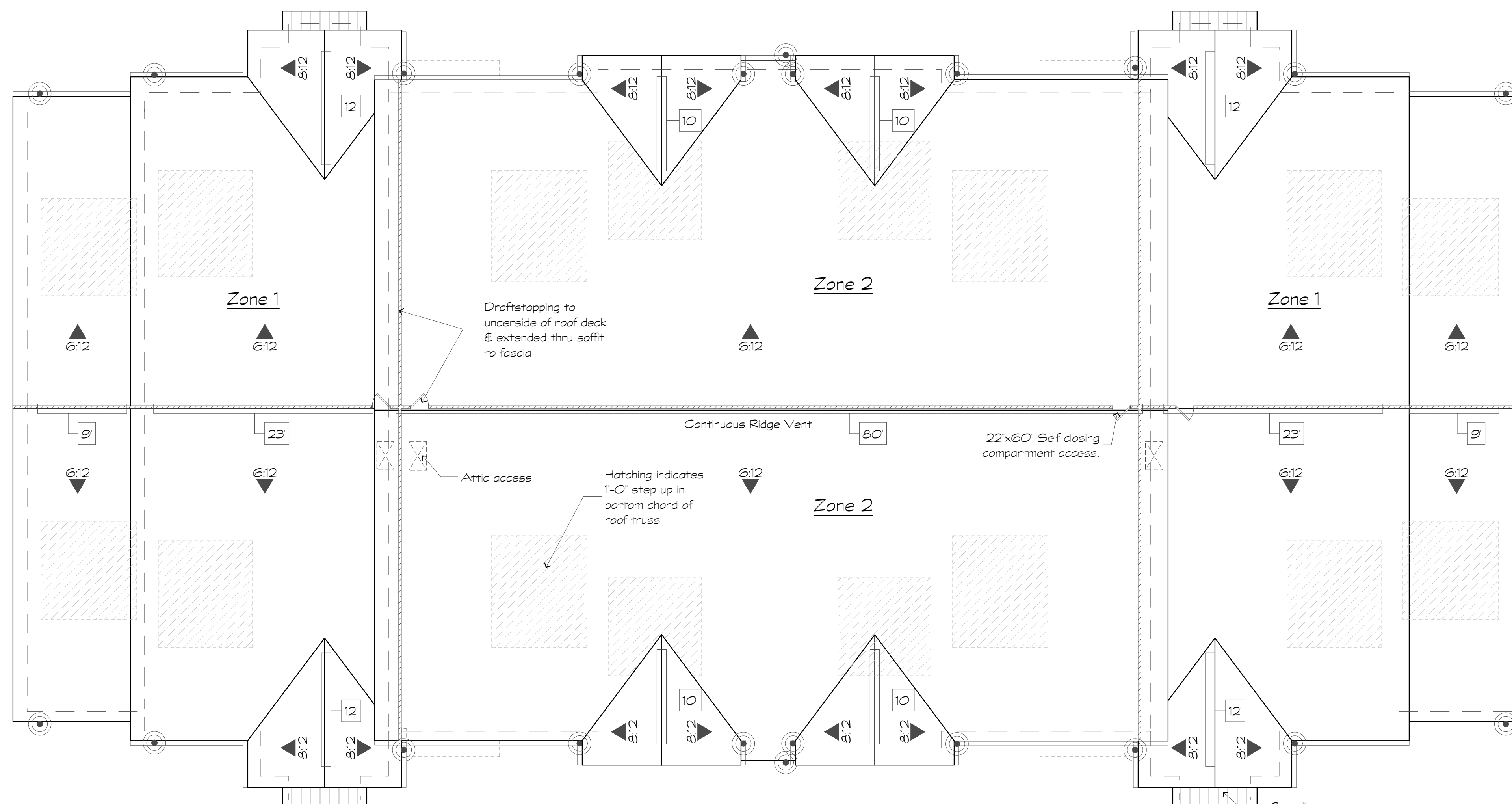
Sheet Number:

A2.2

Not Released for Construction



1 Building Type I
Scale: 1/8" = 1'-0"
Third Level



2 Building Type I, Roof Plan
Scale: 1/8" = 1'-0"

Roof Plan Notes

1. Pitch & Slope Direction Symbol
2. Indicates draftstopping locations - above and in line with tenant separation wall. Note draftstopping is only required at one side of the breezeway.
3. Continuous ridge vent w/18 square inches of ventilating area per lineal foot.
4. Ridge vent length in lineal feet
5. 5" egee gutter & 3"x4" downspout locations
6. Off ridge vent w/34 square inches of ventilating area per lineal foot.

Building Type I - Roof Vent Calculations	
Roof Area to be Vented, Zone 1	2663
Min. Net Ventilation Area (1/300)	at 1/300 sf = 8.88
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.	162 = 20.25
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.	68 = 8.50
Continuous Ridge Ventilation @ 18 sq. in./in. ft.	56 = 7.00
Total Ventilation Provided	= 35.75
Roof Area to be Vented, Zone 2	2784
Min. Net Ventilation Area (1/300)	at 1/300 sf = 9.28
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.	69 = 8.63
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.	17 = 2.13
Continuous Ridge Ventilation @ 18 sq. in./in. ft.	60 = 7.50
Total Ventilation Provided	= 18.25

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

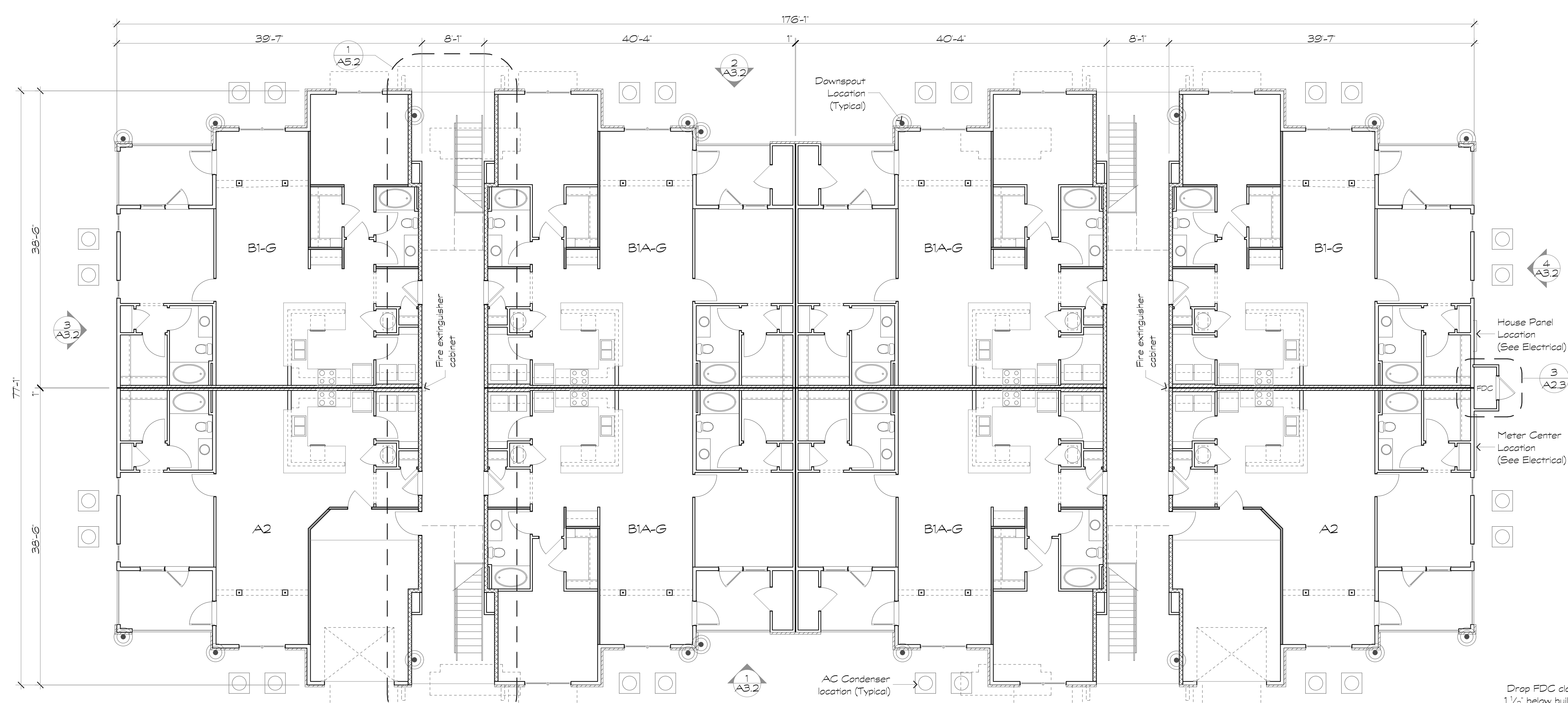
Sheet Title:
Building Plans, Type II, First & Second Level Plans

Date:
September 30, 2022

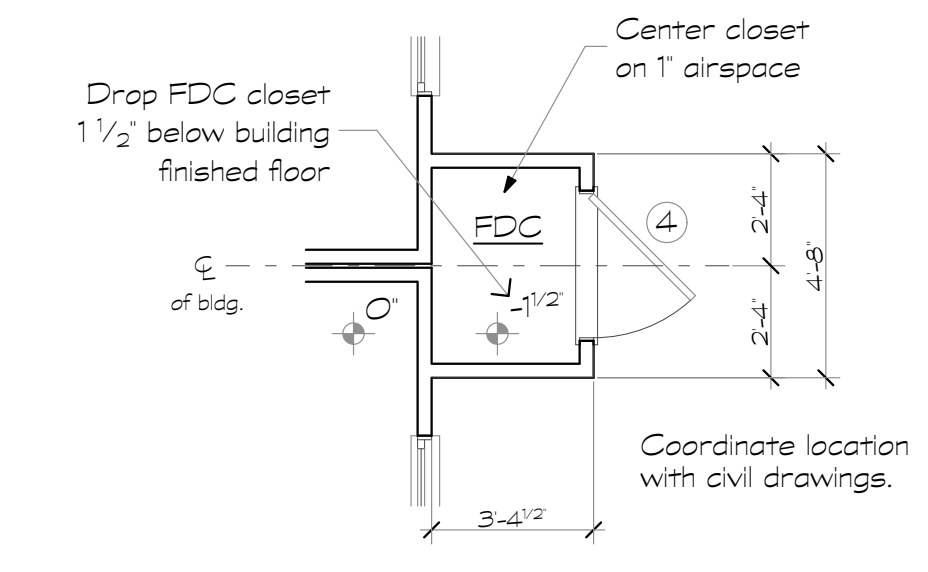
Sheet Number:

A2.3

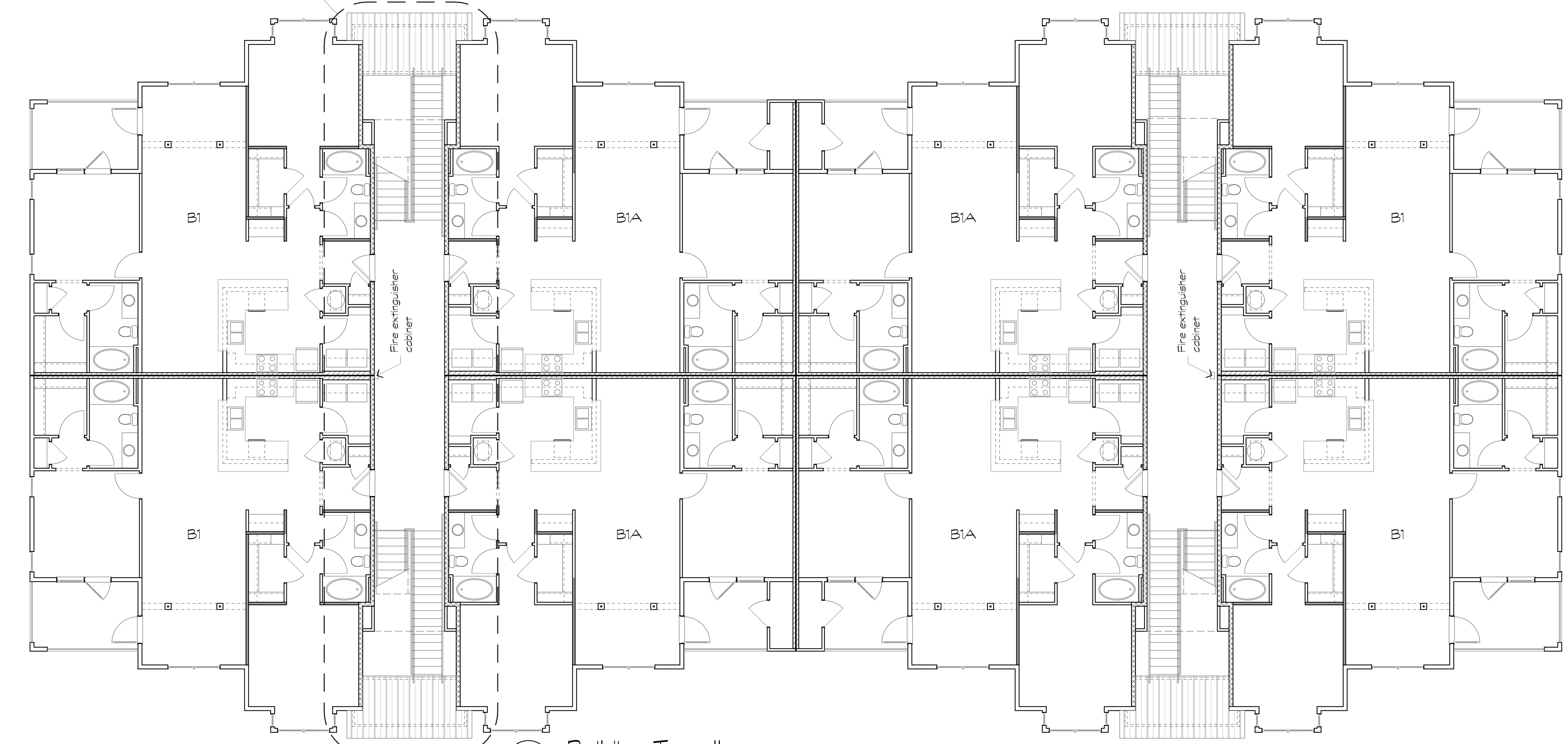
Not Released for Construction



1 Building Type II
Scale: 1/8" = 1'-0"
First Level



3 FDC Type II
Scale: 1/4" = 1'-0"



2 Building Type II
Scale: 1/8" = 1'-0"
Second Level

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

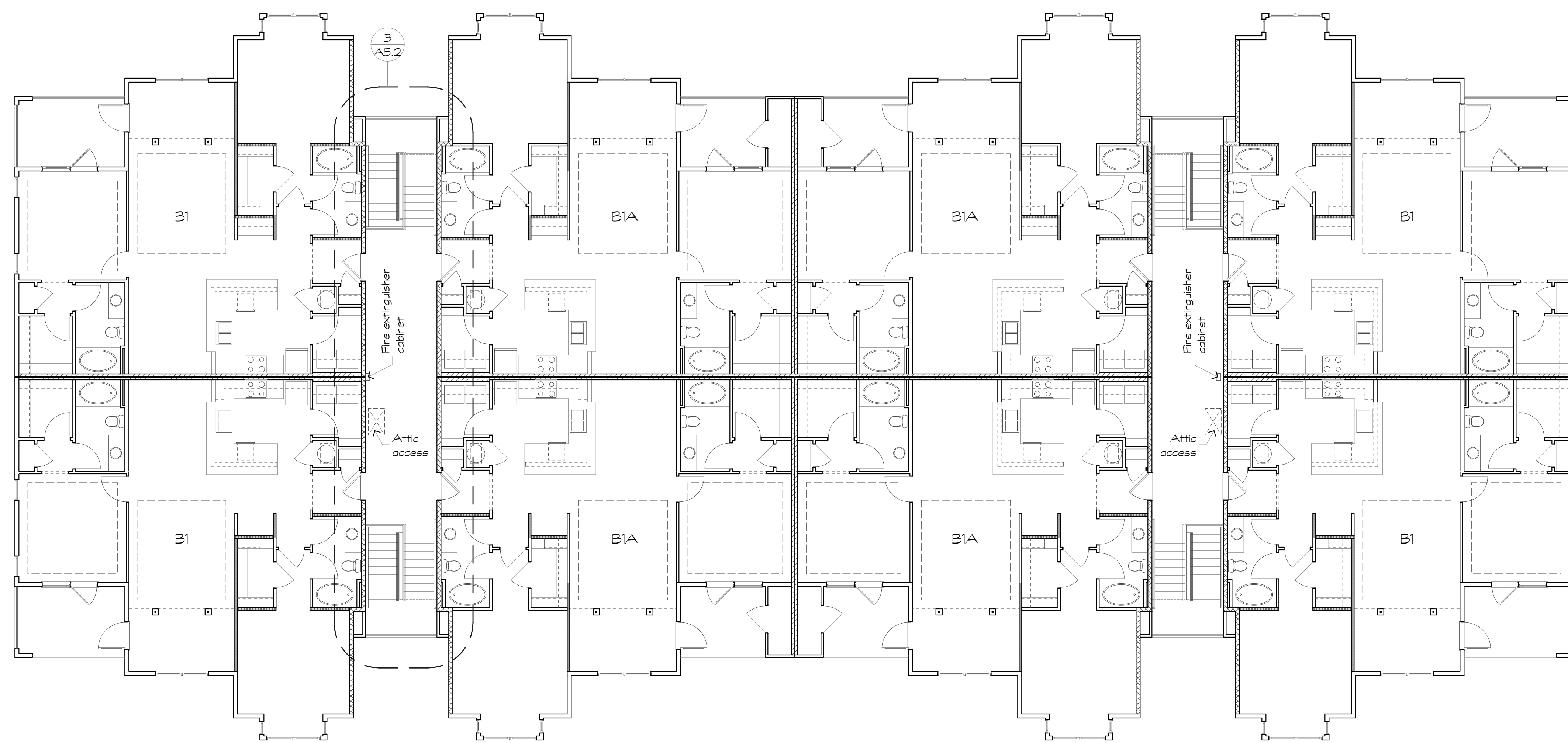
Sheet Title:
Building Plans, Type II, Third Level Plan & Roof Plan

Date:
September 30, 2022

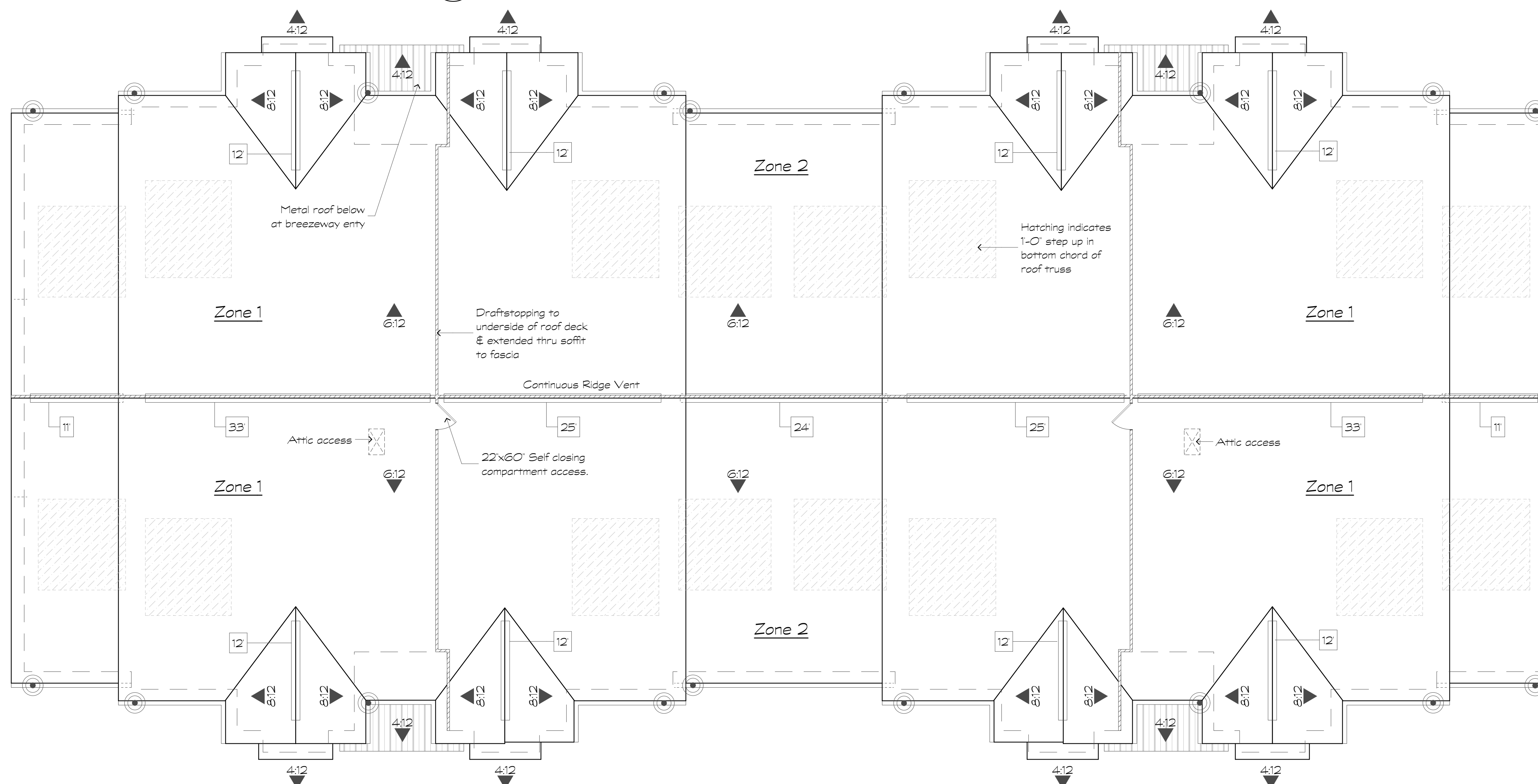
Sheet Number:

A2.4

Not Released for Construction



1 Building Type II
Scale: 1/8" = 1'-0" Third Level



2 Building Type II
Scale: 1/8" = 1'-0" Roof Plan

Roof Plan Notes

1. Pitch & Slope Direction Symbol
2. Indicates draftstopping locations - above and in line with tenant separation wall. Note draftstopping is only required at one side of the breezeway.
3. Continuous ridge vent w/18 square inches of ventilating area per lineal foot.
4. Ridge vent length in lineal feet
5. 5" ogee gutter & 3"x4" downspout locations
6. Off ridge vent w/34 square inches of ventilating area per lineal foot.

Building Type II - Roof Vent Calculations	
Roof Area to be Vented, Zone 1	1606
Min. Net Ventilation Area (1/300)	at 1/300 sf = 5.35
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.	91 = 11.38
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.	16 = 2.00
Continuous Ridge Ventilation @ 18 sq. in./in. ft.	34 = 4.25
Total Ventilation Provided	= 17.63
Roof Area to be Vented, Zone 2	2750
Min. Net Ventilation Area (1/300)	at 1/300 sf = 9.17
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.	75 = 9.38
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.	16 = 2.00
Continuous Ridge Ventilation @ 18 sq. in./in. ft.	61 = 7.63
Total Ventilation Provided	= 19.00

Revisions:

Date: Description:

Construction Documents

**Lullwater at
Ft. Clarke
Apartments**

Ft. Clarke, Florida

A Residential
Development by: Ft.
Clarke Apartments
Residences, LLC

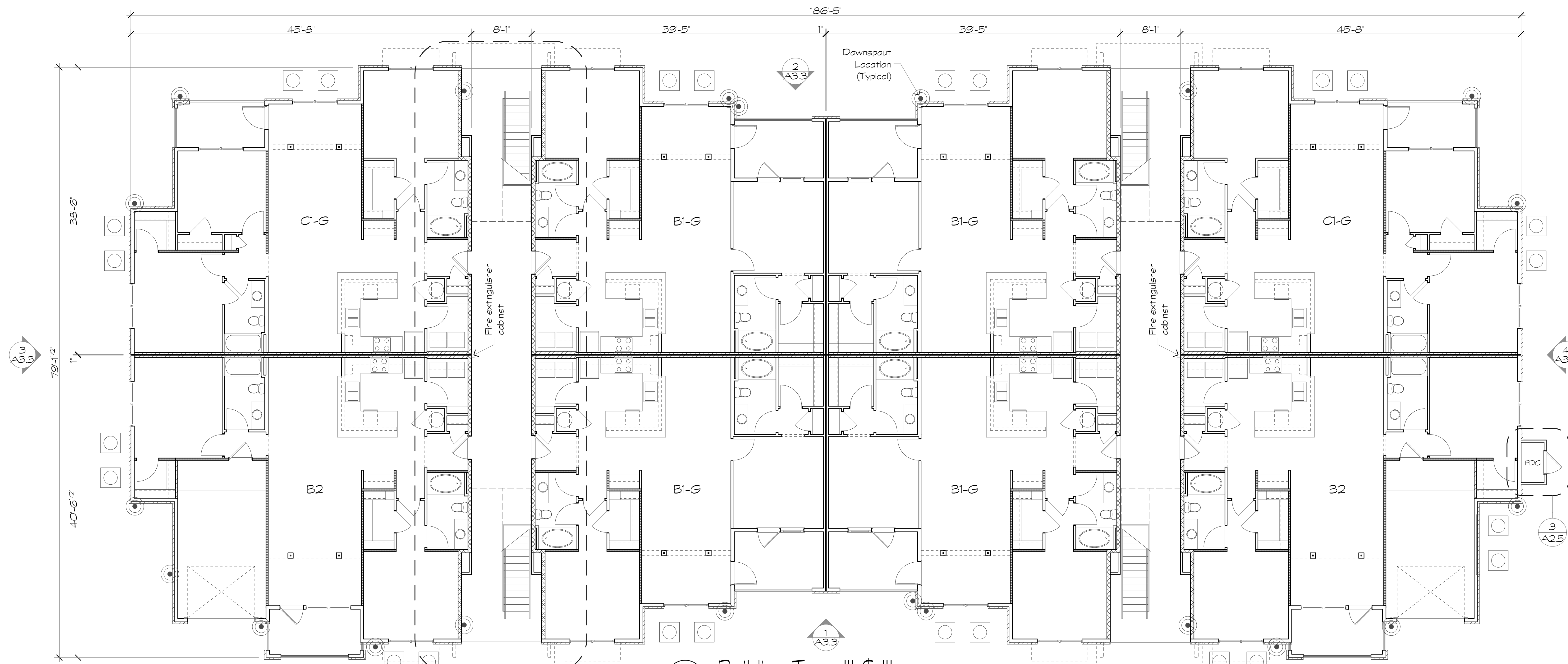
This drawing as an instrument of
services, is and shall remain the
property of SGN+A and shall not
be reproduced, published or used
in any way without permission of
SGN+A, Inc.

Sheet Title:
Building Plans, Type
III, First & Second
Level Plans

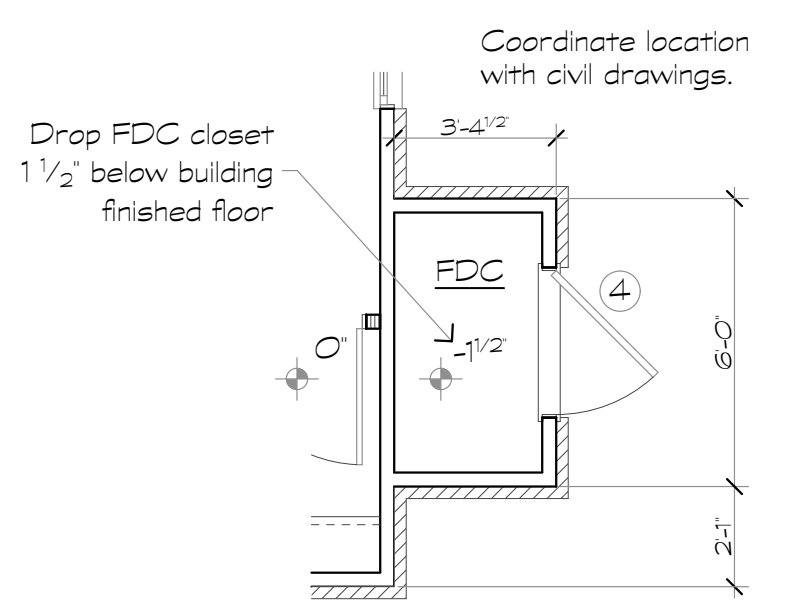
Date:
September 30, 2022

Sheet Number:

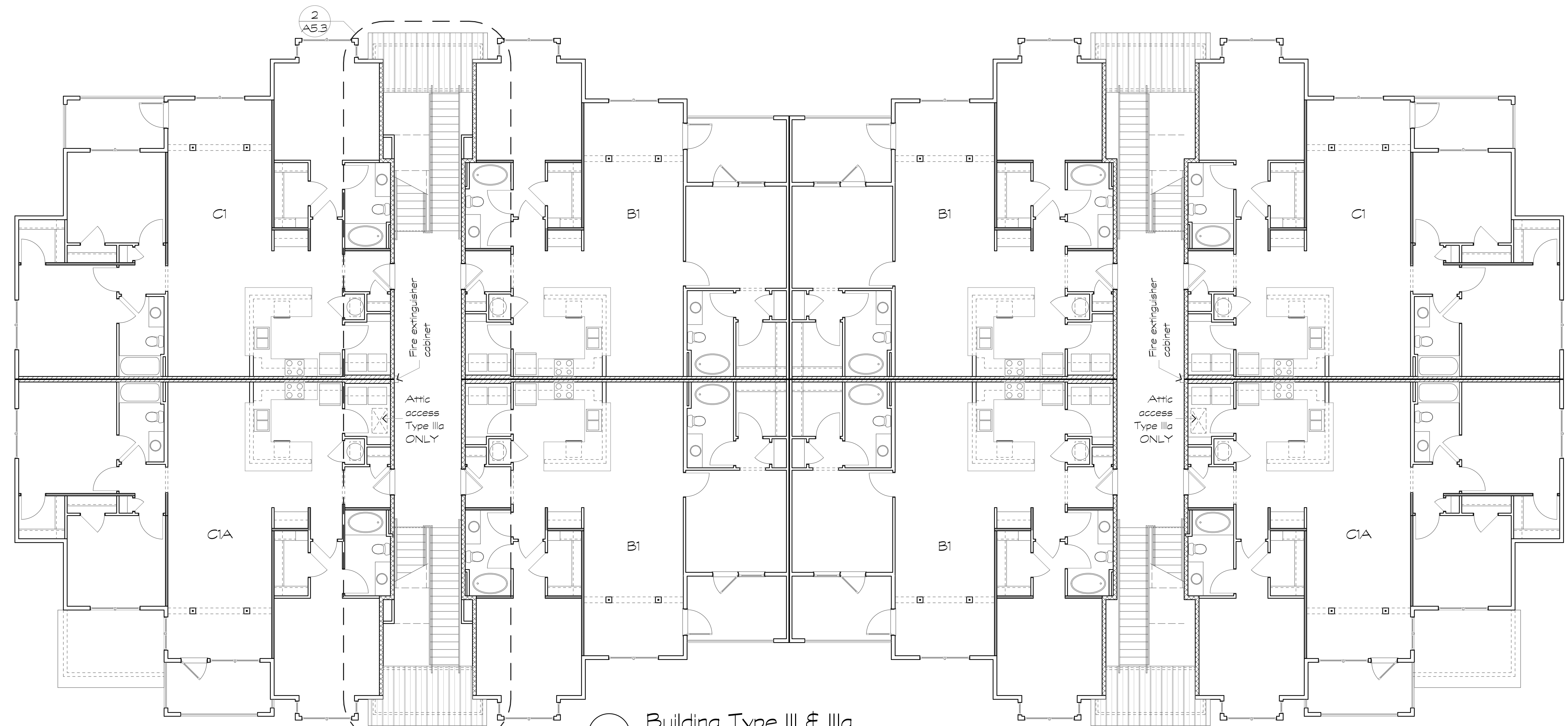
A2.5



1 Building Type III & IIIa
Scale: 1/8" = 1'-0" First Level



3 FDC Type III
Scale: 1/4" = 1'-0"



2 Building Type III & IIIa
Scale: 1/8" = 1'-0" Second Level

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

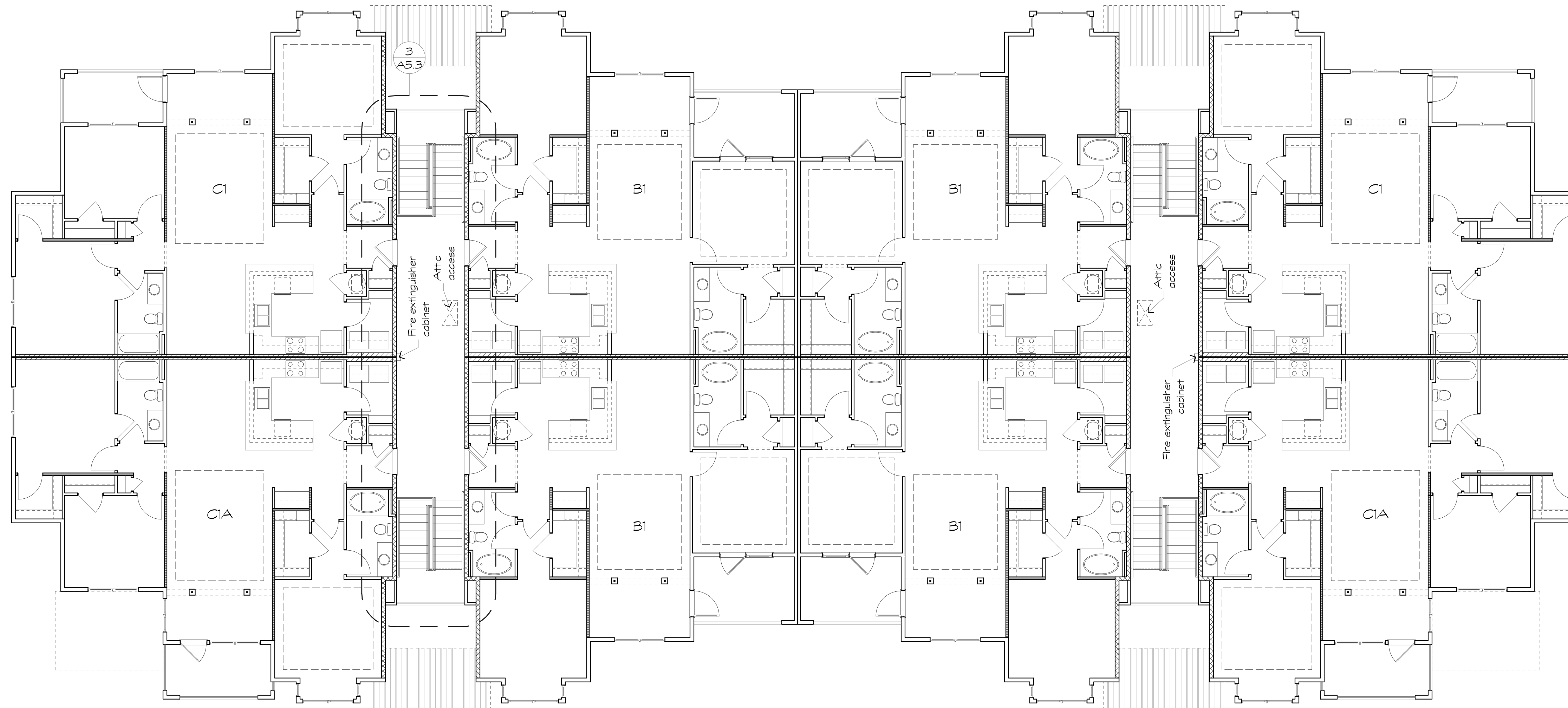
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Building Plans, Type III, Third Level Plan & Roof Plan

Date:
September 30, 2022

Sheet Number:

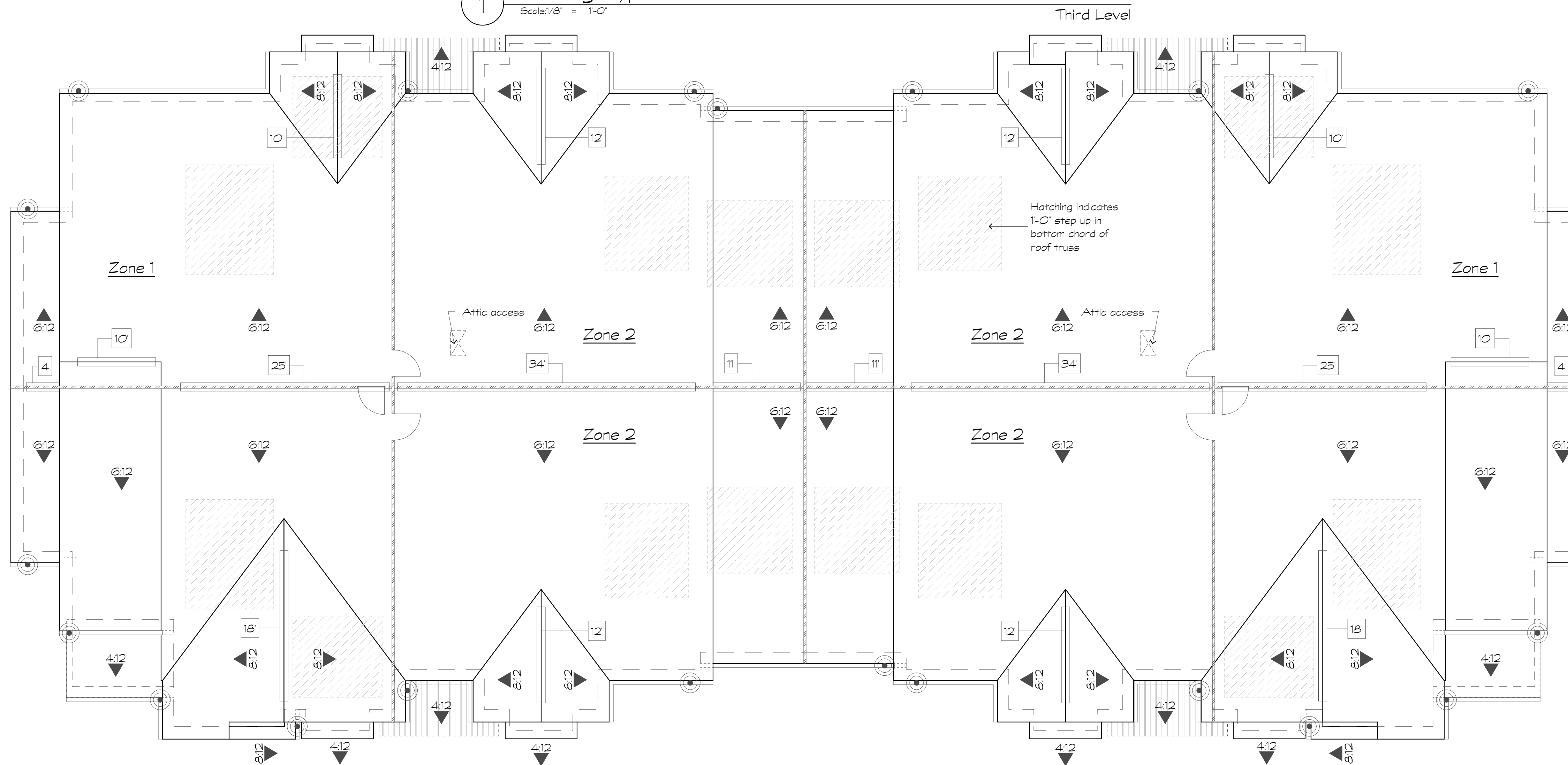
A2.6



1 Building Type III
Scale: 1/8" = 1'-0"

Roof Plan Notes

1. Pitch & Slope Direction Symbol
2. Indicates draftstopping locations - above and in line with tenant separation wall. Note draftstopping is only required at one side of the breezeway.
3. Continuous ridge vent w/18 square inches of ventilating area per lineal foot.
4. Ridge vent length in lineal feet
5. 5' eave gutter & 3"x4" downspout locations
6. Off ridge vent w/34 square inches of ventilating area per lineal foot.



2 Building Type III, Roof Plan
Scale: 1/8" = 1'-0"

Building Type III - Roof Vent Calculations	
Roof Area to be Ventd, Zone 1	2386
Min. Net Ventilation Area (1/300)	at 1/300 sf = 9.95
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.	180 = 20.00
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.	54 = 6.75
Continuous Ridge Ventilation @ 18 sq. in./in. ft.	67 = 8.38
Total Ventilation Provided	= 35.13
Roof Area to be Ventd, Zone 2	1710
Min. Net Ventilation Area (1/300)	at 1/300 sf = 5.70
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.	57 = 7.13
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.	8 = 1.00
Continuous Ridge Ventilation @ 18 sq. in./in. ft.	34 = 4.25
Total Ventilation Provided	= 12.38

Roof at FDC below

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

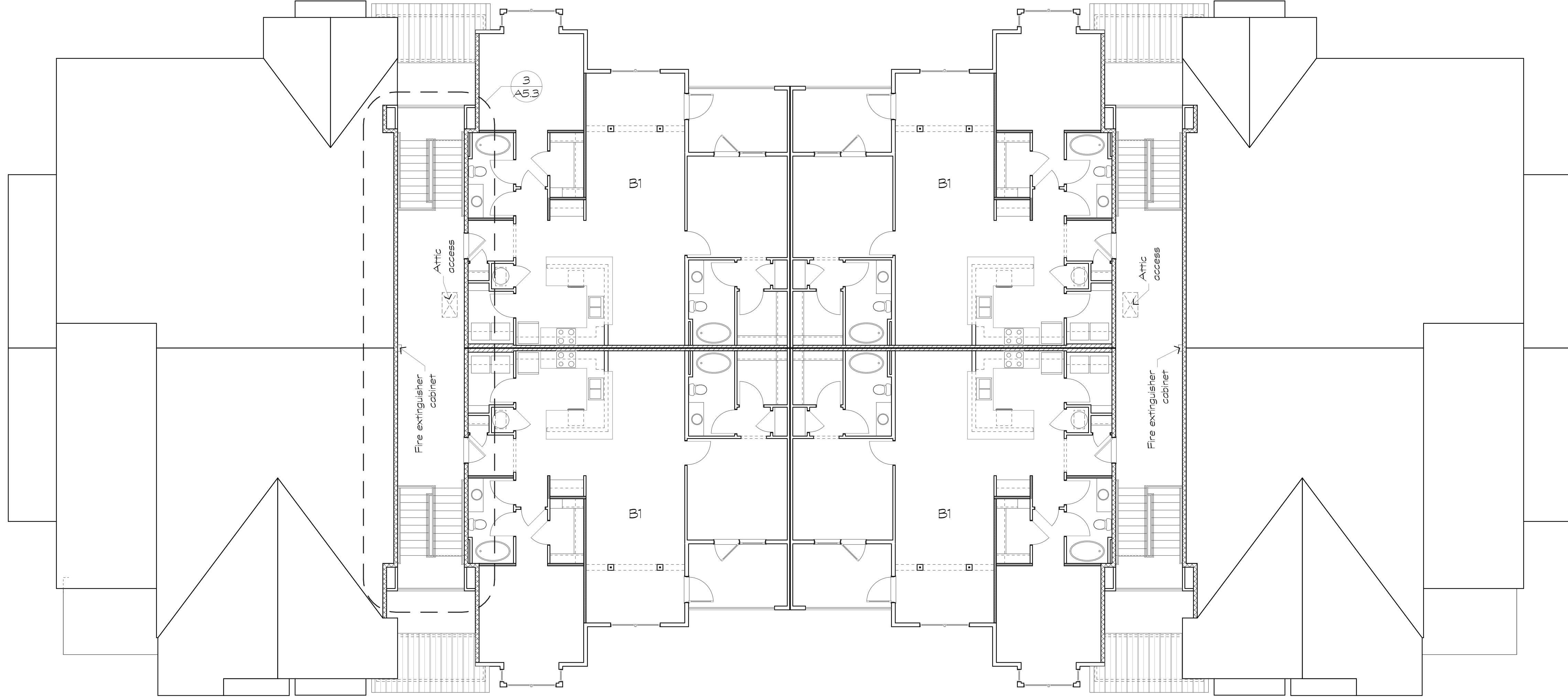
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Building Plans, Type IIIa, Third Level Plan & Roof Plan

Date:
September 30, 2022

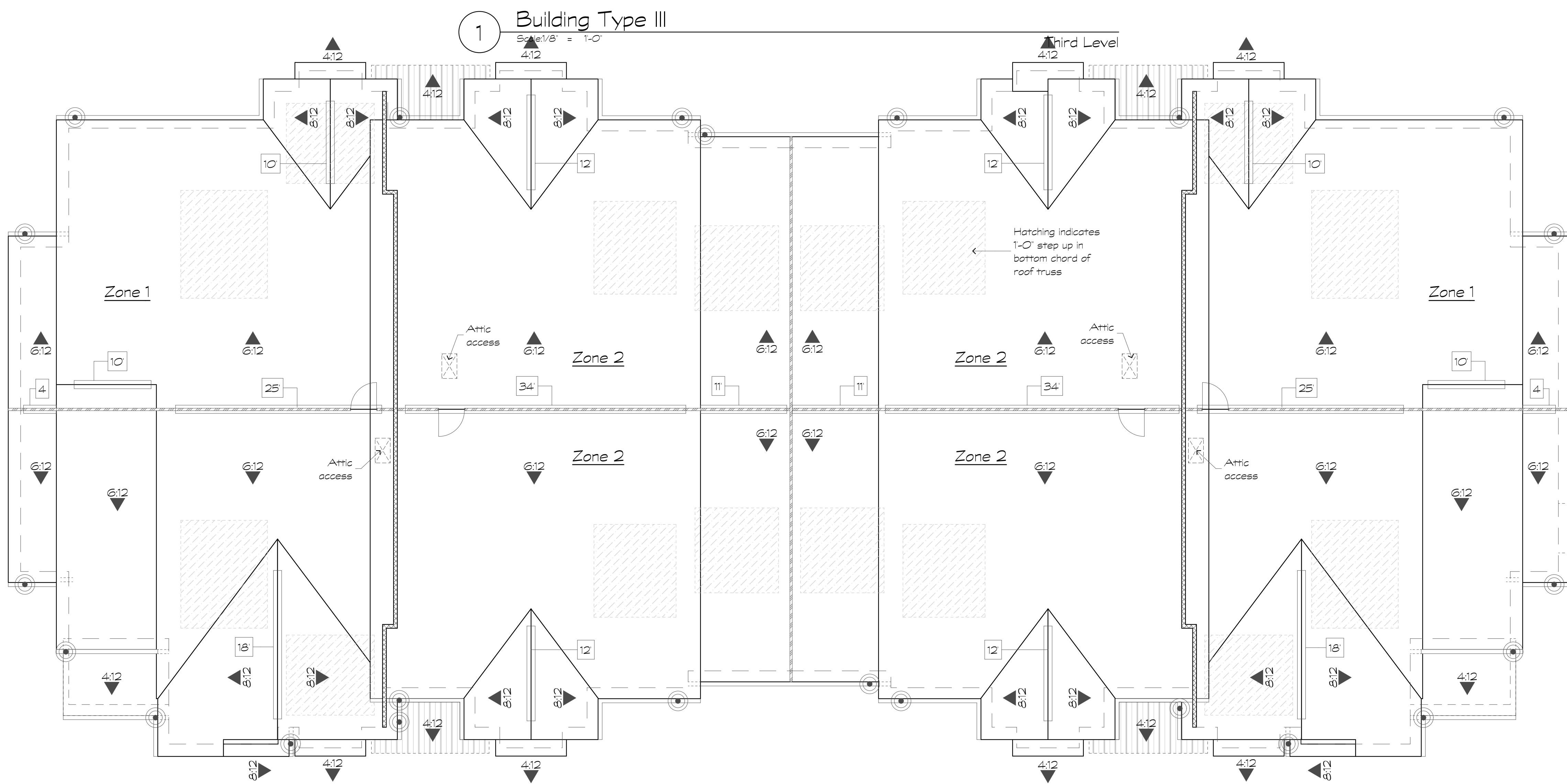
Sheet Number:

A2.7



Roof Plan Notes

1. Pitch & Slope Direction Symbol
2. Indicates draftstopping locations - above and in line with tenant separation wall. Note draftstopping is only required at one side of the breezeway.
3. Continuous ridge vent w/18 square inches of ventilating area per lineal foot.
4. Ridge vent length in lineal feet
5. 5' eave gutter & 3"x4" downspout locations
6. Off ridge vent w/34 square inches of ventilating area per lineal foot.



Building Type III - Roof Vent Calculations	
Roof Area to be Vented, Zone 1	2386
Min. Net Ventilation Area (1/300)	at 1/300 sf = 9.95
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.	180 = 20.00
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.	54 = 6.75
Continuous Ridge Ventilation @ 18 sq. in./in. ft.	67 = 8.38
Total Ventilation Provided	= 35.13
Roof Area to be Vented, Zone 2	1710
Min. Net Ventilation Area (1/300)	at 1/300 sf = 5.70
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.	57 = 7.13
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.	8 = 1.00
Continuous Ridge Ventilation @ 18 sq. in./in. ft.	34 = 4.25
Total Ventilation Provided	= 12.38

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

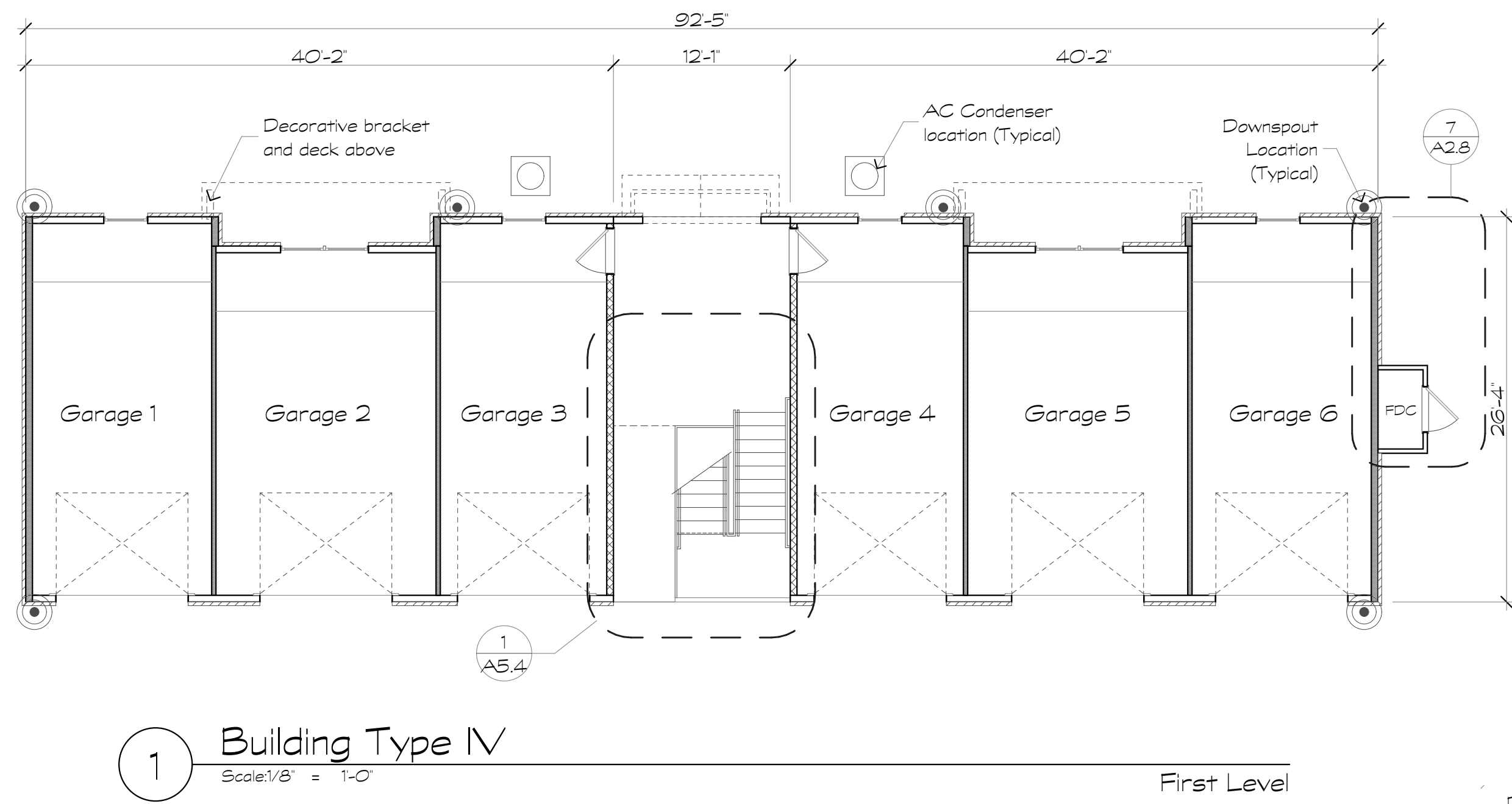
Sheet Title:
Building Plans, Type IV & IVa, First & Second Level Plans & Roof Plan

Date:
September 30, 2022

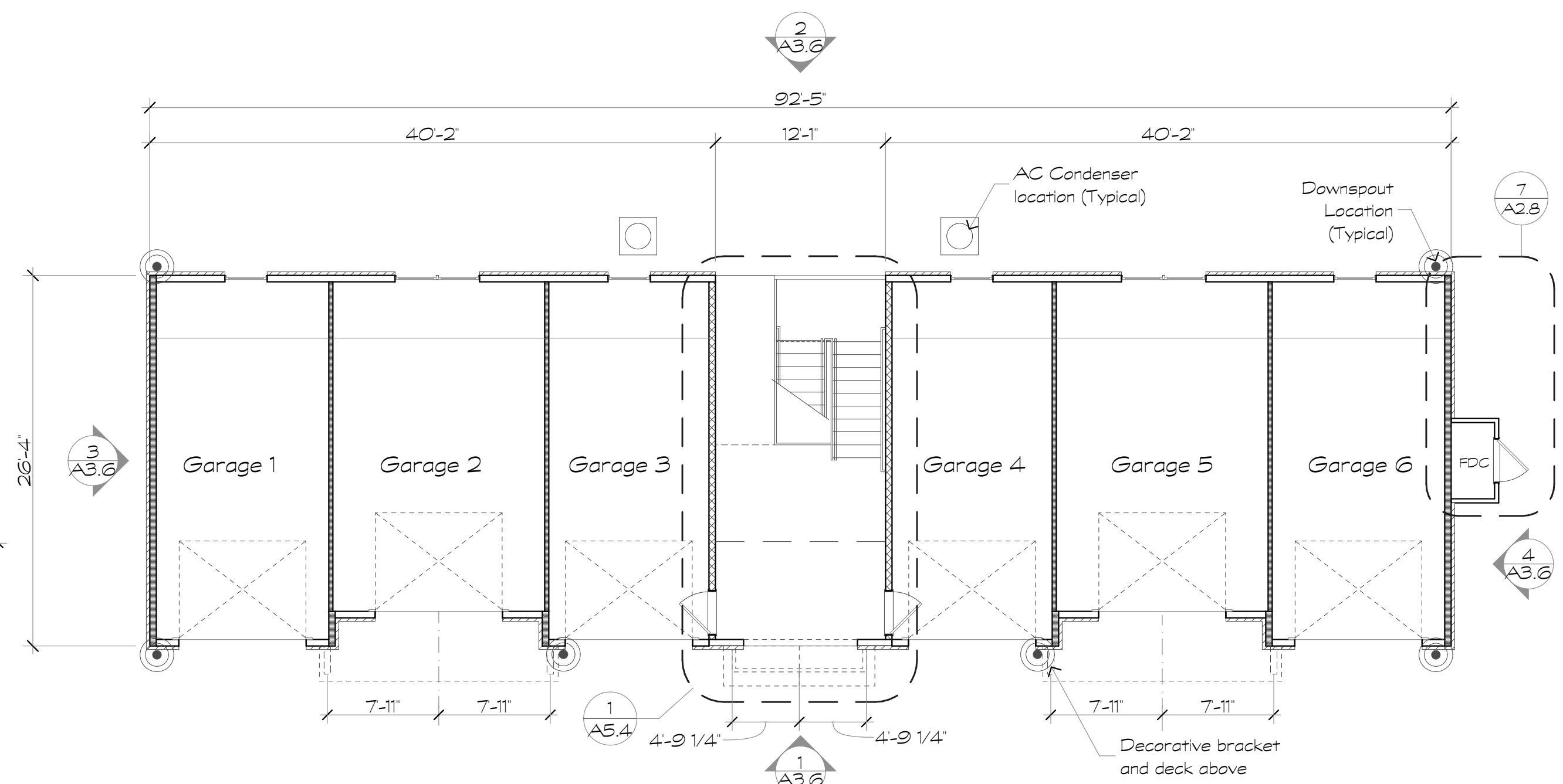
Sheet Number:

A2.8

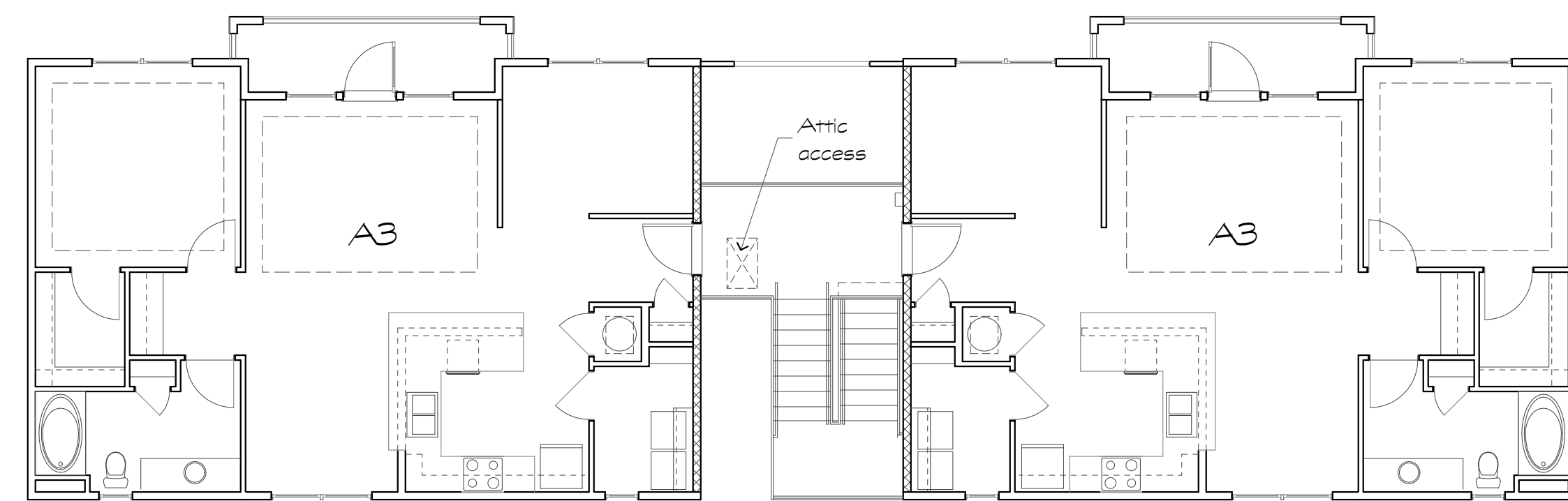
Not Released for Construction



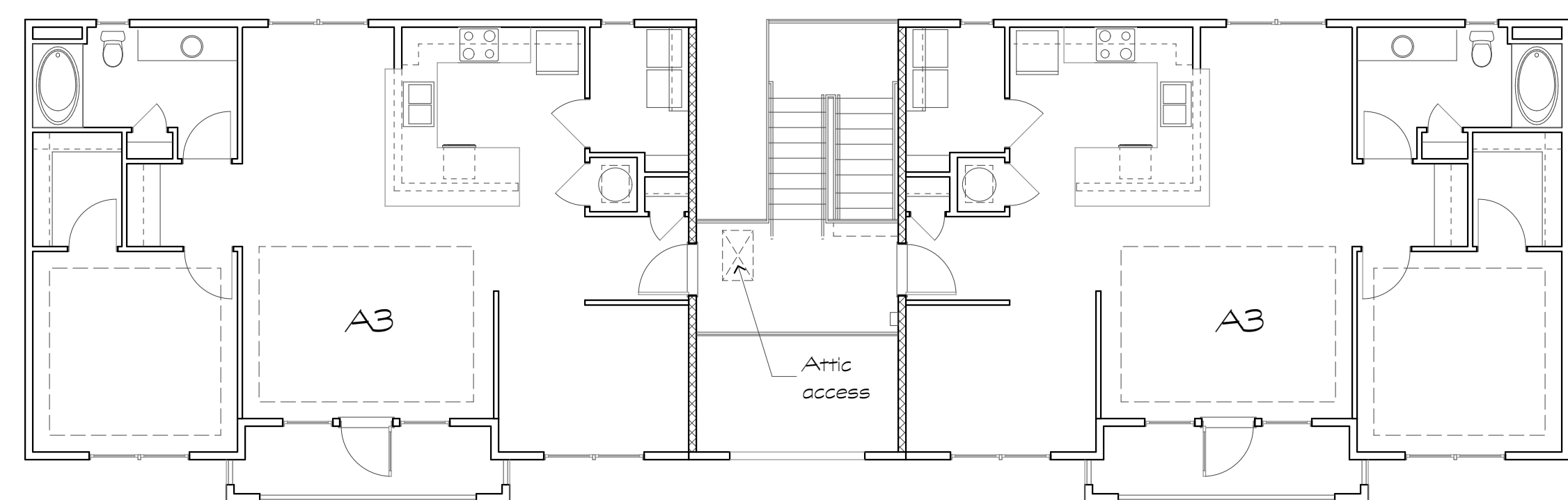
1 Building Type IV
Scale: 1/8" = 1'-0"
First Level



4 Building Type IVa
Scale: 1/8" = 1'-0"
First Level



2 Building Type IV
Scale: 1/8" = 1'-0"
Second Level



5 Building Type IVa
Scale: 1/8" = 1'-0"
Second Level

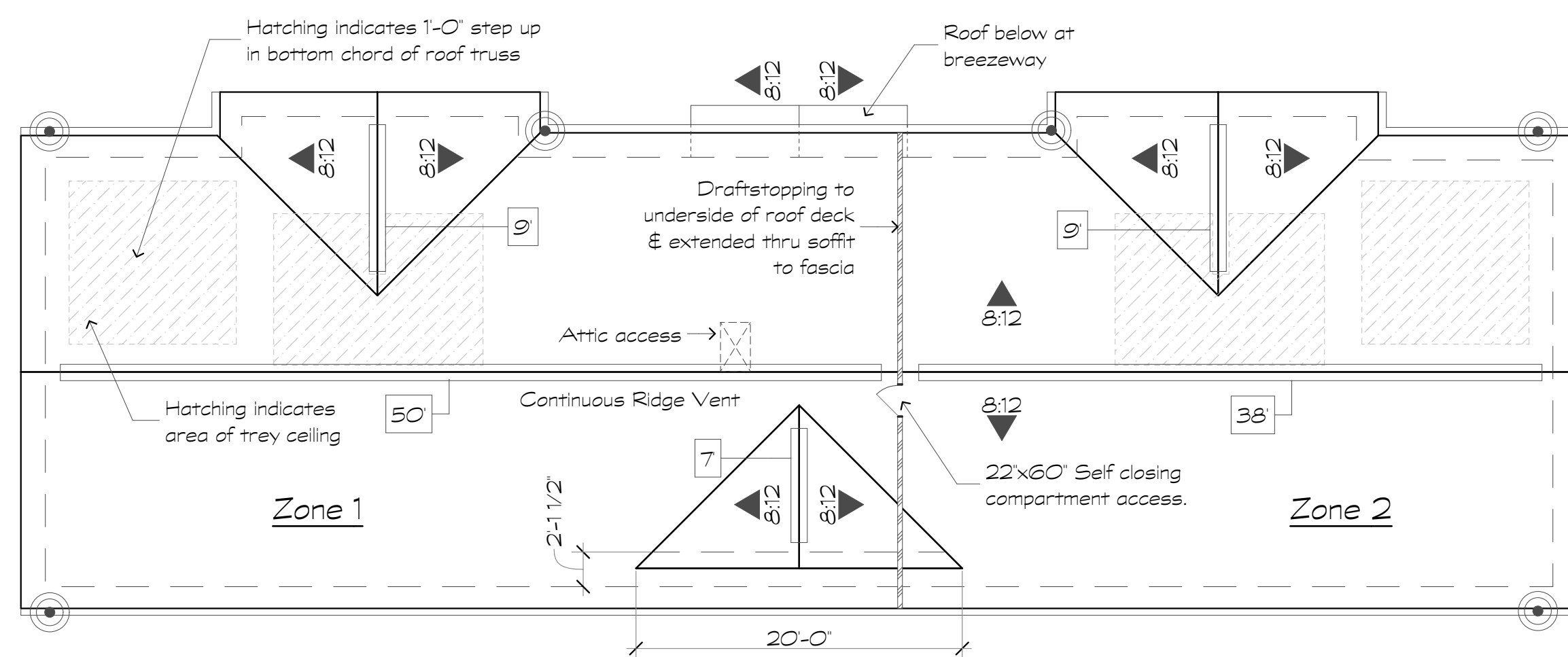
7 Building Type IV & IVa
Scale: 1/4" = 1'-0"
FDC closet

Roof Plan Notes

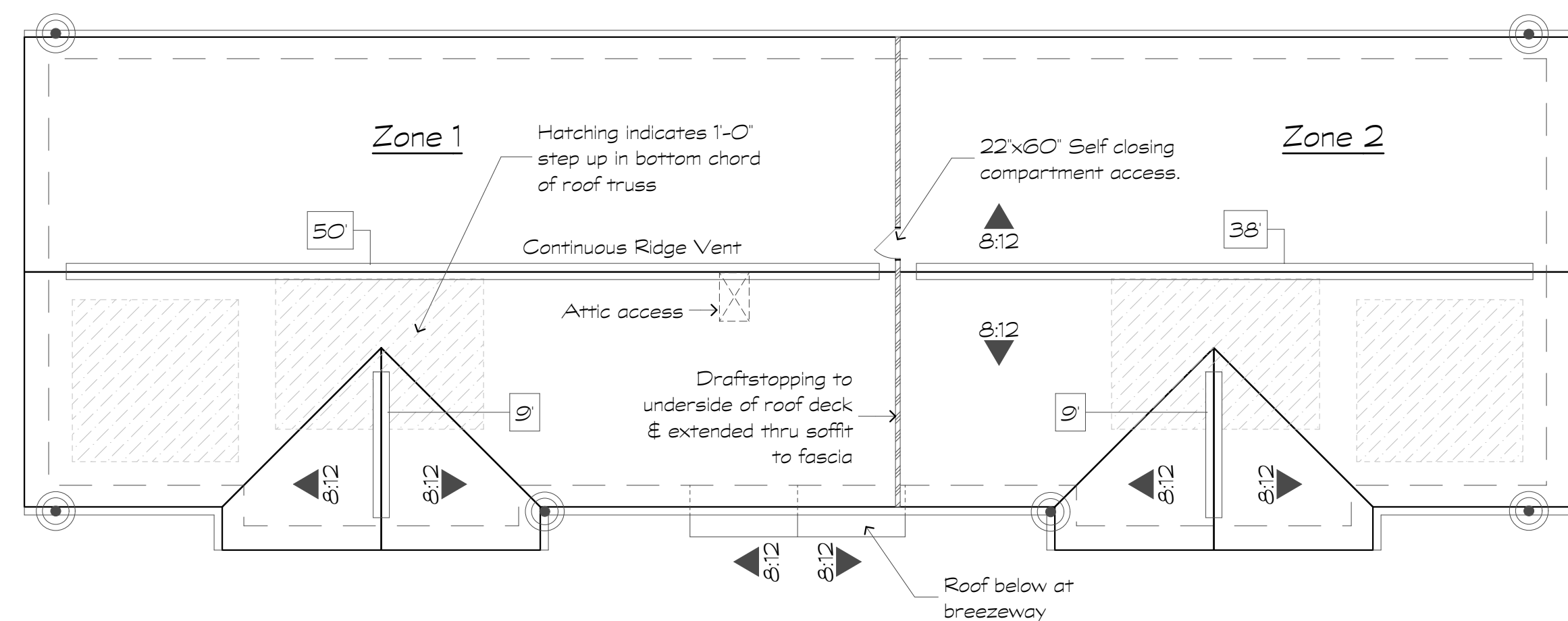
1. Pitch & Slope Direction Symbol
2. Indicates draftstopping locations - above and in line with tenant separation wall. Note draftstopping is only required at one side of the breezeway.
3. Continuous ridge vent w/18 square inches of ventilating area per lineal foot.
4. Ridge vent length in lineal feet
5. 5" eave gutter & 3"x4" downspout locations
6. Off ridge vent w/34 square inches of ventilating area per lineal foot.

Building Type IV - Roof Vent Calculations			
Roof Area to be Vented, Zone 1		1423	
Min. Net Ventilation Area (1/300)	at 1/300 sf =	4.74	
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.		128	= 18.13
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.		10	= 1.25
Continuous Ridge Ventilation @ 18 sq. in./in. ft.		66	= 8.25
Total Ventilation Provided			= 25.63
Roof Area to be Vented, Zone 2		1095	
Min. Net Ventilation Area (1/300)	at 1/300 sf =	3.65	
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.		103	= 12.88
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.		10	= 1.25
Continuous Ridge Ventilation @ 18 sq. in./in. ft.		47	= 5.88
Total Ventilation Provided			= 20.00

Building Type IVa - Roof Vent Calculations			
Roof Area to be Vented, Zone 1		1423	
Min. Net Ventilation Area (1/300)	at 1/300 sf =	4.74	
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.		128	= 18.13
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.		10	= 1.25
Continuous Ridge Ventilation @ 18 sq. in./in. ft.		59	= 7.38
Total Ventilation Provided			= 24.75
Roof Area to be Vented, Zone 2		1095	
Min. Net Ventilation Area (1/300)	at 1/300 sf =	3.65	
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.		103	= 12.88
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.		10	= 1.25
Continuous Ridge Ventilation @ 18 sq. in./in. ft.		47	= 5.88
Total Ventilation Provided			= 20.00



3 Building Type IV
Scale: 1/8" = 1'-0"
Roof Plan



6 Building Type IVa
Scale: 1/8" = 1'-0"
Roof Plan

Revisions:

Date: Description:

Date	Description

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

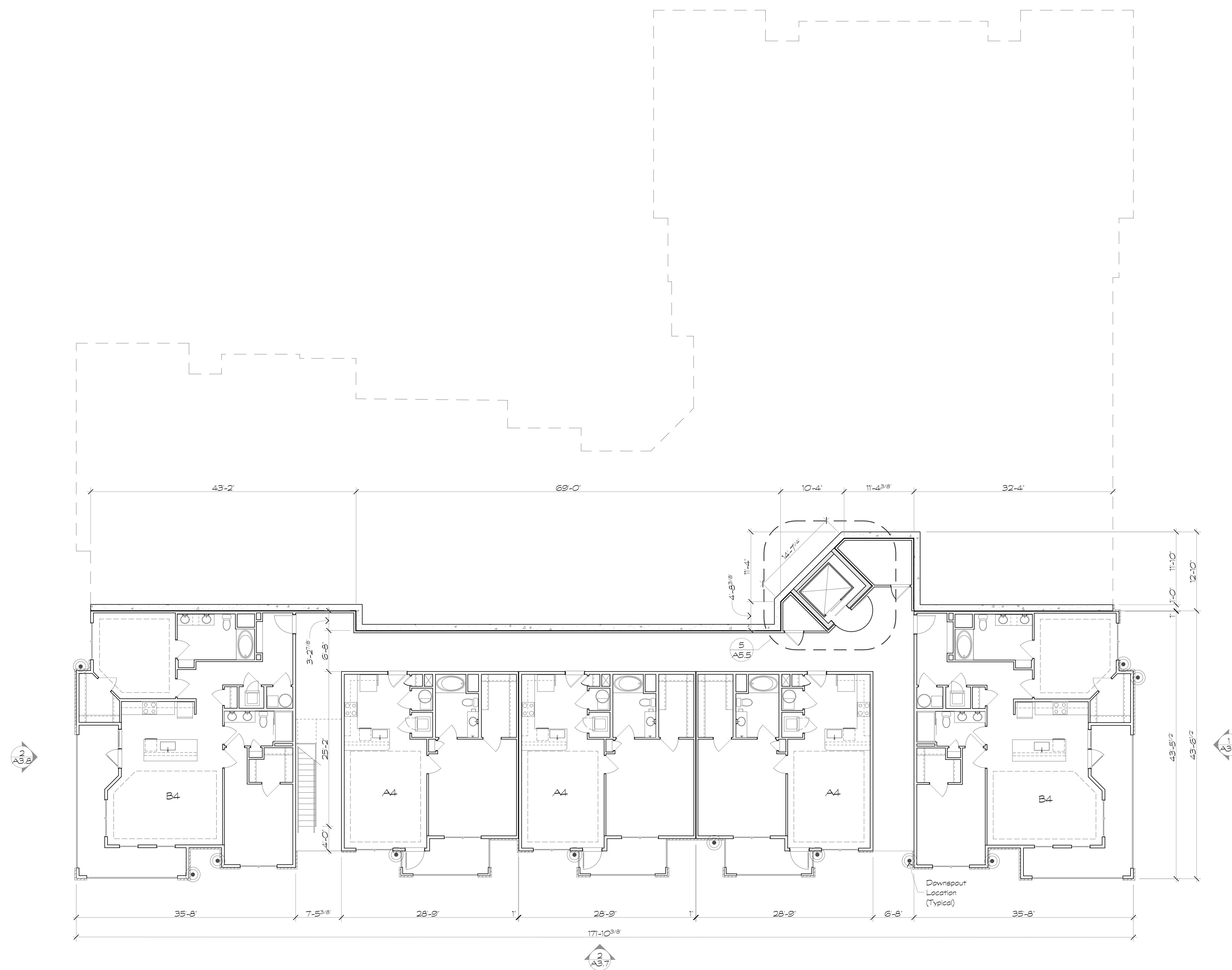
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Building Plan, Type V,
Terrace Level Plan

Date:
September 30, 2022

Sheet Number:

A2.9



1 Building Type V
Scale: 1/8" = 1'-0"
Terrace Level

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

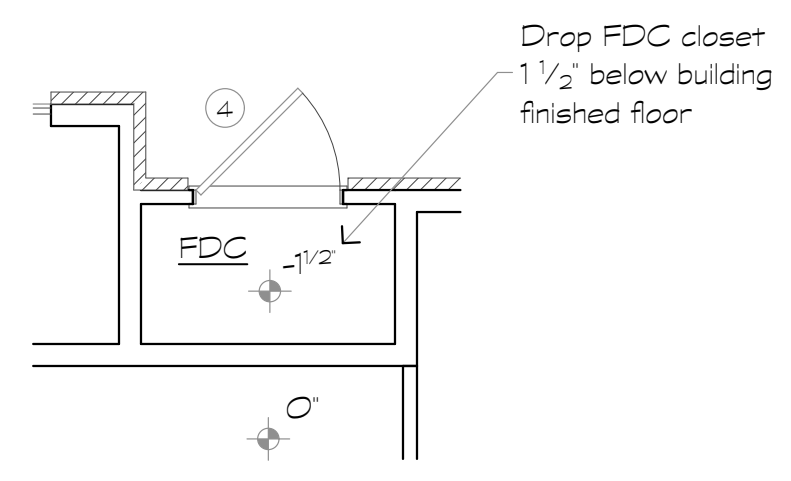
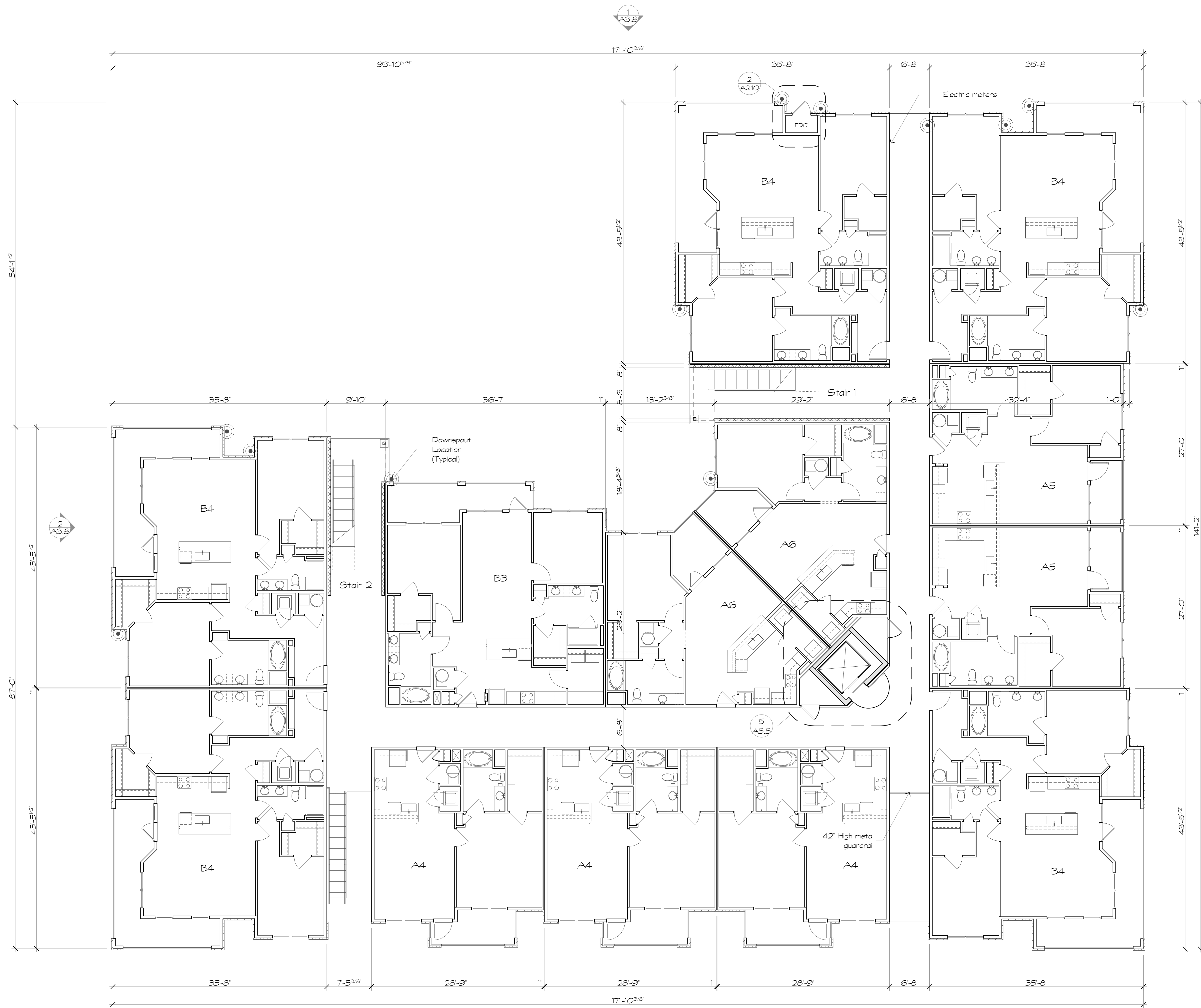
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Building Plan, Type V,
First Level Plan

Date:
September 30, 2022

Sheet Number:

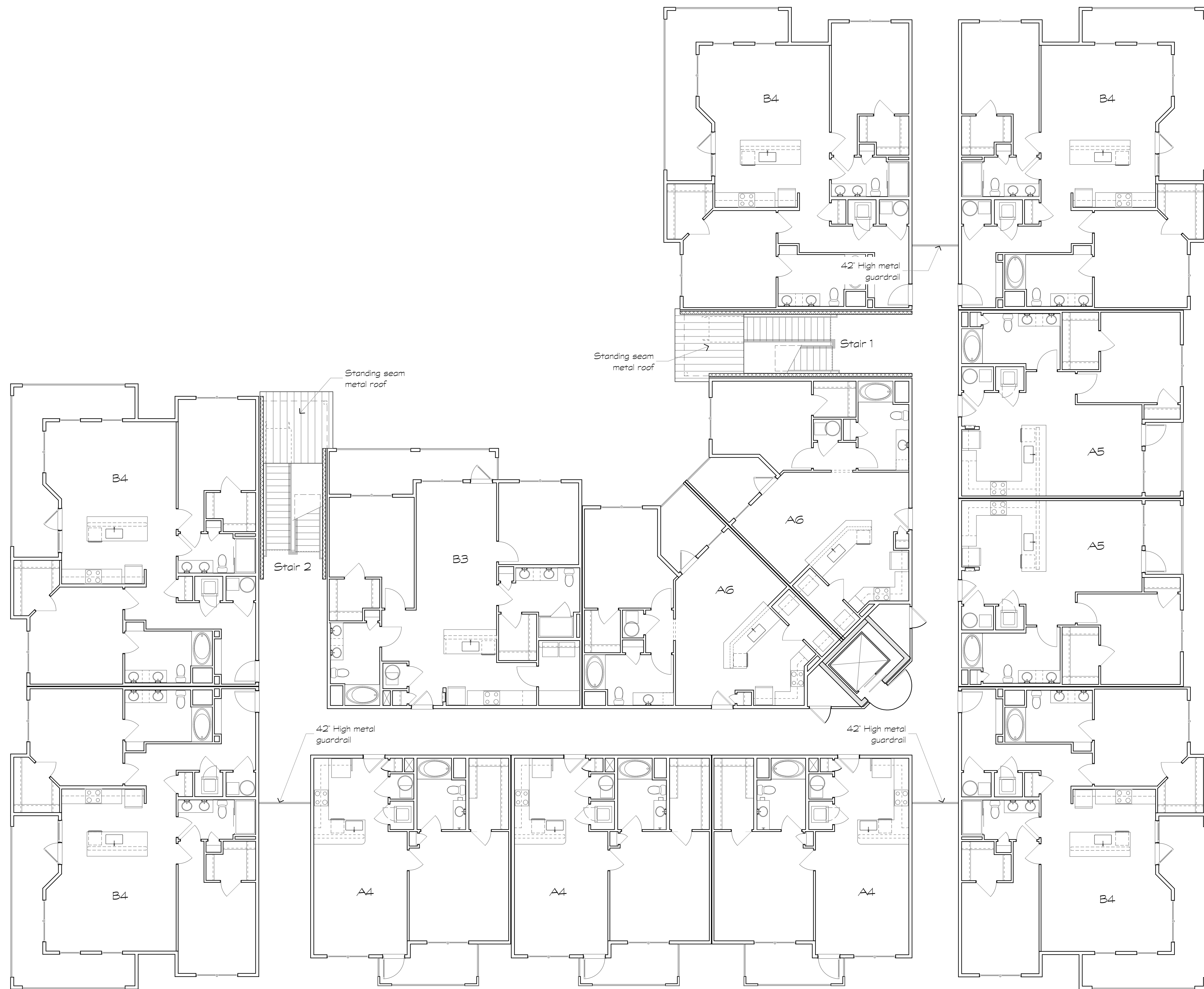
A2.10



2 FDC Type V
Scale: 1/4" = 1'-0"

1 Building Type V
Scale: 1/8" = 1'-0"

First Level



1 Building Type V, Type Va Similar
Scale: 1/8" = 1'-0" Second Level

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Building Plan, Type V, Second Level

Date:
September 30, 2022

Sheet Number:

A2.11

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

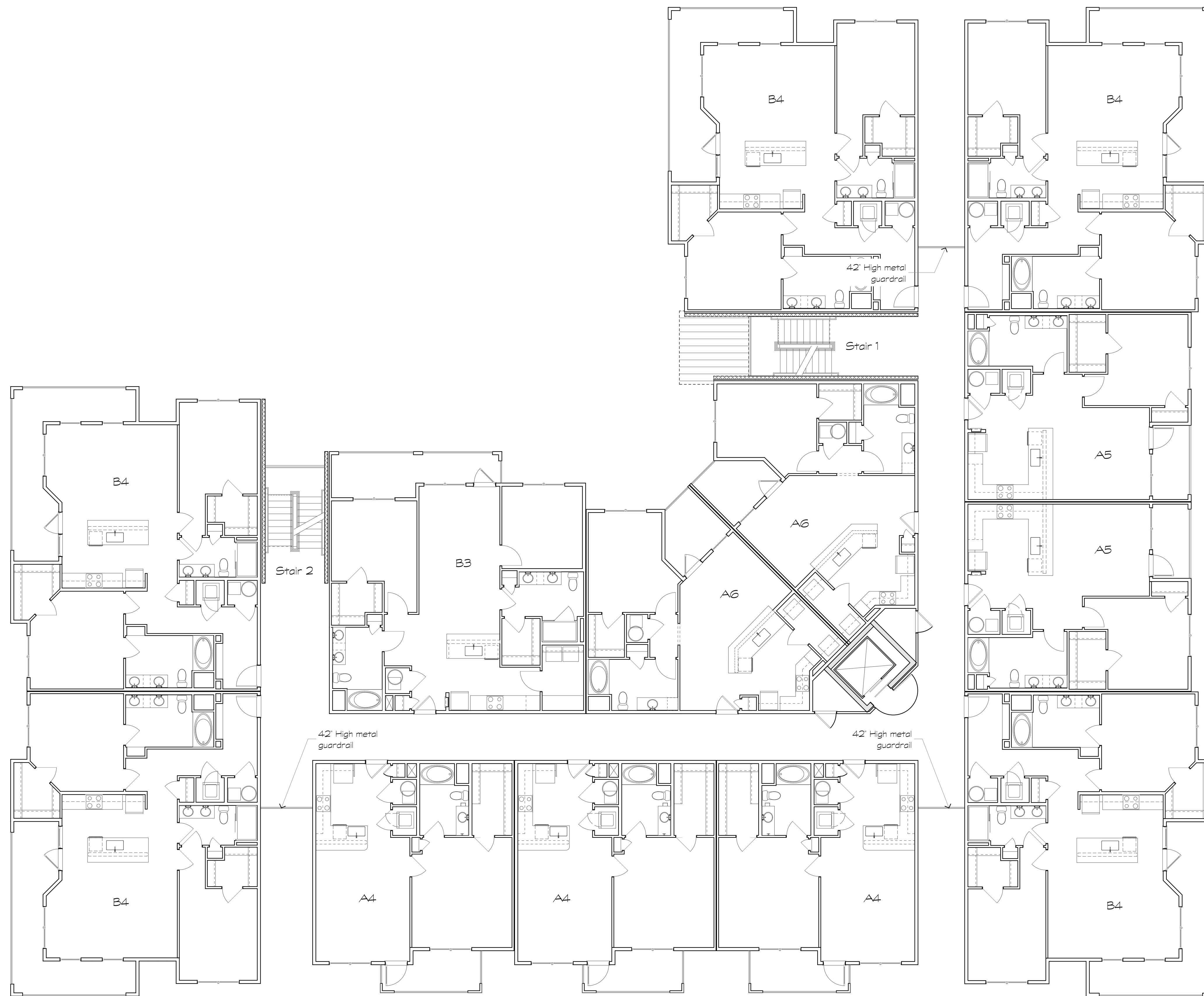
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Building Plan, Type V, Third Level

Date:
September 30, 2022

Sheet Number:

A2.12



1 Building Type V, Type Va Similar
Scale: 1/8" = 1'-0"

Third Level

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

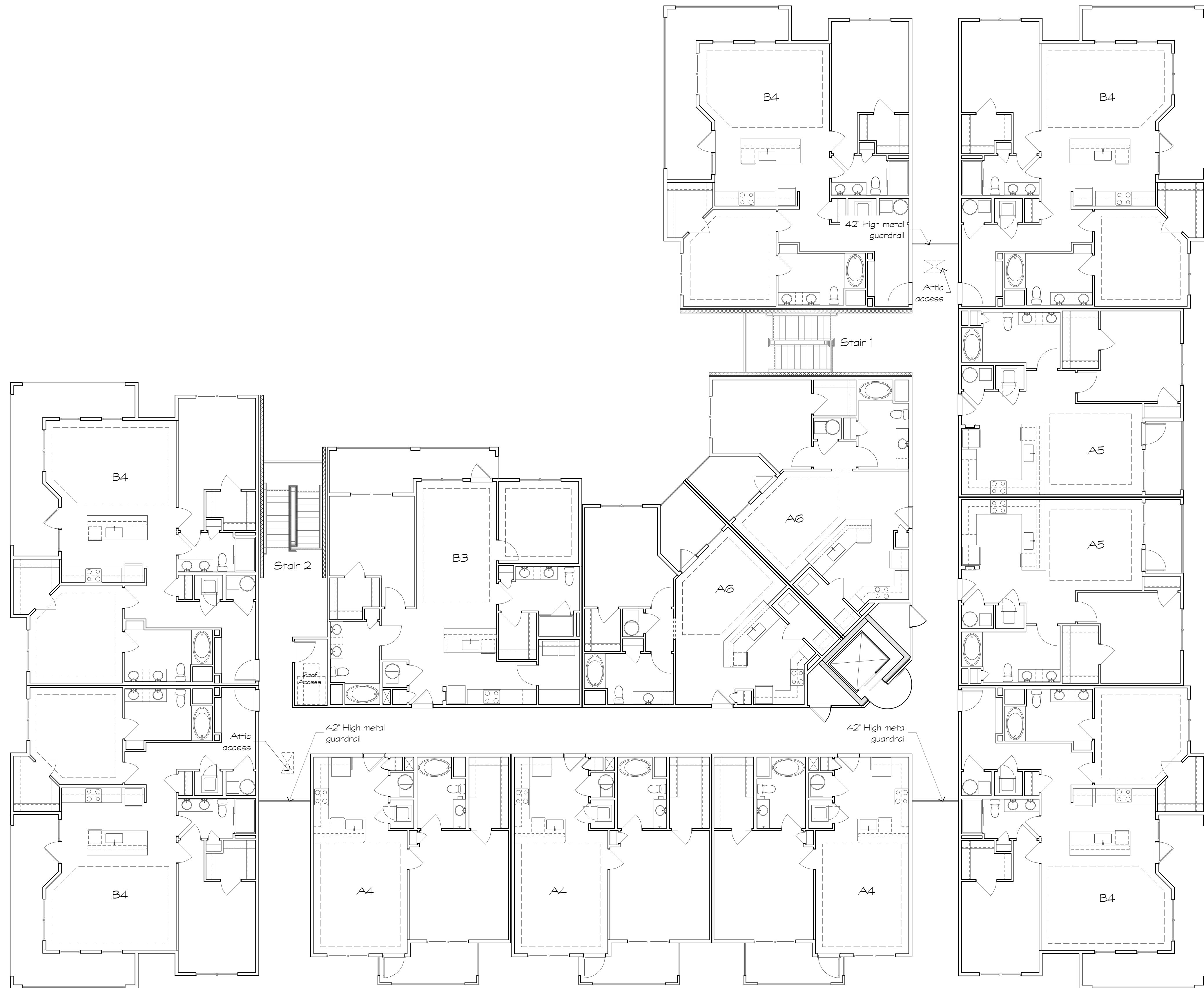
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Building Plan, Type V, Fourth Level

Date:
September 30, 2022

Sheet Number:

A2.13



1 Building Type V, Type Va Similar
Scale: 1/8" = 1'-0" Fourth Level

Revisions:

Date: _____
Description: _____

Construction Documents

**Lullwater at
Ft. Clarke
Apartments**

Ft. Clarke, Florida

A Residential
Development by: Ft.
Clarke Apartments
Residences, LLC

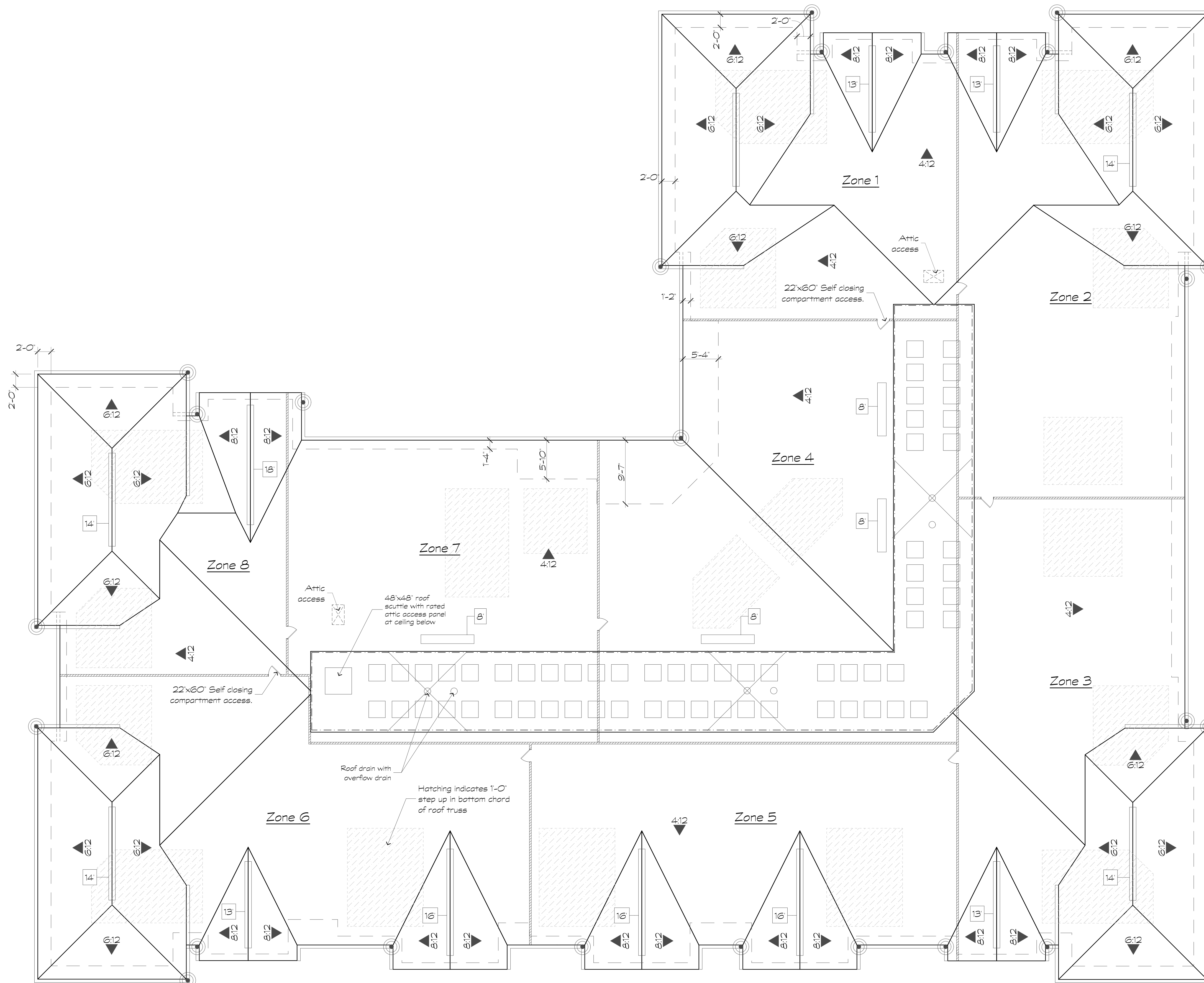
This drawing as an instrument of
services, is and shall remain the
property of SGN+A and shall not
be reproduced, published or used
in any way without permission of
SGN+A, Inc.

Sheet Title:
Building Plan, Type V,
Roof Plan

Date:
September 30, 2022

Sheet Number:

A2.14



Roof Plan Notes

1. Pitch & Slope Direction Symbol
2. Indicates draftstopping locations - above and in line with tenant separation wall. Note draftstopping is only required at one side of the breezeway.
3. Continuous ridge vent w/18 square inches of ventilating area per lineal foot.
4. Ridge vent length in lineal feet
5. 5' eave gutter & 3'x4' downspout locations
6. Off ridge vent w/34 square inches of ventilating area per lineal foot.

Building Type V - Roof Vent Calculations		
Roof Area to be Vented, Zone 1		1756
Min. Net Ventilation Area (1/300)	at 1/300 sf =	5.85
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.	97 =	12.13
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.	7 =	0.68
Continuous Ridge Ventilation @ 18 sq. in./in. ft.	27 =	3.38
Total Ventilation Provided	=	16.38
Roof Area to be Vented, Zone 2		2355
Min. Net Ventilation Area (1/300)	at 1/300 sf =	7.85
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.	13 =	14.13
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.	7 =	0.68
Continuous Ridge Ventilation @ 18 sq. in./in. ft.	27 =	3.38
Total Ventilation Provided	=	18.38
Roof Area to be Vented, Zone 3		2355
Min. Net Ventilation Area (1/300)	at 1/300 sf =	7.85
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.	11 =	13.68
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.	7 =	0.68
Continuous Ridge Ventilation @ 18 sq. in./in. ft.	27 =	3.38
Total Ventilation Provided	=	18.13
Roof Area to be Vented, Zone 4		2863
Min. Net Ventilation Area (1/300)	at 1/300 sf =	9.58
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.	64 =	8.00
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.	0 =	0.00
Off Ridge vents (High) @ 34 sq. in./in. ft.	24 =	5.87
Continuous Ridge Ventilation @ 18 sq. in./in. ft.	0 =	0.00
Total Ventilation Provided	=	13.87
Roof Area to be Vented, Zone 5		1971
Min. Net Ventilation Area (1/300)	at 1/300 sf =	6.57
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.	64 =	8.00
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.	17 =	2.13
Continuous Ridge Ventilation @ 18 sq. in./in. ft.	32 =	4.00
Total Ventilation Provided	=	14.13
Roof Area to be Vented, Zone 6		2821
Min. Net Ventilation Area (1/300)	at 1/300 sf =	9.44
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.	123 =	15.38
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.	18 =	2.00
Continuous Ridge Ventilation @ 18 sq. in./in. ft.	43 =	5.38
Total Ventilation Provided	=	22.75
Roof Area to be Vented, Zone 7		1965
Min. Net Ventilation Area (1/300)	at 1/300 sf =	6.55
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.	53 =	6.63
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.	0 =	0.00
Off Ridge vents (High) @ 34 sq. in./in. ft.	8 =	1.89
Continuous Ridge Ventilation @ 18 sq. in./in. ft.	0 =	0.00
Total Ventilation Provided	=	8.51
Roof Area to be Vented, Zone 8		1479
Min. Net Ventilation Area (1/300)	at 1/300 sf =	4.93
Continuous Soffit Ventilation (Low) @ 18 sq. in./in. ft.	85 =	10.63
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.	8 =	0.75
Continuous Ridge Ventilation @ 18 sq. in./in. ft.	32 =	4.00
Total Ventilation Provided	=	15.38

1 Building Type V, Type Va Similar
Scale: 1/8" = 1'-0"

Roof Plan

Revisions:

Date: Description:

Date	Description

Construction Documents

**Lullwater at
Ft. Clarke
Apartments**

Ft. Clarke, Florida

A Residential
Development by: Ft.
Clarke Apartments
Residences, LLC

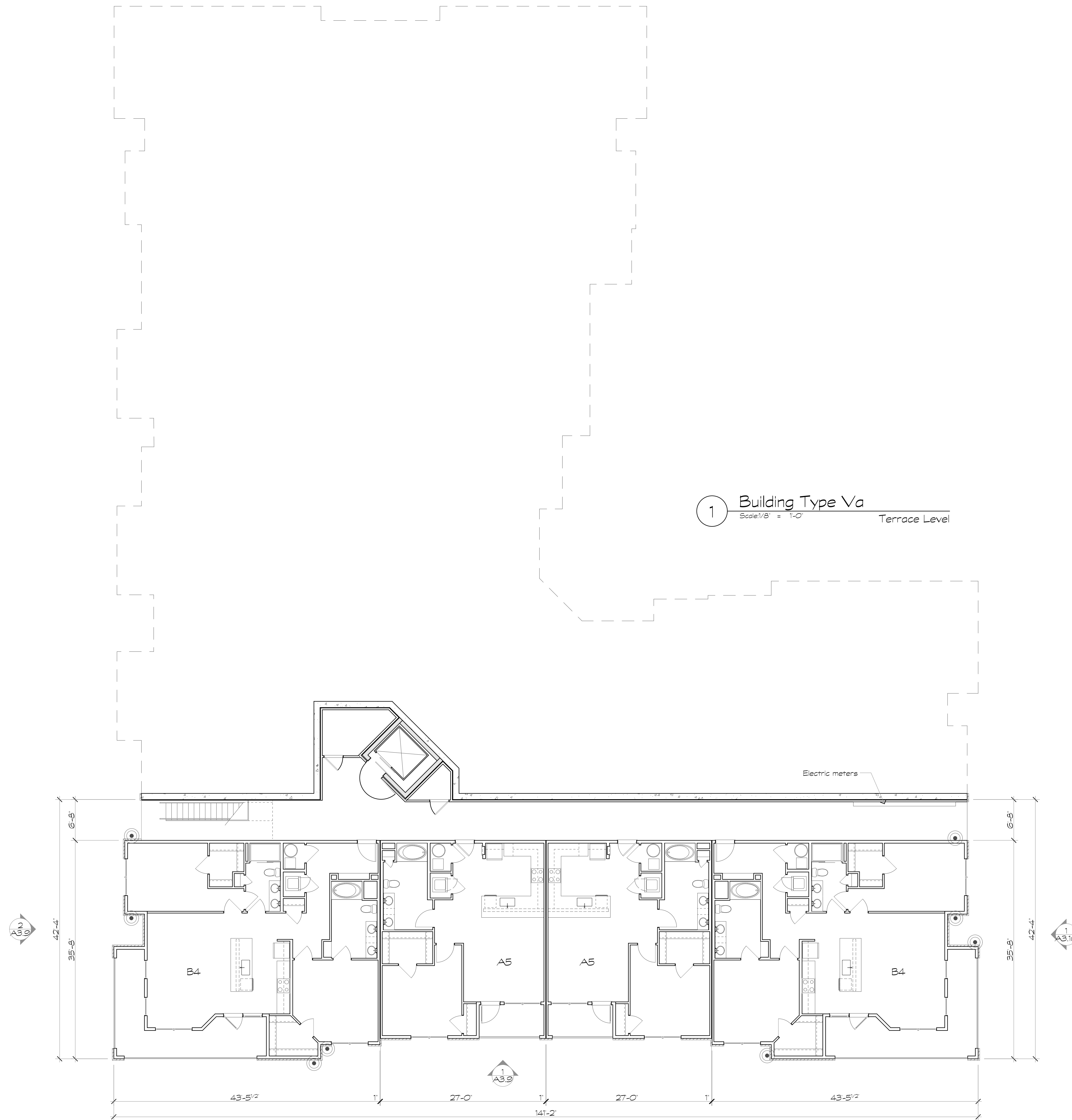
This drawing as an instrument of
services, is and shall remain the
property of SGN+A and shall not
be reproduced, published or used
in any way without permission of
SGN+A, Inc.

Sheet Title:
Building Plan, Type Va,
Terrace Level Plan

Date:
September 30, 2022

Sheet Number:

A2.15



Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

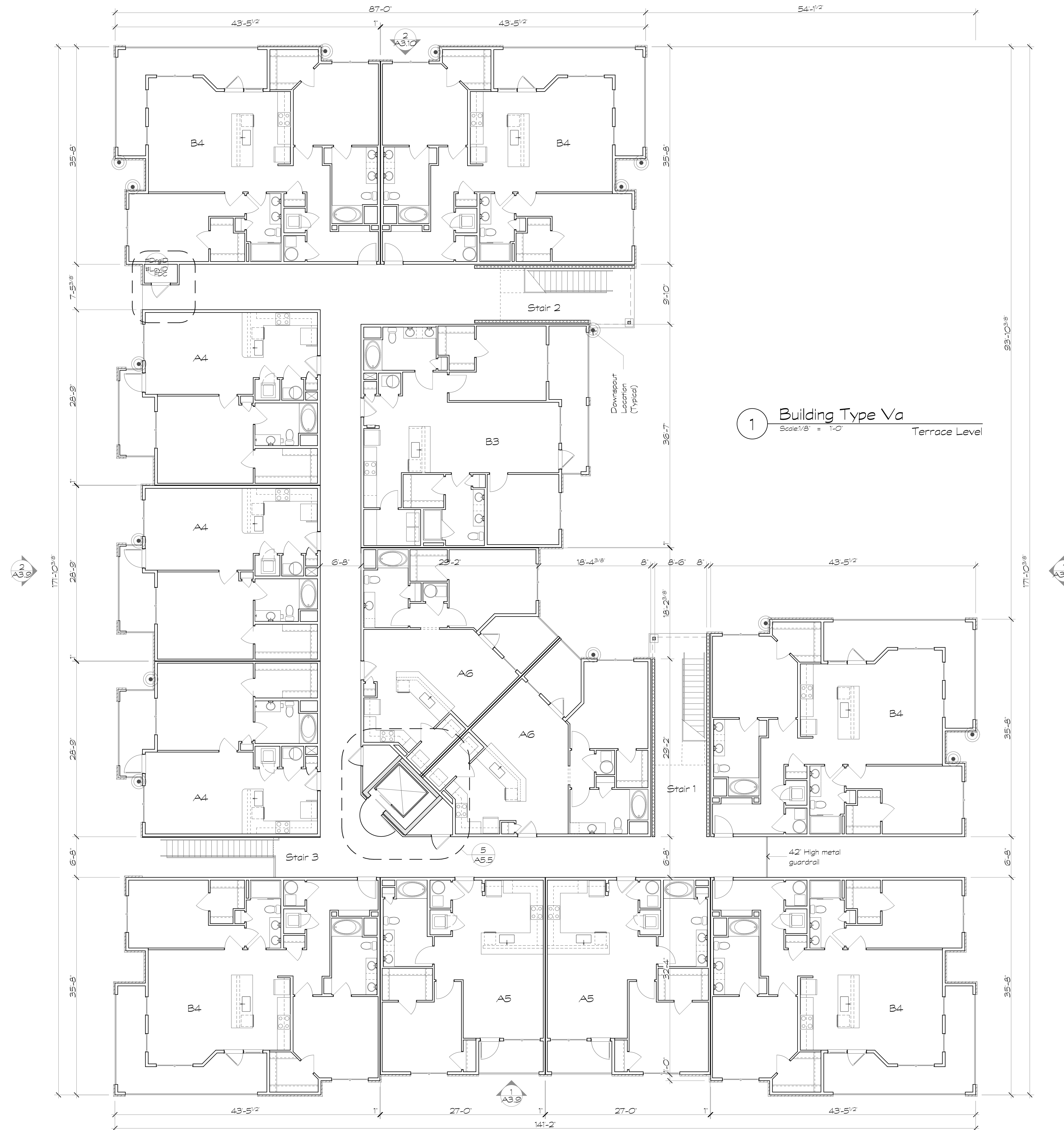
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Building Plan, Type Va, First Level Plan

Date:
September 30, 2022

Sheet Number:

A2.16



Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Building Elevations, Type I

Date:
September 30, 2022

Sheet Number:

A3.1



1 Building Type I
Scale: 1/8" = 1'-0"
Front Elevation



2 Building Type I
Scale: 1/8" = 1'-0"
Rear Elevation



3 Building Type I
Scale: 1/8" = 1'-0"
End Elevation



4 Building Type I
Scale: 1/8" = 1'-0"
End Elevation

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Building Elevations, Type II

Date:
September 30, 2022

Sheet Number:

A3.2



1 Building Type II
Scale: 1/8" = 1'-0" Front Elevation



2 Building Type II
Scale: 1/8" = 1'-0" Rear Elevation



3 Building Type II - Bldg. 15
Scale: 1/8" = 1'-0" End Elevation



4 Building Type II - Bldg. 15
Scale: 1/8" = 1'-0" End Elevation

Revisions:

Date: Description:

Construction Documents

**Lullwater at
Ft. Clarke
Apartments**

Ft. Clarke, Florida

A Residential
Development by: Ft.
Clarke Apartments
Residences, LLC

This drawing as an instrument of
services, is and shall remain the
property of SGN+A and shall not
be reproduced, published or used
in any way without permission of
SGN+A, Inc.

Sheet Title:
Building Elevations,
Type III

Date:
September 30, 2022

Sheet Number:

A3.3



1 Building Type III - Bldg. 4
Scale: 1/8" = 1'-0" Front Elevation



2 Building Type III - Bldg. 4
Scale: 1/8" = 1'-0" Rear Elevation



3 Building Type III - Bldg. 4
Scale: 1/8" = 1'-0" End Elevation



4 Building Type III - Bldg. 4
Scale: 1/8" = 1'-0" End Elevation

Revisions:

Date: Description:

Construction Documents

**Lullwater at
Ft. Clarke
Apartments**

Ft. Clarke, Florida

A Residential
Development by: Ft.
Clarke Apartments
Residences, LLC

This drawing as an instrument of
services, is and shall remain the
property of SGN+A and shall not
be reproduced, published or used in
any way without permission of
SGN+A, Inc.

Sheet Title:
Building Elevations,
Type IIIa

Date:
September 30, 2022

Sheet Number:

A3.4

Not Released for Construction



1 Building Type III - Bldg. 4
Scale: 1/8" = 1'-0" Front Elevation



2 Building Type III - Bldg. 4
Scale: 1/8" = 1'-0" Rear Elevation



3 Building Type III - Bldg. 4
Scale: 1/8" = 1'-0" End Elevation



4 Building Type III - Bldg. 4
Scale: 1/8" = 1'-0" End Elevation

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Building Elevations, Type IV

Date:
September 30, 2022

Sheet Number:

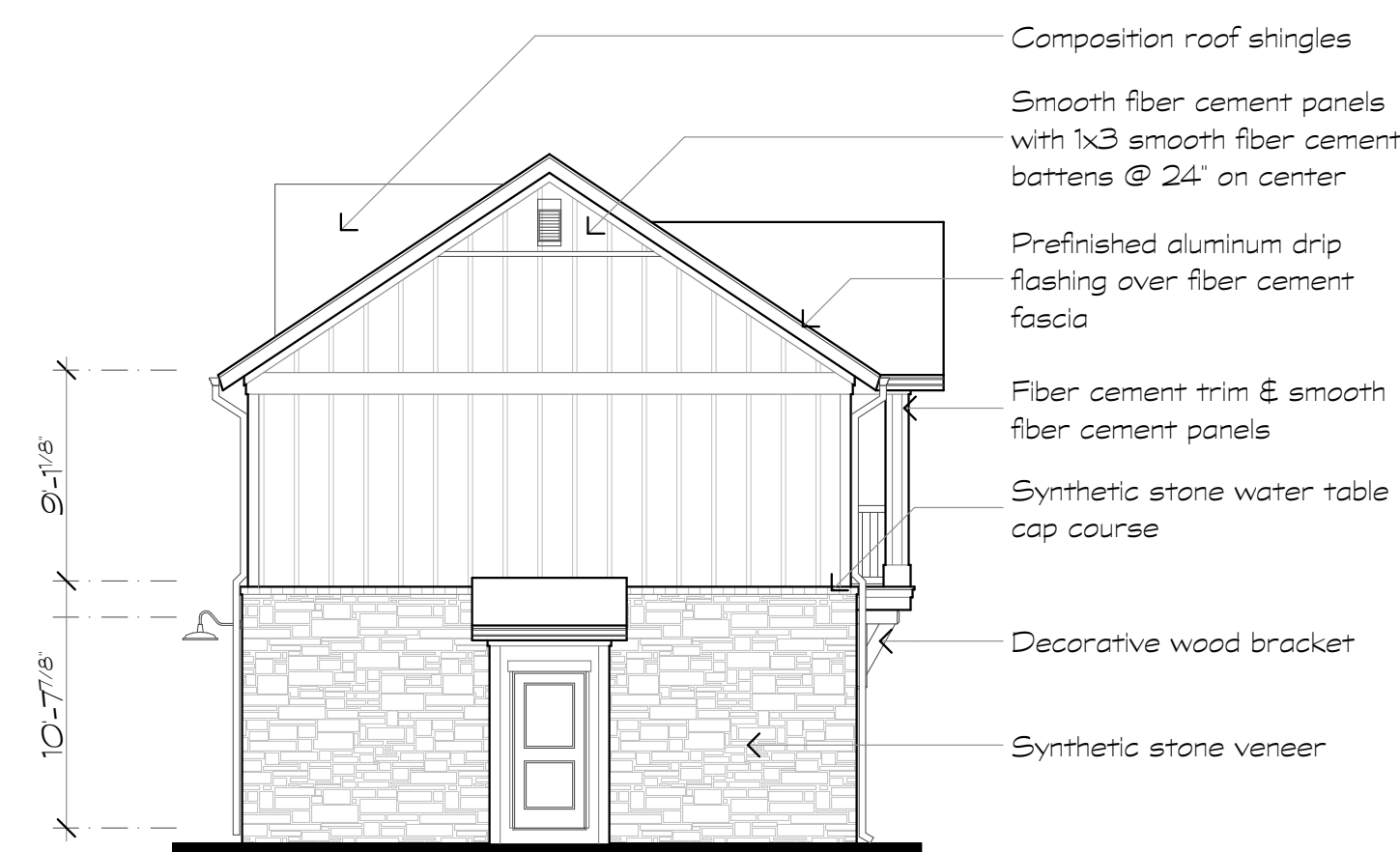
A3.5



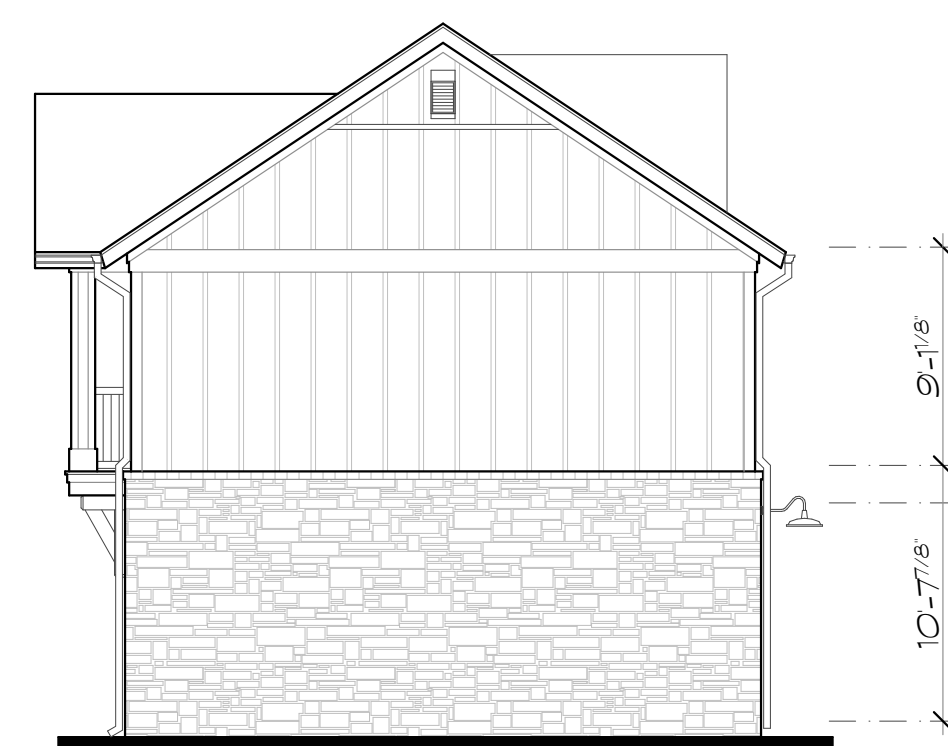
1 Building Type IV
Scale: 1/8" = 1'-0"
Front Elevation



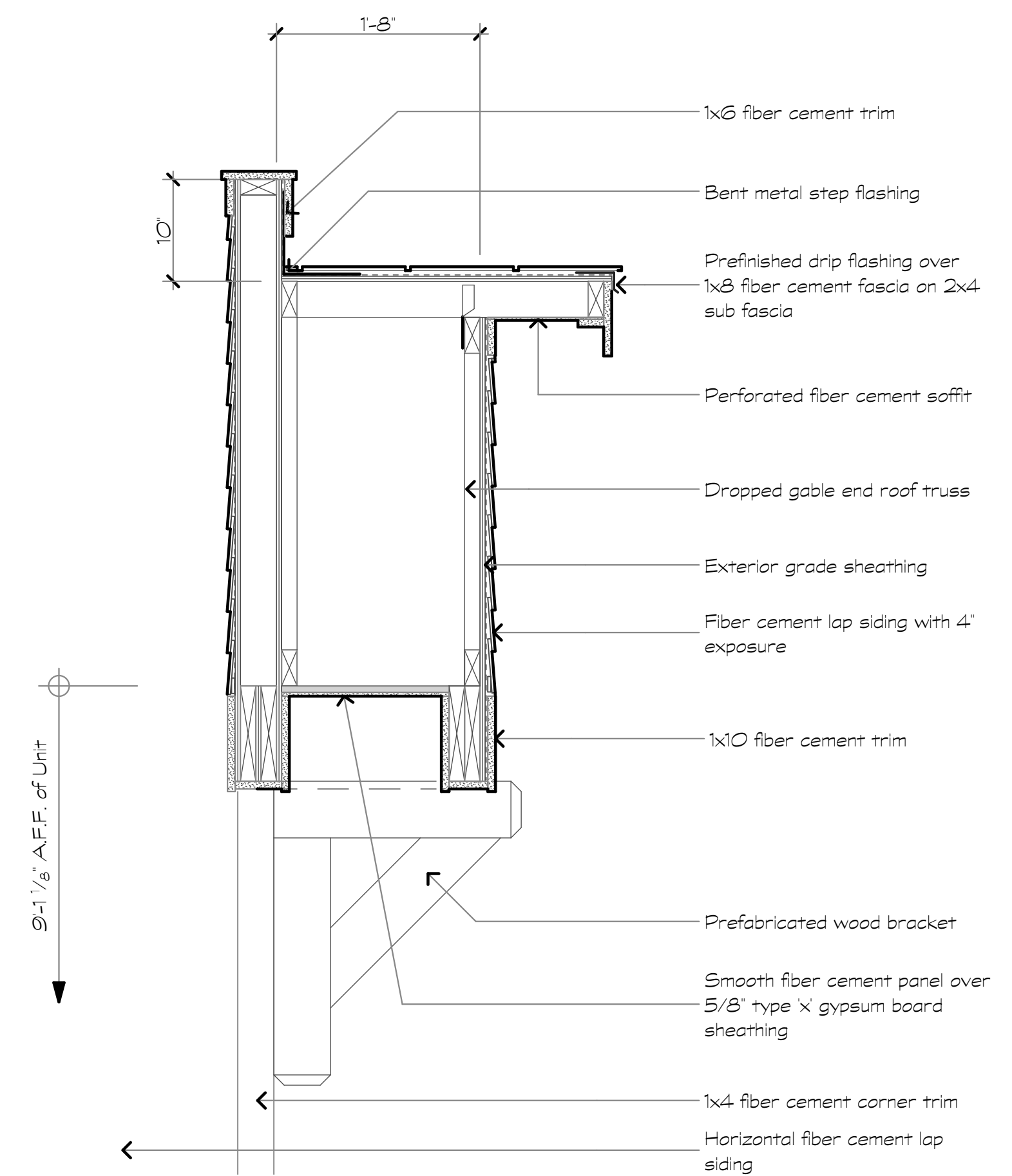
2 Building Type IV
Scale: 1/8" = 1'-0"
Rear Elevation



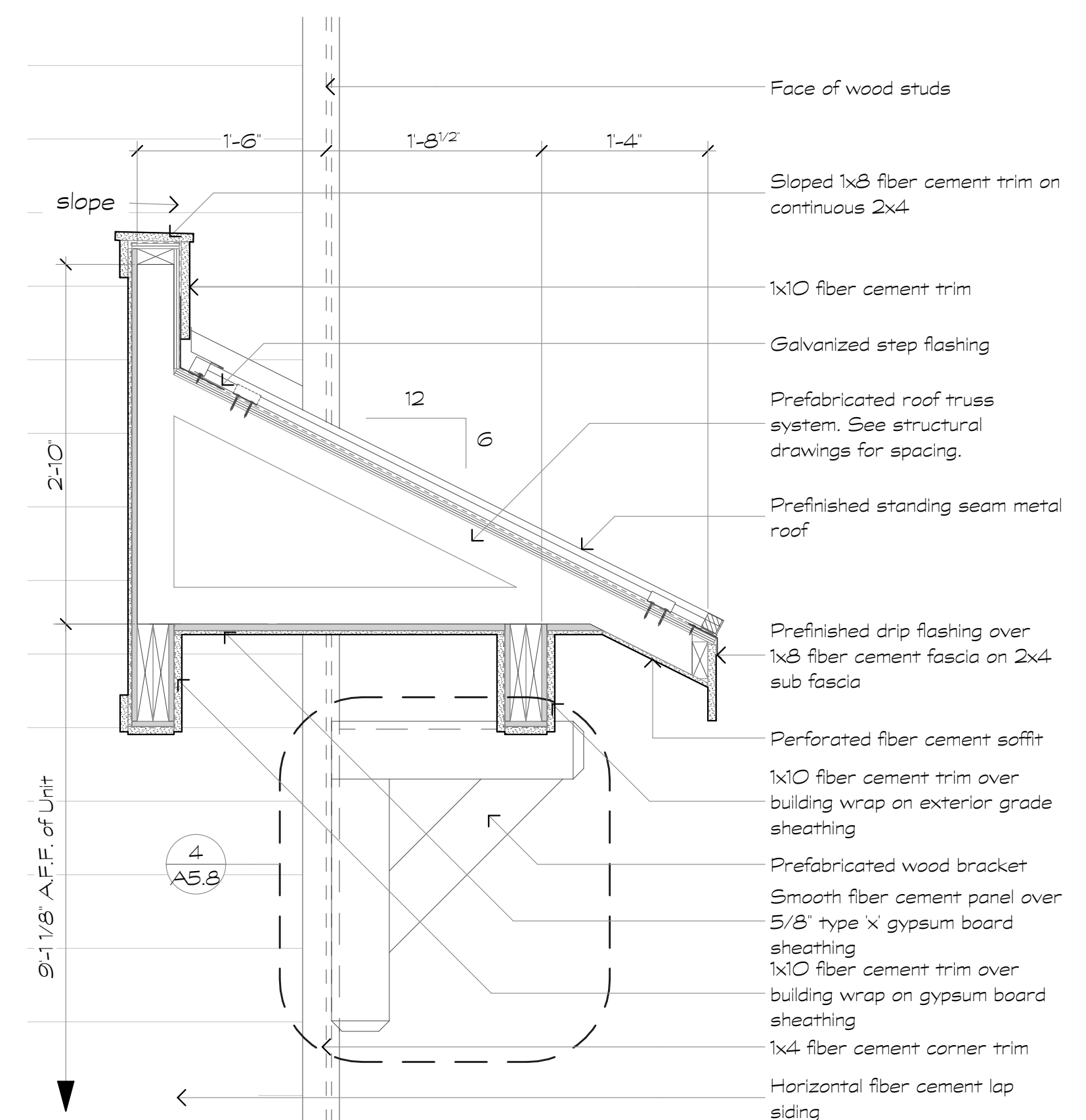
3 Building Type IV
Scale: 1/8" = 1'-0"
End Elevation



4 Building Type IV
Scale: 1/8" = 1'-0"
End Elevation



5 Gable Roof at Breezeway
1" = 1'-0"



6 Shed Roof at Breezeway
Scale: 1" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Building Elevations, Type IVa

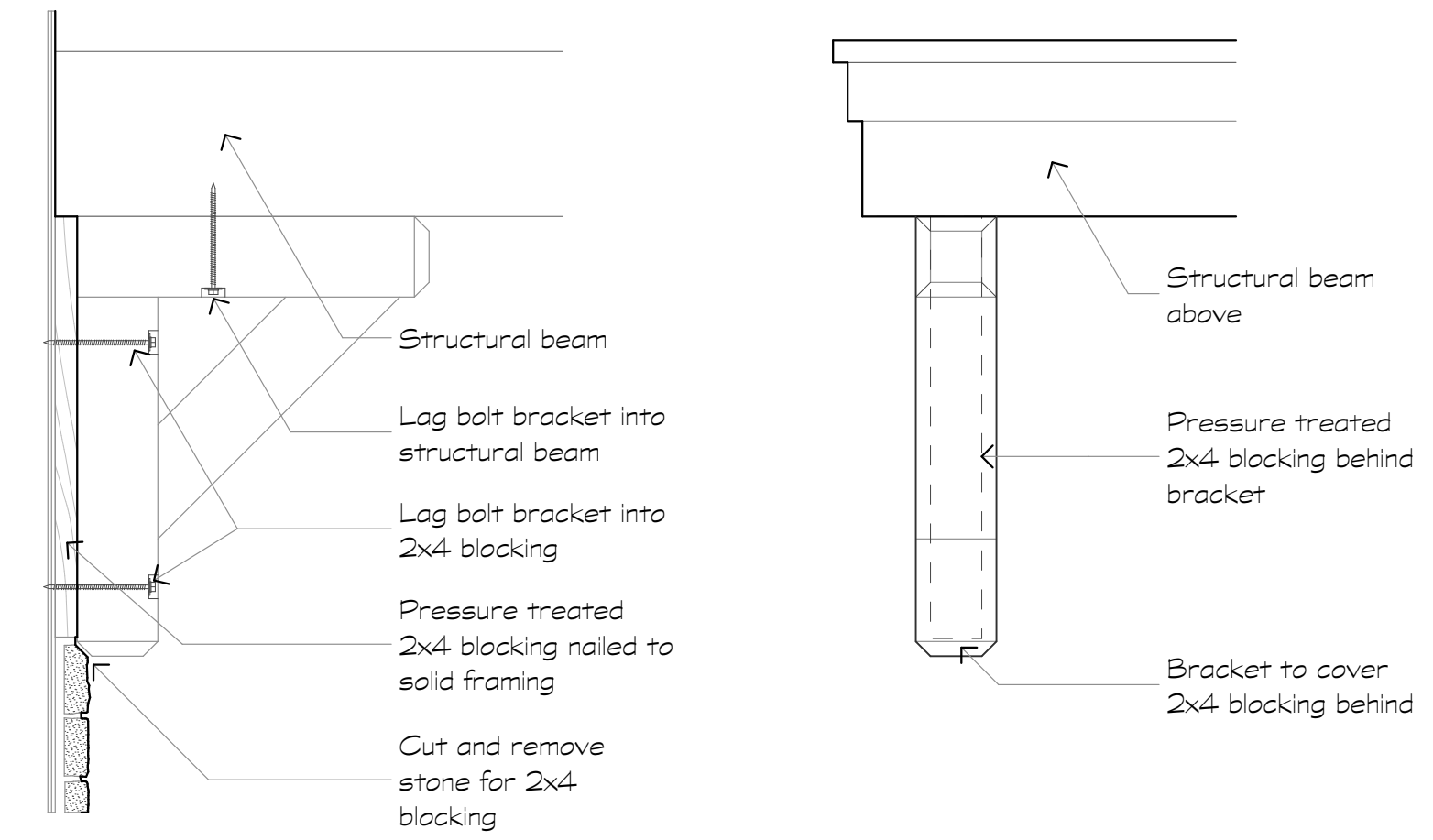
Date:
September 30, 2022

Sheet Number:

A3.6



1 Building Type IVa
Scale: 1/8" = 1'-0"
Front Elevation

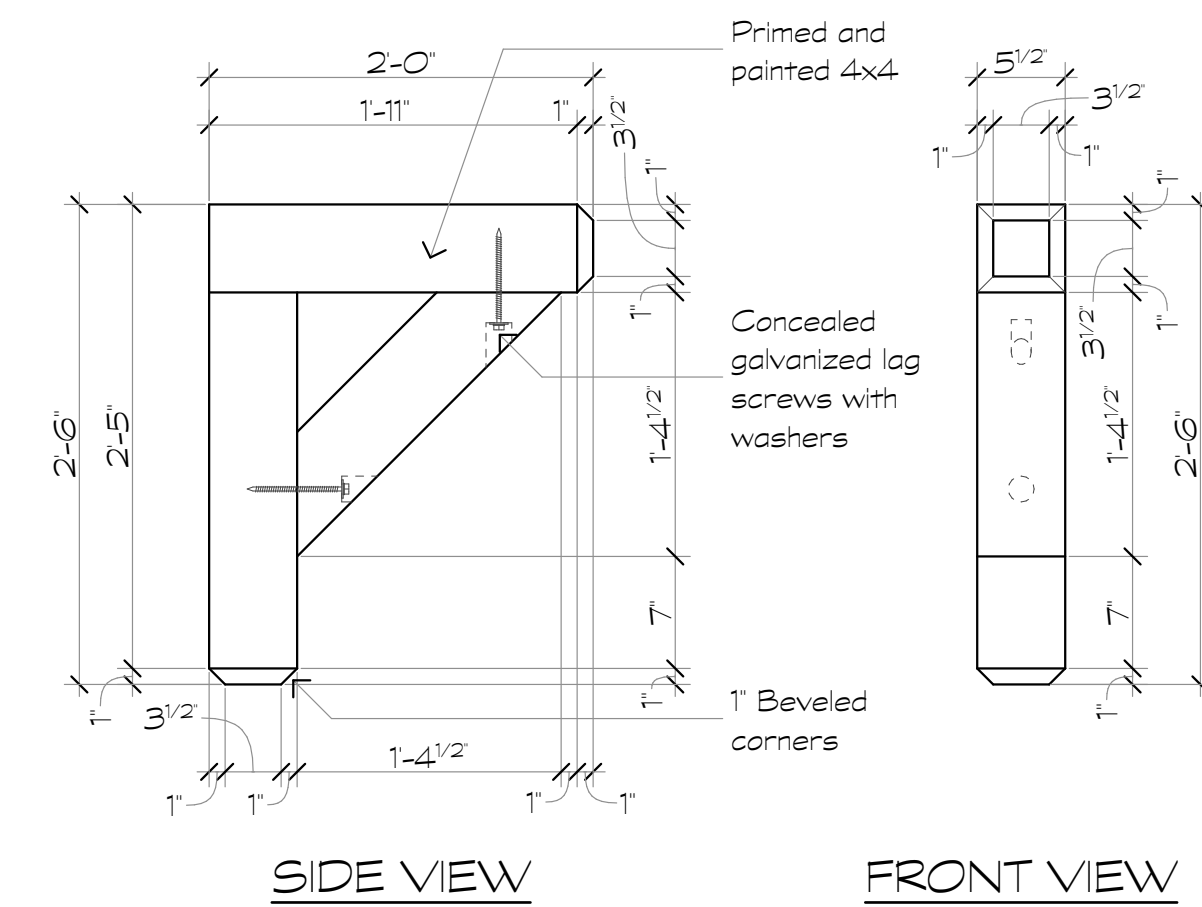


SECTION VIEW
SCALE: 1" = 1'-0"
ELEVATION VIEW
SCALE: 1" = 1'-0"

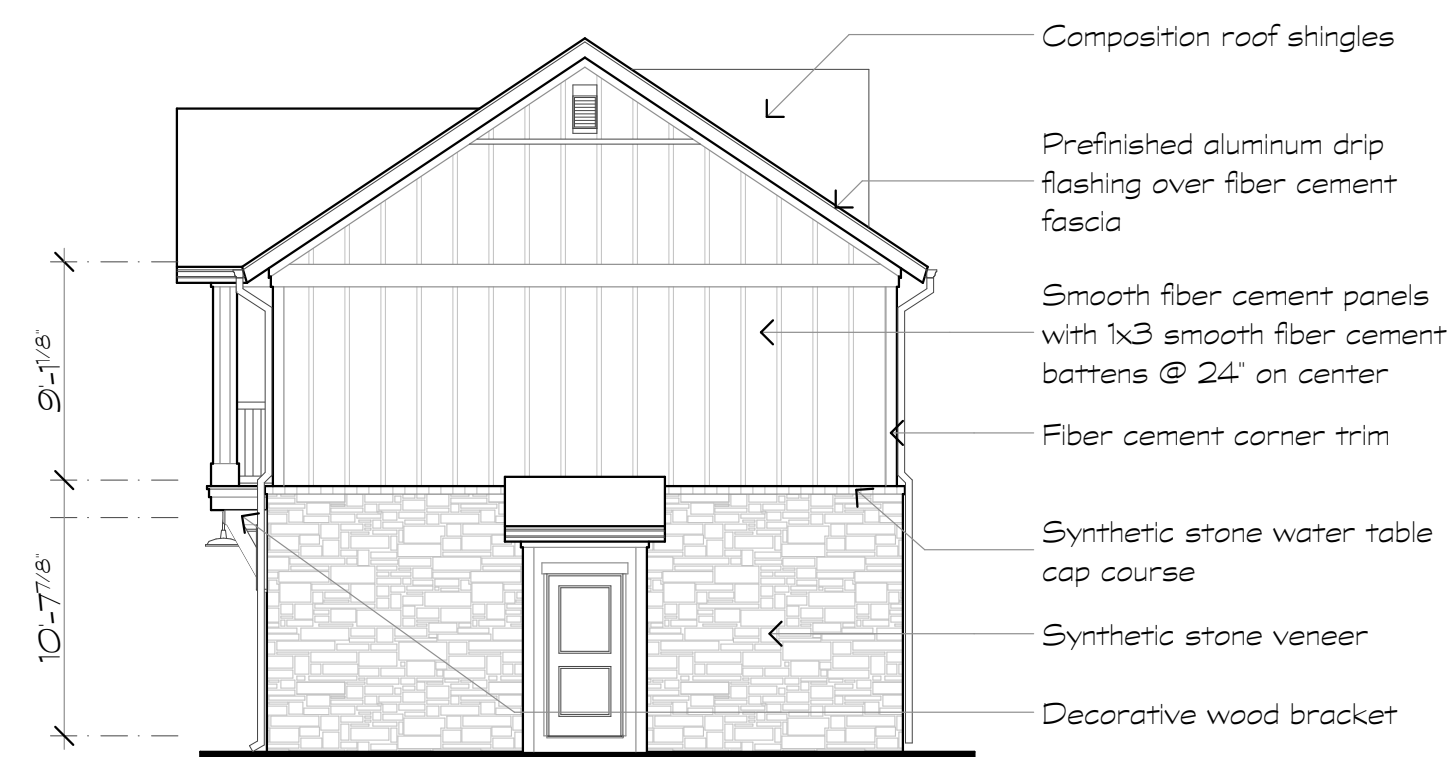
1 Bracket Detail Stone
Scale: 1" = 1'-0"



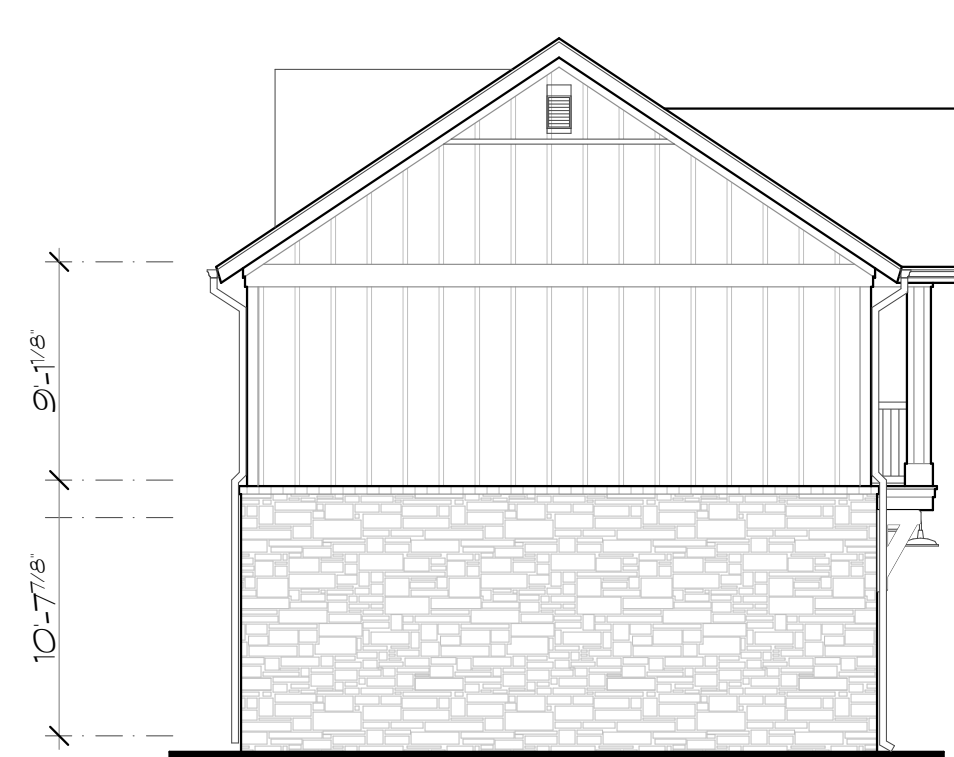
2 Building Type IVa
Scale: 1/8" = 1'-0"
Rear Elevation



2 Wood Bracket at Breezeway
Scale: 1" = 1'-0"



3 Building Type IVa
Scale: 1/8" = 1'-0"
End Elevation



4 Building Type IVa
Scale: 1/8" = 1'-0"
End Elevation

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Building Elevations, Type V

Date:
September 30, 2022

Sheet Number:

A3.7



1 Building Type V
Scale: 1/8" = 1'-0"



2 Building Type V
Scale: 1/8" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Building Elevations, Type V

Date:
September 30, 2022

Sheet Number:

A3.8



1 Building Type V
Scale: 1/8" = 1'-0"



- Composition roof shingles
- Prefinished aluminum gutter & downspout system
- Smooth fiber cement panels with 1x3 smooth fiber cement battens @ 24" on center
- 1x6 fiber cement corner trim
- 5/4 x 12 fiber cement trim
- Single hung window with insulating glass
- Horizontal fiber cement lap siding
- 1x12 fiber cement trim
- Synthetic stone water table cap course
- Vinyl guardrail system
- Synthetic stone veneer

2 Building Type V
Scale: 1/8" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Building Elevations, Type Va

Date:
September 30, 2022

Sheet Number:

A3.9



1 Building Type Va
Scale: 1/8" = 1'-0"



2 Building Type Va
Scale: 1/8" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at
Ft. Clarke
Apartments

Ft. Clarke, Florida

A Residential
Development by: Ft.
Clarke Apartments
Residences, LLC

This drawing as an instrument of
services, is and shall remain the
property of SGN+A and shall not
be reproduced, published or used
in any way without permission of
SGN+A, Inc.

Sheet Title:
Building Elevations,
Type Va

Date:
September 30, 2022

Sheet Number:

A3.10



1 Building Type Va
Scale: 1/8" = 1'-0"



2 Building Type Va
Scale: 1/8" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

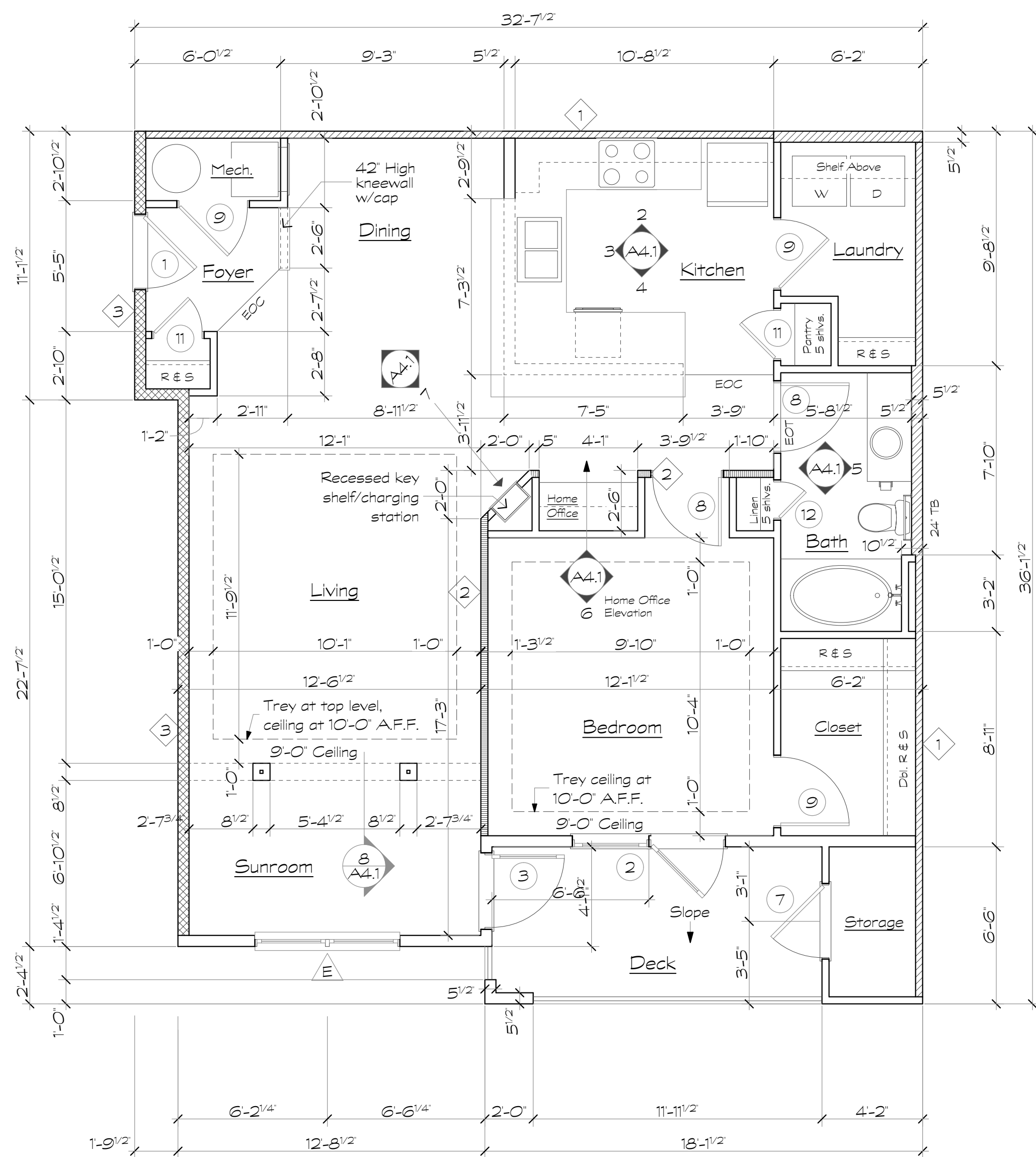
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Unit Plan, Type A1, Plan & Interior Elevations

Date:
September 30, 2022

Sheet Number:

A4.1



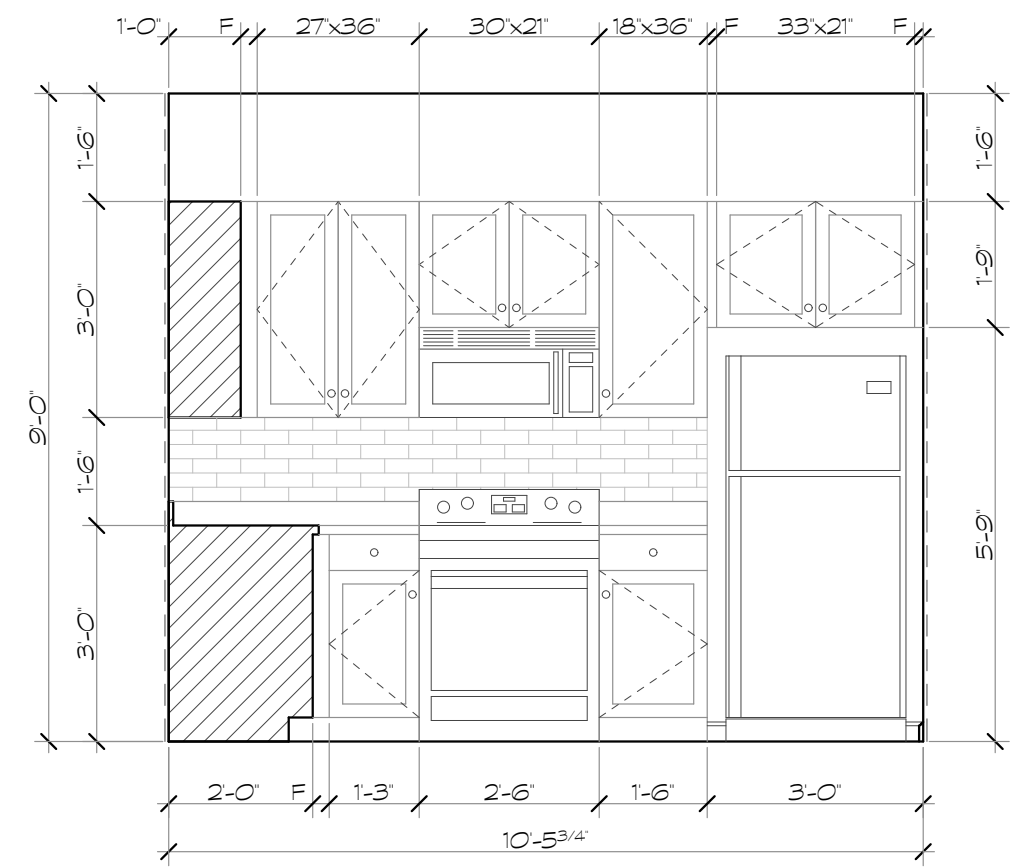
1 Unit A1
Scale: 1/4" = 1'-0"

Unit Plan Notes

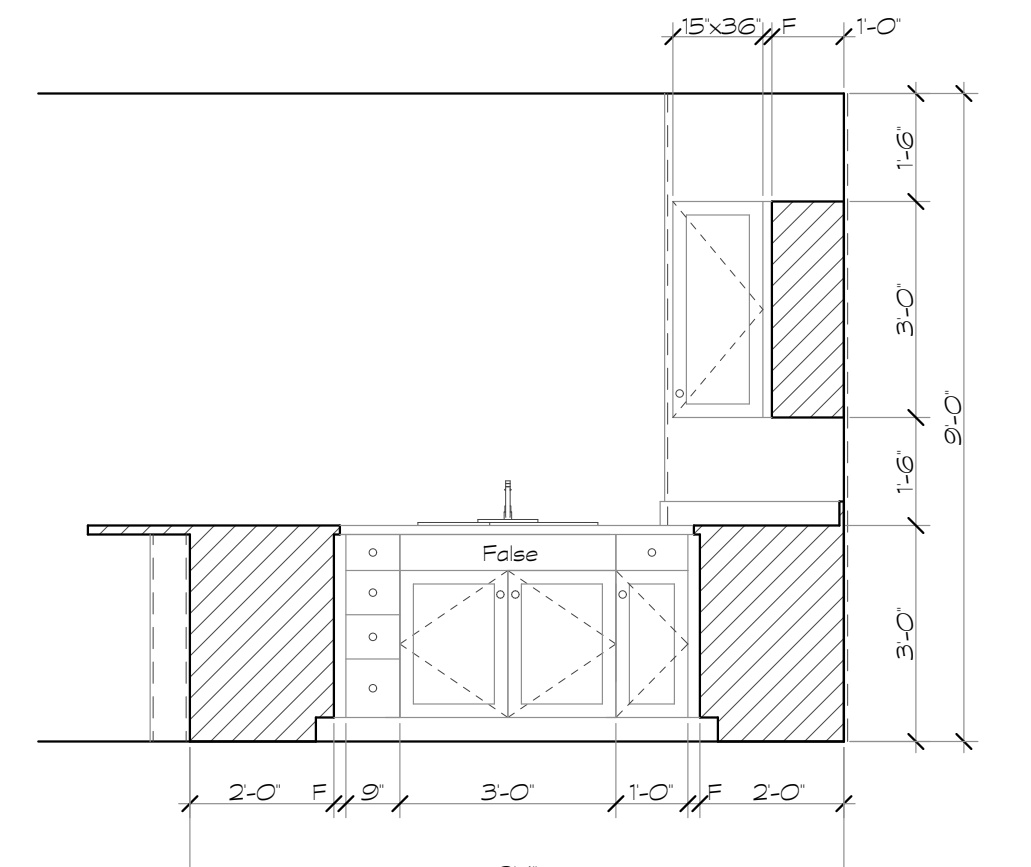
1. All floor plan dimensions are to face of stud.
2. All interior elevation dimensions are to finished wall.
3. Single rod and wire shelf at closets shall have shelf mounted at 5'-0" above finished floor.
4. Double rod and wire shelves shall have shelves mounted at 3'-4" and 6'-8" above finished floor.
5. 18" shelf at laundry room mounted at 5'-0" above finished floor.
6. Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
7. Door locations not dimensioned are to midpoint of wall segment, typical.
8. Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
9. EOC - denotes (Edge of Carpet)
EOT - denotes (Edge of Tile)
10. Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.7.
11. Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
12. Provide 2x6 blocking at all shelving locations. See 8/A6.7.
13. Pre-pour gypcrete below all tubs prior to setting tubs. Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
14. Install 3A-40B,C fire extinguisher in kitchen cabinet under sink at all units.
15. See sheet A4.14 for grab bar blocking locations & reinforcing at all ground floor units.
16. Provide 3/2 batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
17. Tray ceiling shown on plan occurs at top floor units ONLY.
18. See sheet A4.15 for crown molding locations.

Wall Legend

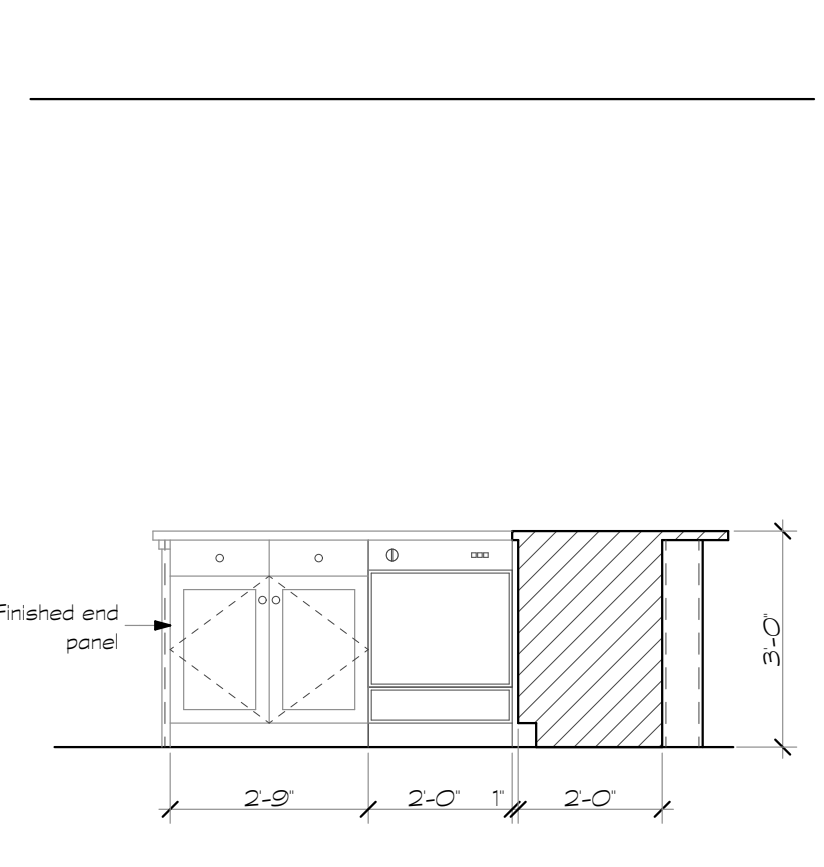
- 1 One hour rated tenant separation wall, U.L. Design U341. See sheet AO.2
- 2 One hour rated interior load bearing wall, U.L. Design U305. See sheet AO.4
- 3 One hour rated breezeway wall, U.L. Design U356. See sheet AO.2



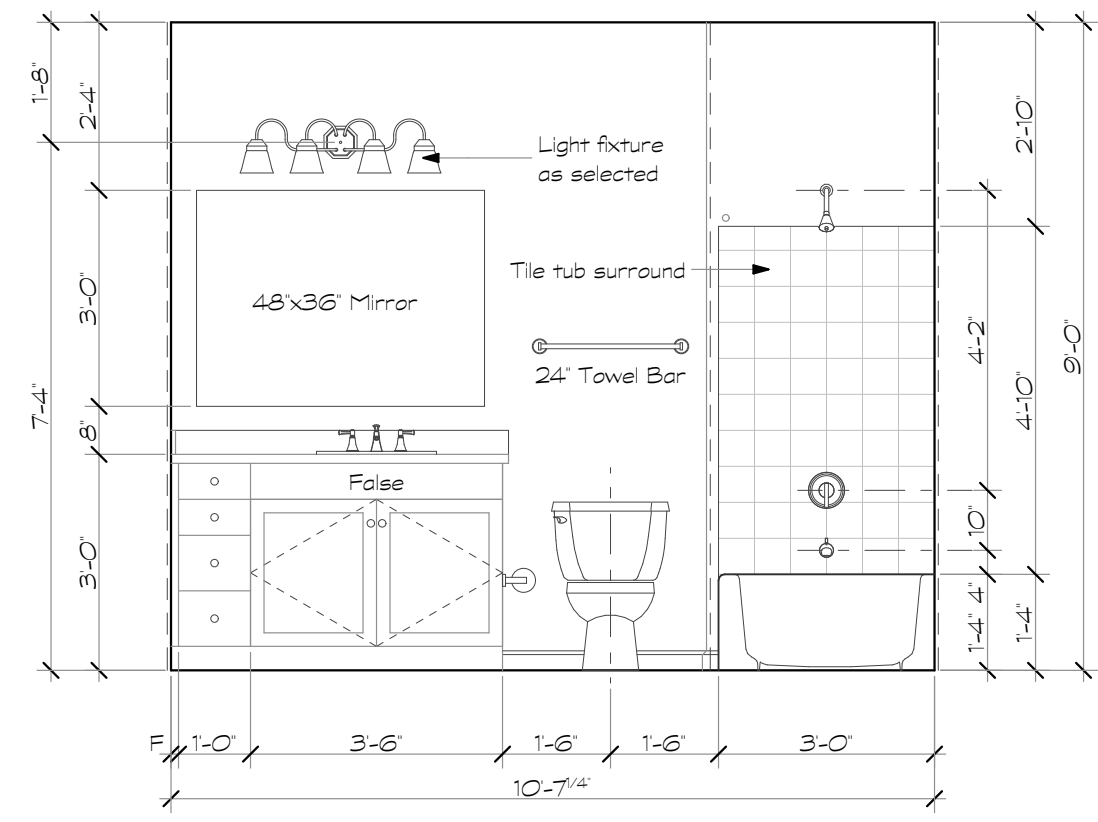
2 Kitchen
Scale: 3/8" = 1'-0"



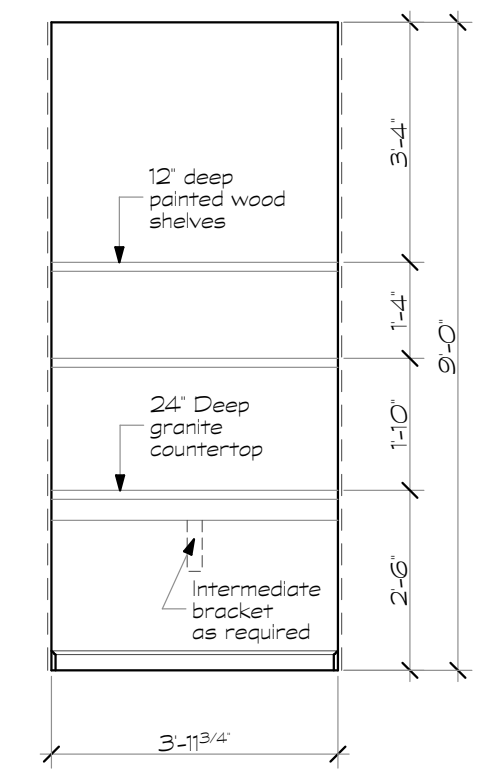
3 Kitchen
Scale: 3/8" = 1'-0"



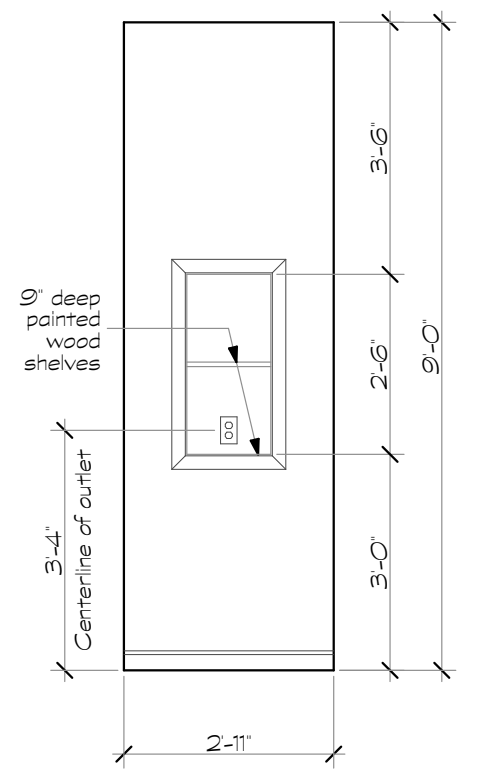
4 Kitchen
Scale: 3/8" = 1'-0"



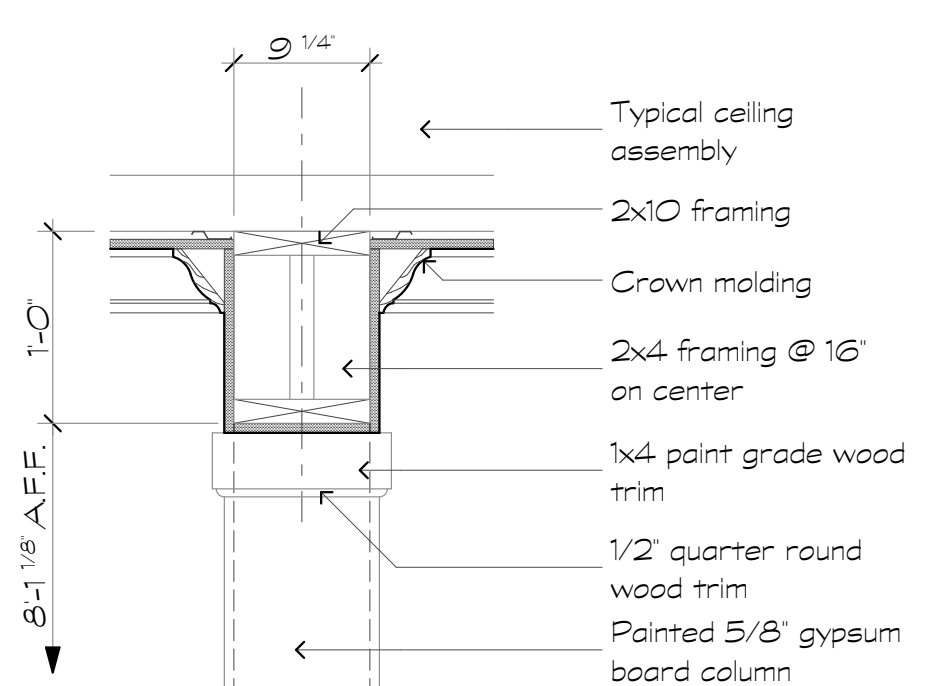
5 Bath
Scale: 3/8" = 1'-0"



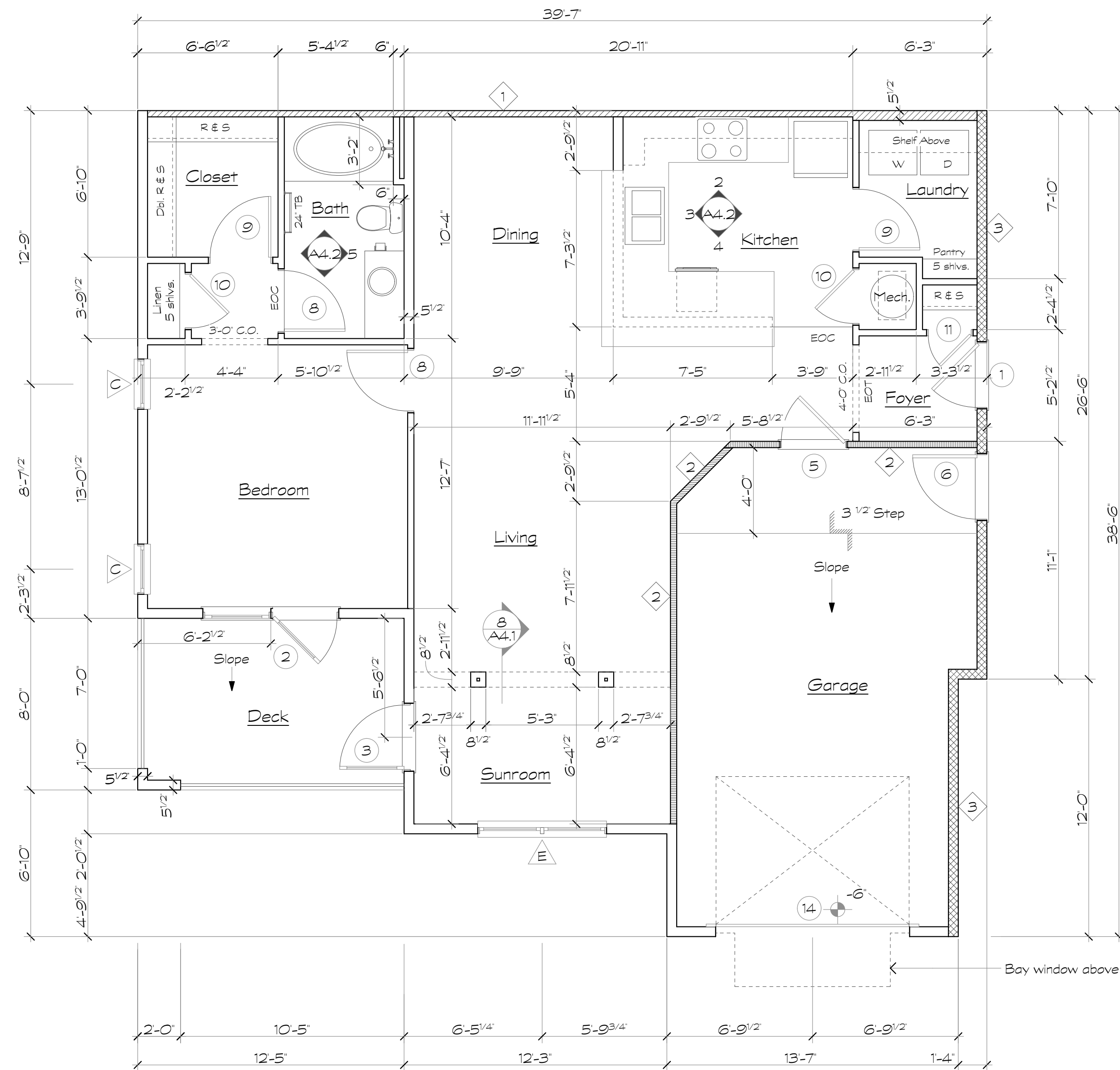
6 Home Office
Scale: 3/8" = 1'-0"



7 Charging Station
Scale: 3/8" = 1'-0"



8 Header at Sunroom
Scale: 1" = 1'-0"



1 Unit A2
Scale: 1/4" = 1'-0"

Wall Legend

1	One hour rated tenant separation wall, U.L. Design U341. See sheet AO.2	
2	One hour rated interior load bearing wall, U.L. Design U305. See sheet AO.4	
3	One hour rated breezeway wall, U.L. Design U356. See sheet AO.2	

- Unit Plan Notes**
- All floor plan dimensions are to face of stud.
 - All interior elevation dimensions are to finished wall.
 - Single rod and wire shelf at closets shall have shelf mounted at 5'-9" above finished floor.
 - Double rod and wire shelves shall have shelves mounted at 3'-4" and 6'-8" above finished floor.
 - 18" shelf at laundry room mounted at 5'-0" above finished floor.
 - Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
 - Door locations not dimensioned are to midpoint of wall segment, typical.
 - Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
 - EOC - denotes (Edge of Carpet)
EOT - denotes (Edge of Tile)
 - Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.7.
 - Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
 - Provide 2x6 blocking at all shelving locations. See B/A6.7.
 - Pre-pour gypcrete below all tubs prior to setting tubs. Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
 - Install 3A-40B:C fire extinguisher in kitchen cabinet under sink at all units.
 - See sheet A4.14 for grab bar blocking locations & reinforcing at all ground floor units.
 - Provide 3 1/2" batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
 - Tray ceiling shown on plan occurs at top floor units ONLY.
 - See sheet A4.15 for crown molding locations.

Revisions:

Date:	Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

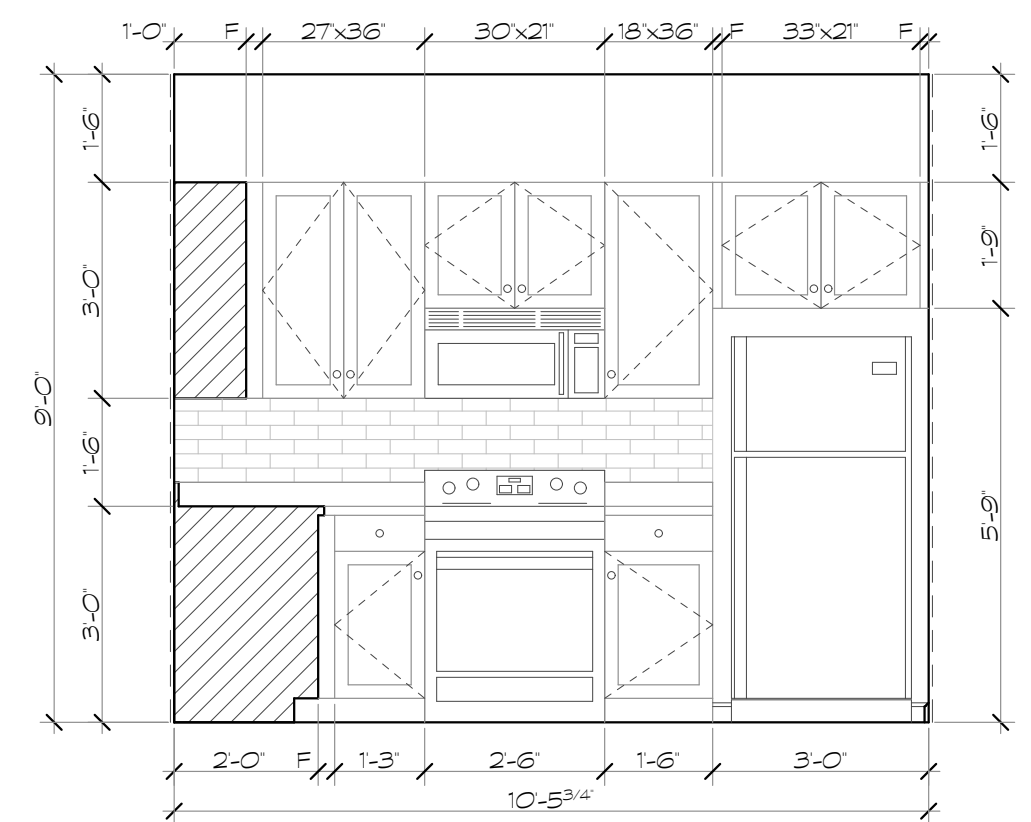
A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

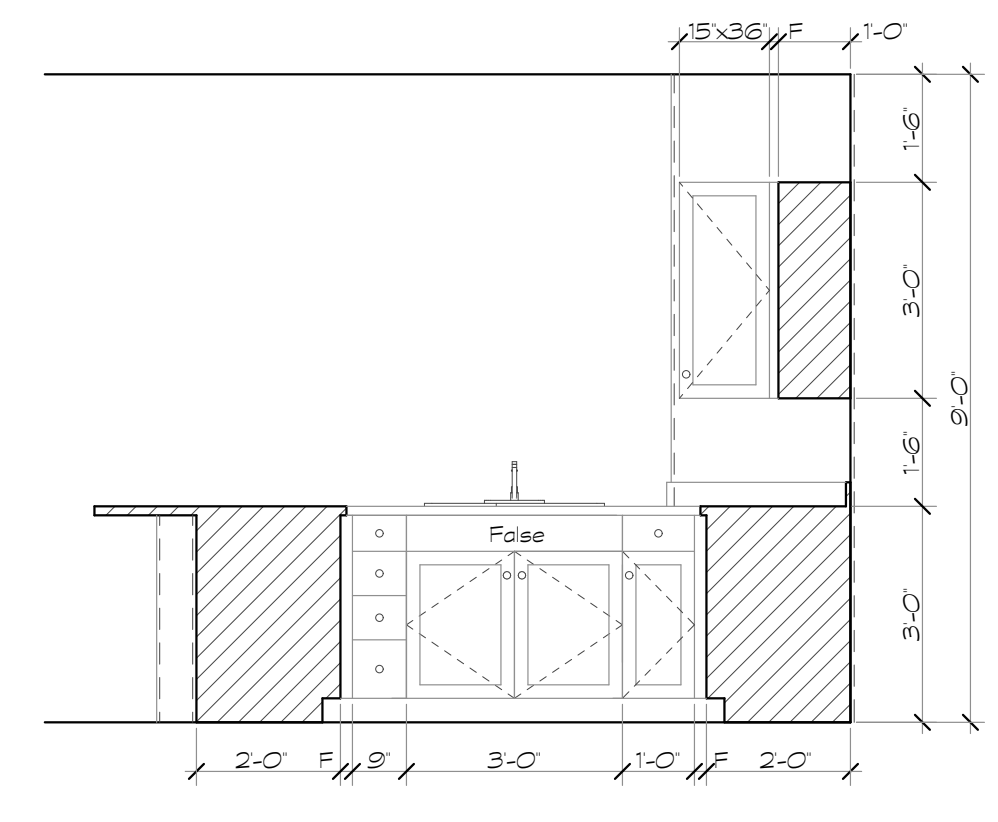
Sheet Title:
Unit Plan, Type A2, Plan & Interior Elevations

Date:
September 30, 2022

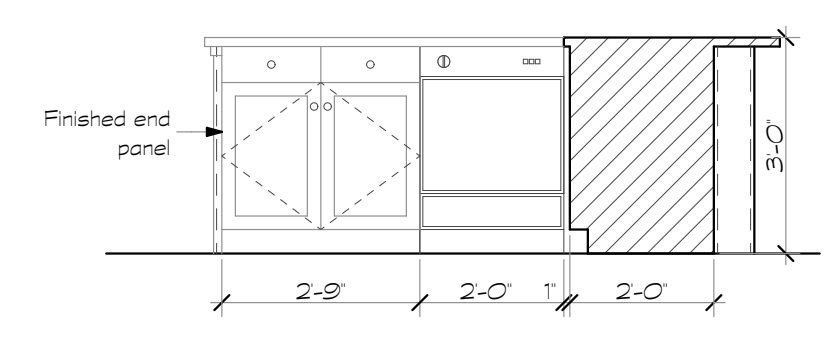
Sheet Number:



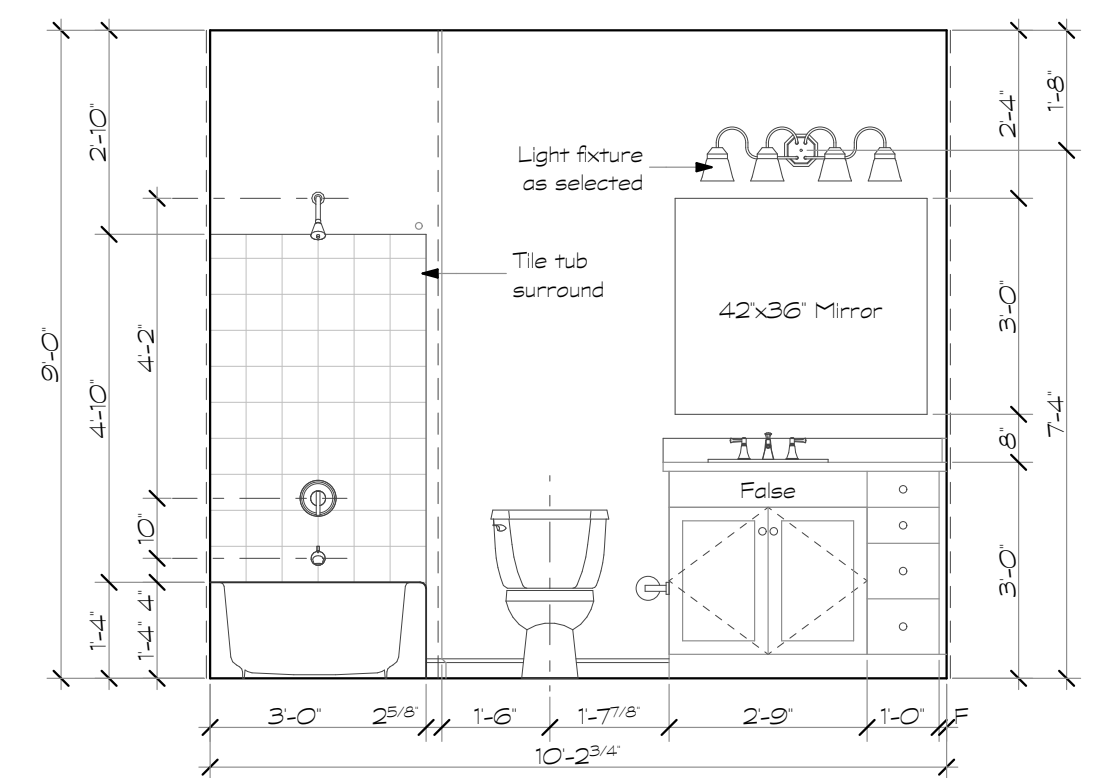
2 Kitchen
Scale: 3/8" = 1'-0"



3 Kitchen
Scale: 3/8" = 1'-0"



4 Kitchen
Scale: 3/8" = 1'-0"



5 Bath
Scale: 3/8" = 1'-0"

Revisions:

Date: _____
Description: _____

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:

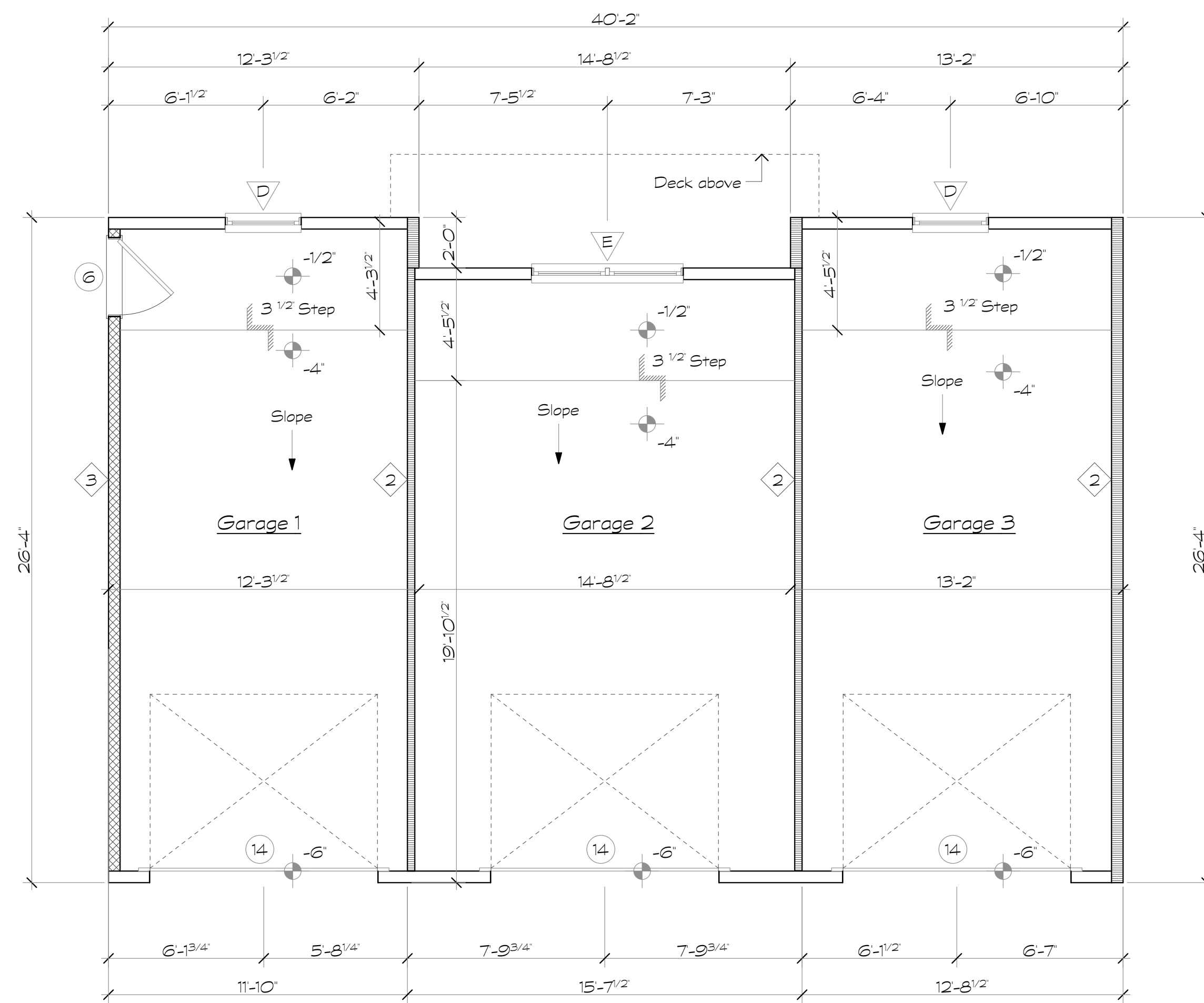
Unit Plan, Type A3, Plans & Interior Elevations

Date:

September 30, 2022

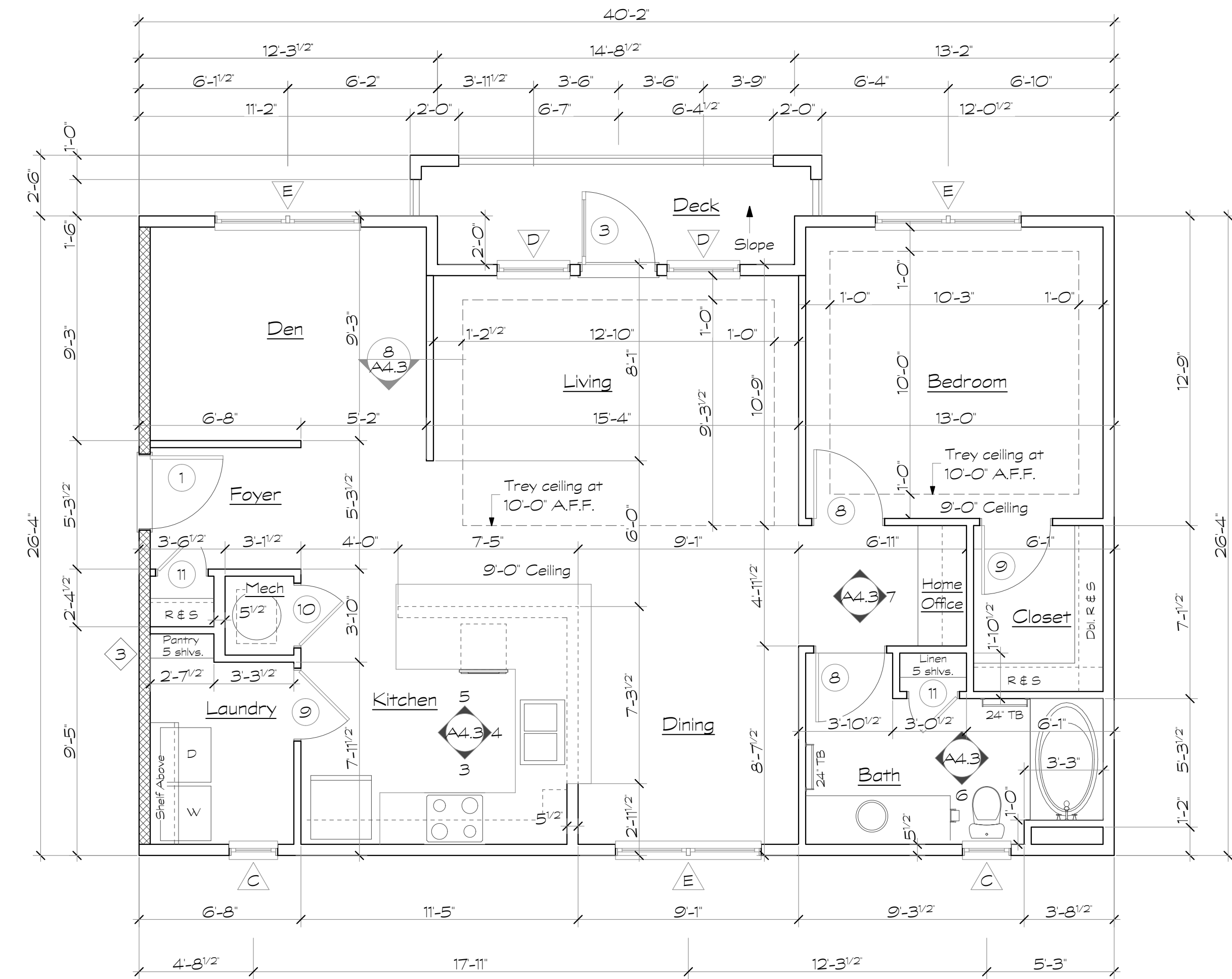
Sheet Number:

A4.3

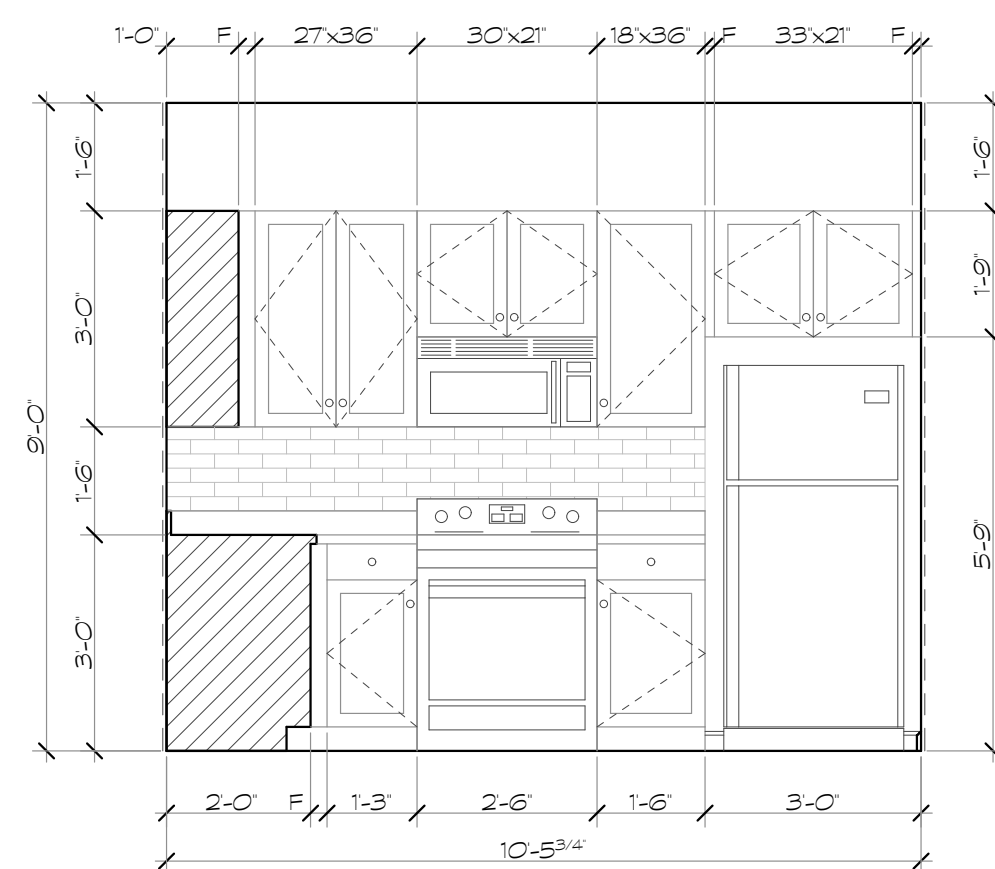


1 Garage Under A3 @ Building Type IV
Scale: 1/4" = 1'-0"

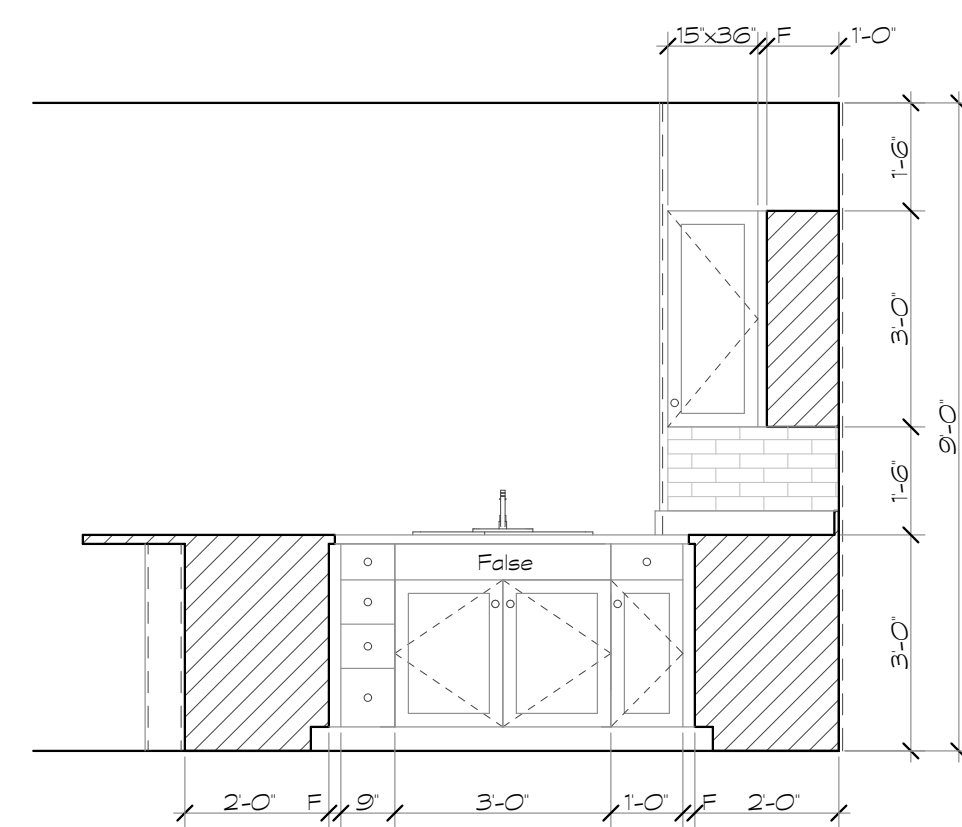
NOTE: SEE 1/A4.4 FOR GARAGE UNDER A3 @ BUILDING TYPE IVa



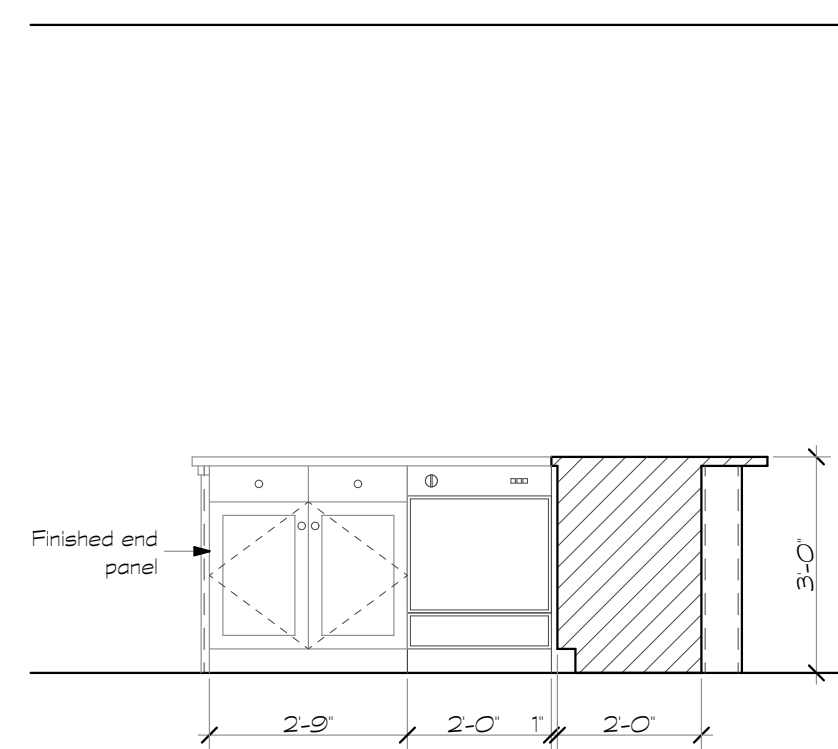
2 Unit A3
Scale: 1/4" = 1'-0"



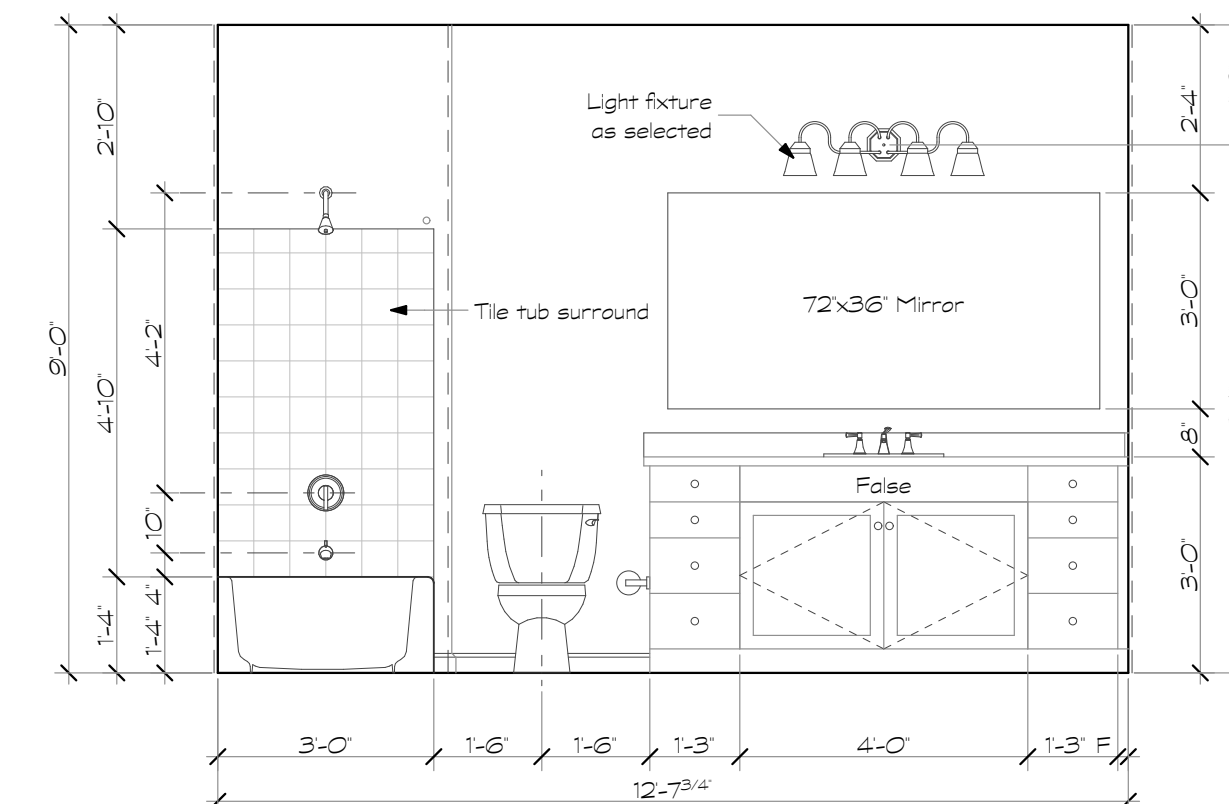
3 Kitchen
Scale: 3/8" = 1'-0"



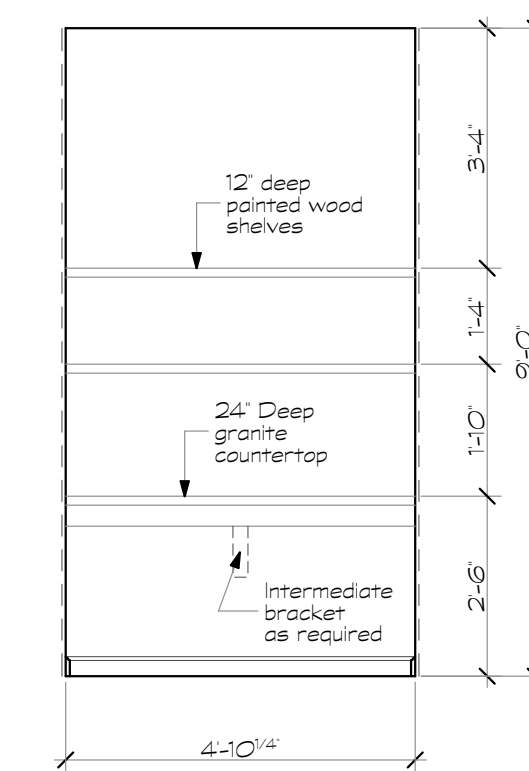
4 Kitchen
Scale: 3/8" = 1'-0"



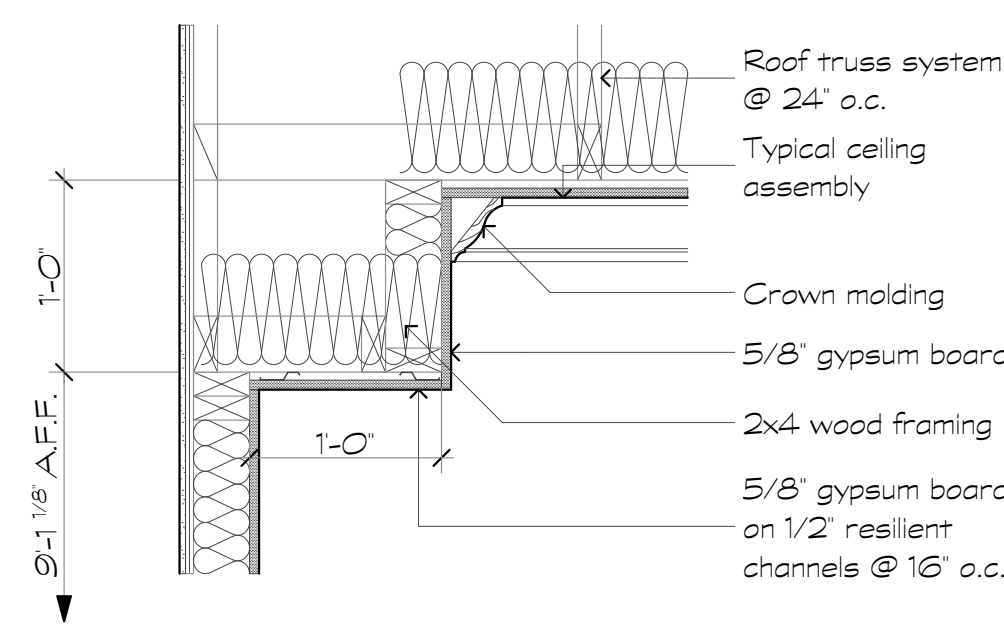
5 Kitchen
Scale: 3/8" = 1'-0"



6 Bath
Scale: 3/8" = 1'-0"



7 Home Office
Scale: 3/8" = 1'-0"



8 Tray Ceiling Detail
Scale: 1" = 1'-0"

Wall Legend

- ① One hour rated tenant separation wall, U.L. Design U341. See sheet AO.2
- ② One hour rated interior load bearing wall, U.L. Design U305. See sheet AO.4
- ③ One hour rated breezeway wall, U.L. Design U356. See sheet AO.2

Unit Plan Notes

1. All floor plan dimensions are to face of stud.
2. All interior elevation dimensions are to finished wall.
3. Single rod and wire shelf at closets shall have shelf mounted at 5'-9" above finished floor.
4. Double rod and wire shelves shall have shelves mounted at 3'-4" and 6'-8" above finished floor.
5. 18" double shelves at laundry room shall have shelves mounted at 4'-8" & 6'-0" above finished floor.
6. Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
7. Door locations not dimensioned are to midpoint of wall segment, typical.
8. Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
9. EOC - denotes (Edge of Carpet)
EOT - denotes (Edge of Tile)
10. Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.5.
11. Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
12. Provide 2x6 blocking at all shelving locations. See 8/A6.5.
13. Pre-pour gypcrete below all tubs prior to setting tubs.
Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
14. Install 3A-40B:C fire extinguisher in kitchen cabinet under sink at all units.
15. See sheet A4.10 for grab bar blocking locations & reinforcing at all ground floor units.
16. Provide 3 1/2" batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
17. Tray ceiling shown on plan occurs at top floor units ONLY.
18. See sheet A4.15 for crown molding locations.

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

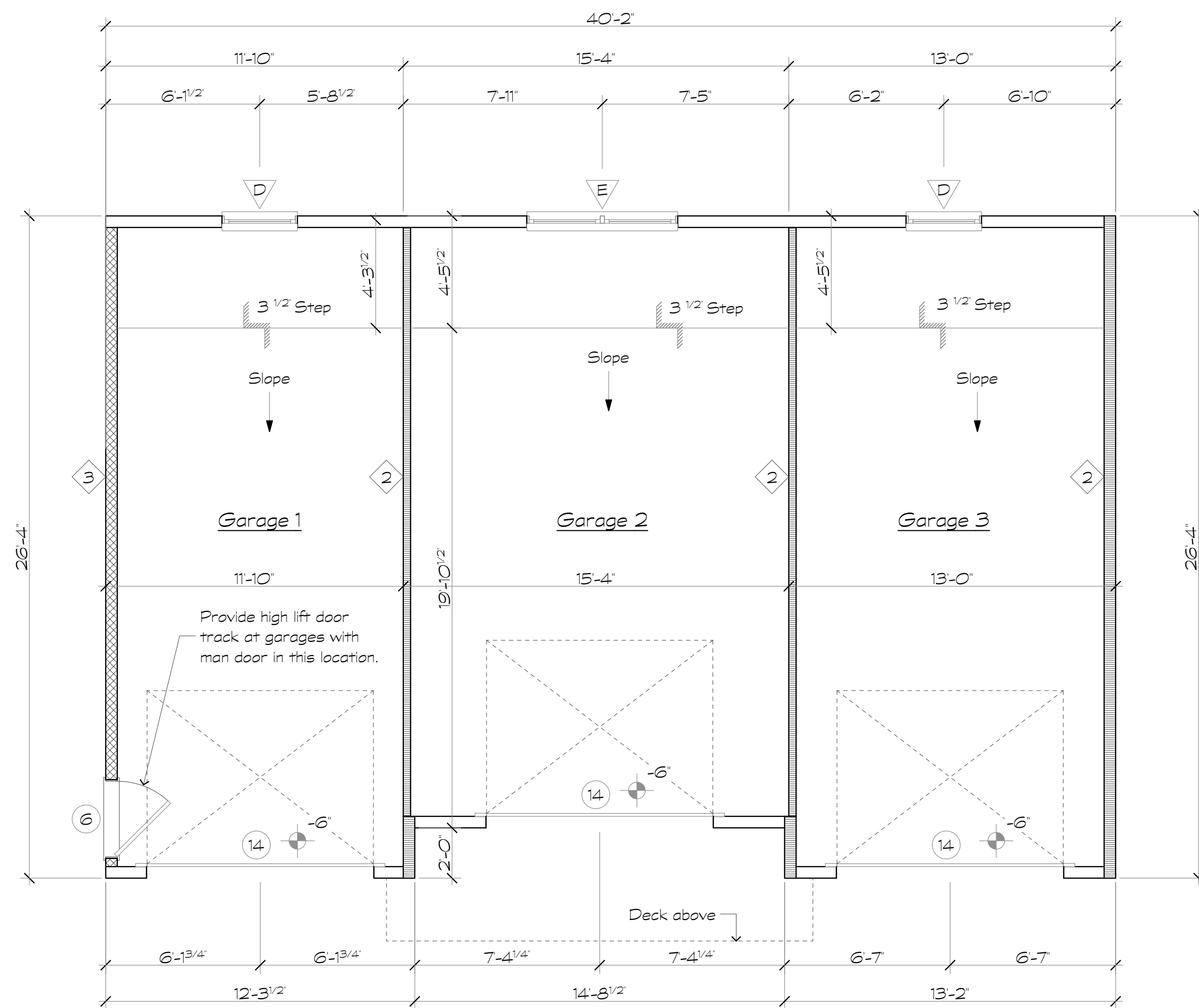
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Unit Plan, Type A4,
Plan & Interior
Elevations A3 Garage
Plan

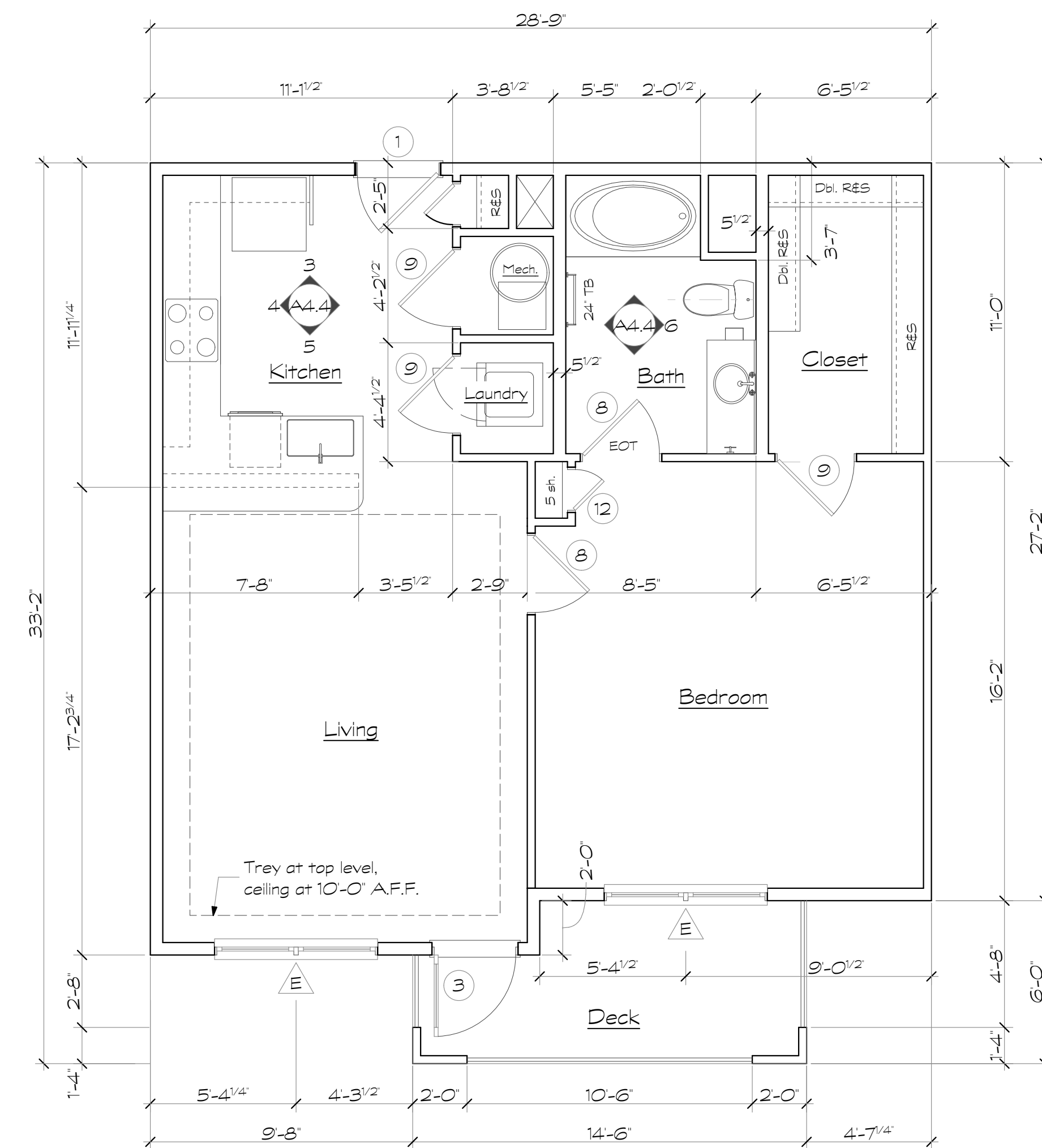
Date:
September 30, 2022

Sheet Number:

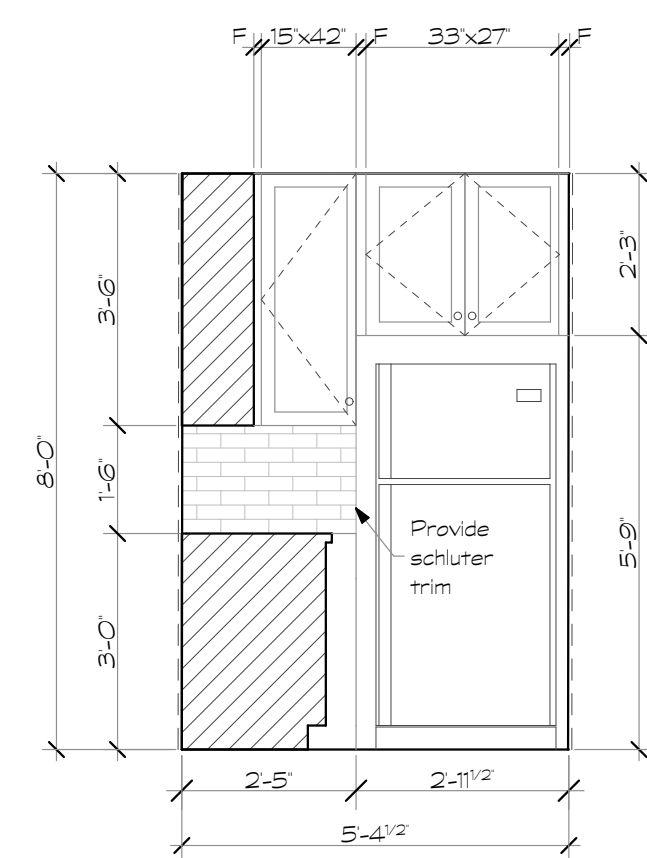
A4.4



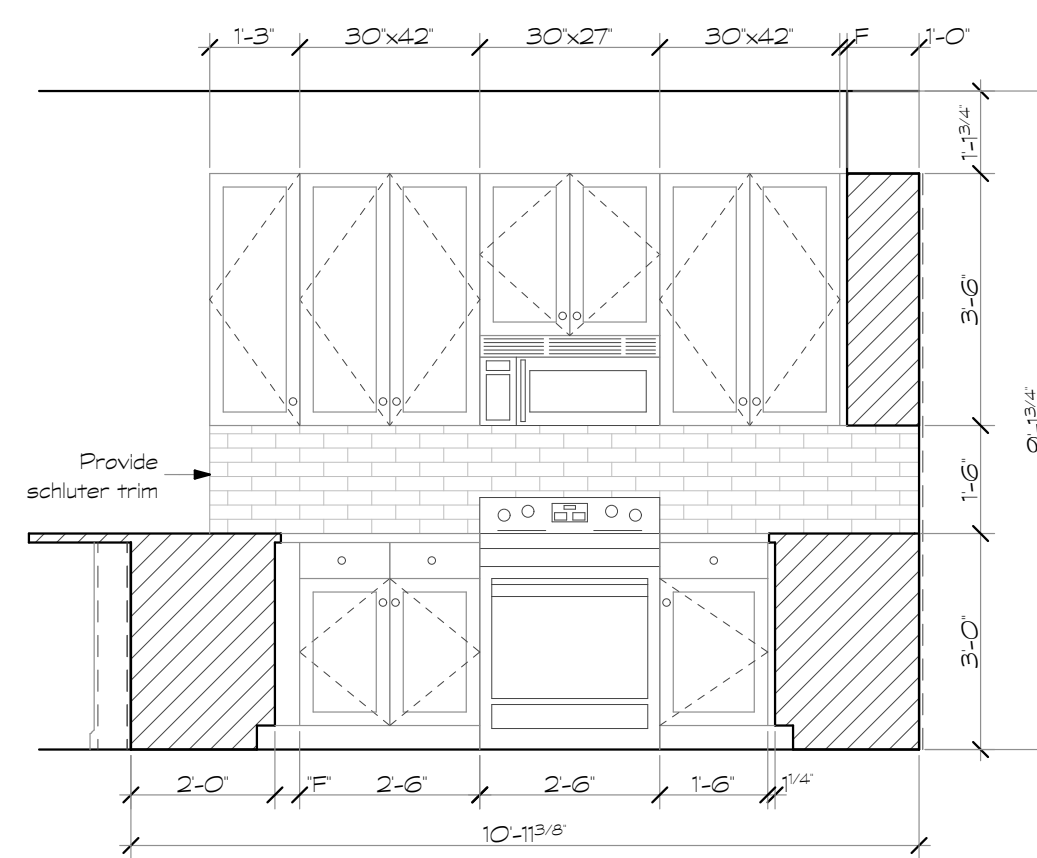
1 Garage Under A3 @ Building Type IVa
Scale: 1/4" = 1'-0"



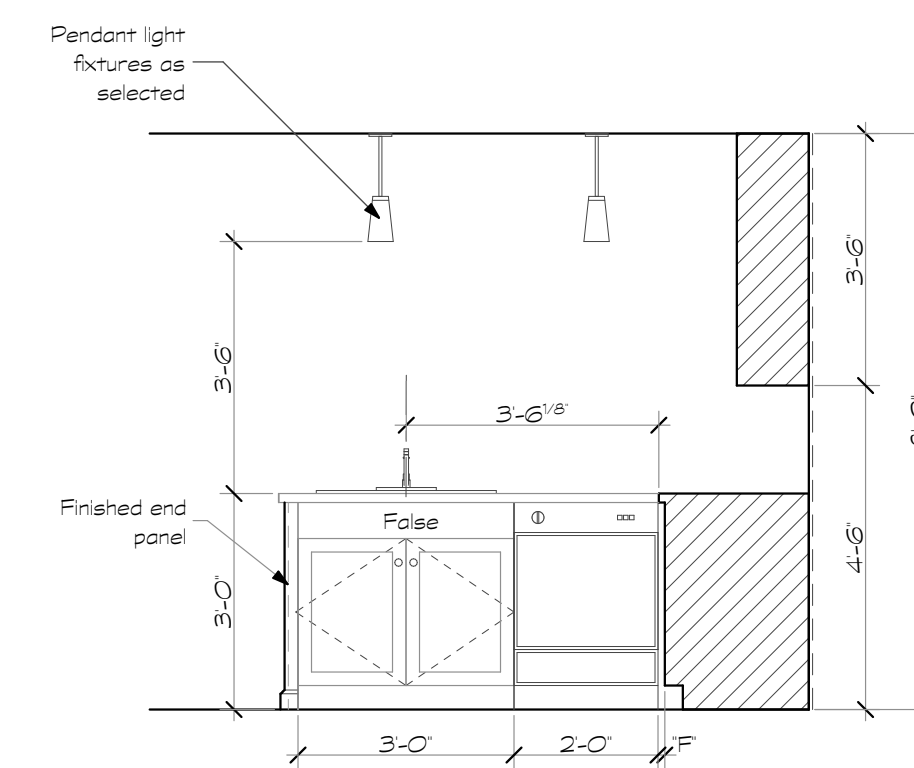
2 Unit A4
Scale: 1/4" = 1'-0"



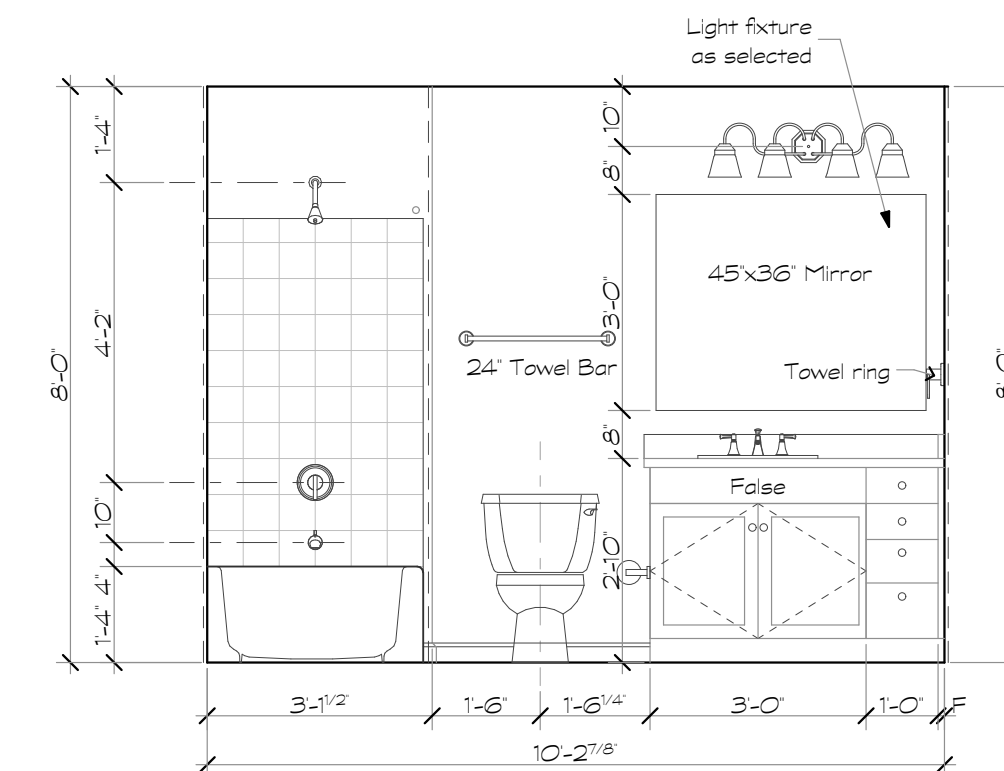
3 Kitchen
Scale: 3/8" = 1'-0"



4 Kitchen
Scale: 3/8" = 1'-0"



5 Kitchen
Scale: 3/8" = 1'-0"



6 Bath
Scale: 3/8" = 1'-0"

- Wall Legend**
- ① One hour rated tenant separation wall, U.L. Design U341. See sheet AO.2
 - ② One hour rated interior load bearing wall, U.L. Design U305. See sheet AO.4
 - ③ One hour rated breezeway wall, U.L. Design U356. See sheet AO.2

Unit Plan Notes

1. All floor plan dimensions are to face of stud.
2. All interior elevation dimensions are to finished wall.
3. Single rod and wire shelf at closets shall have shelf mounted at 5'-9" above finished floor.
4. Double rod and wire shelves shall have shelves mounted at 3'-4" and 6'-5" above finished floor.
5. 18" double shelves at laundry room shall have shelves mounted at 4'-8" & 6'-0" above finished floor.
6. Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
7. Door locations not dimensioned are to midpoint of wall segment, typical.
8. Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
9. EOC - denotes (Edge of Carpet)
EOT - denotes (Edge of Tile)
10. Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.5.
11. Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
12. Provide 2x6 blocking at all shelving locations. See 8/A6.5.
13. Pre-pour gypcrete below all tubs prior to setting tubs.
Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
14. Install 3A-40B:C fire extinguisher in kitchen cabinet under sink at all units.
15. See sheet A4.10 for grab bar blocking locations & reinforcing at all ground floor units.
16. Provide 3 1/2" batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
17. Tray ceiling shown on plan occurs at top floor units ONLY.
18. See sheet A4.15 for crown molding locations.

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

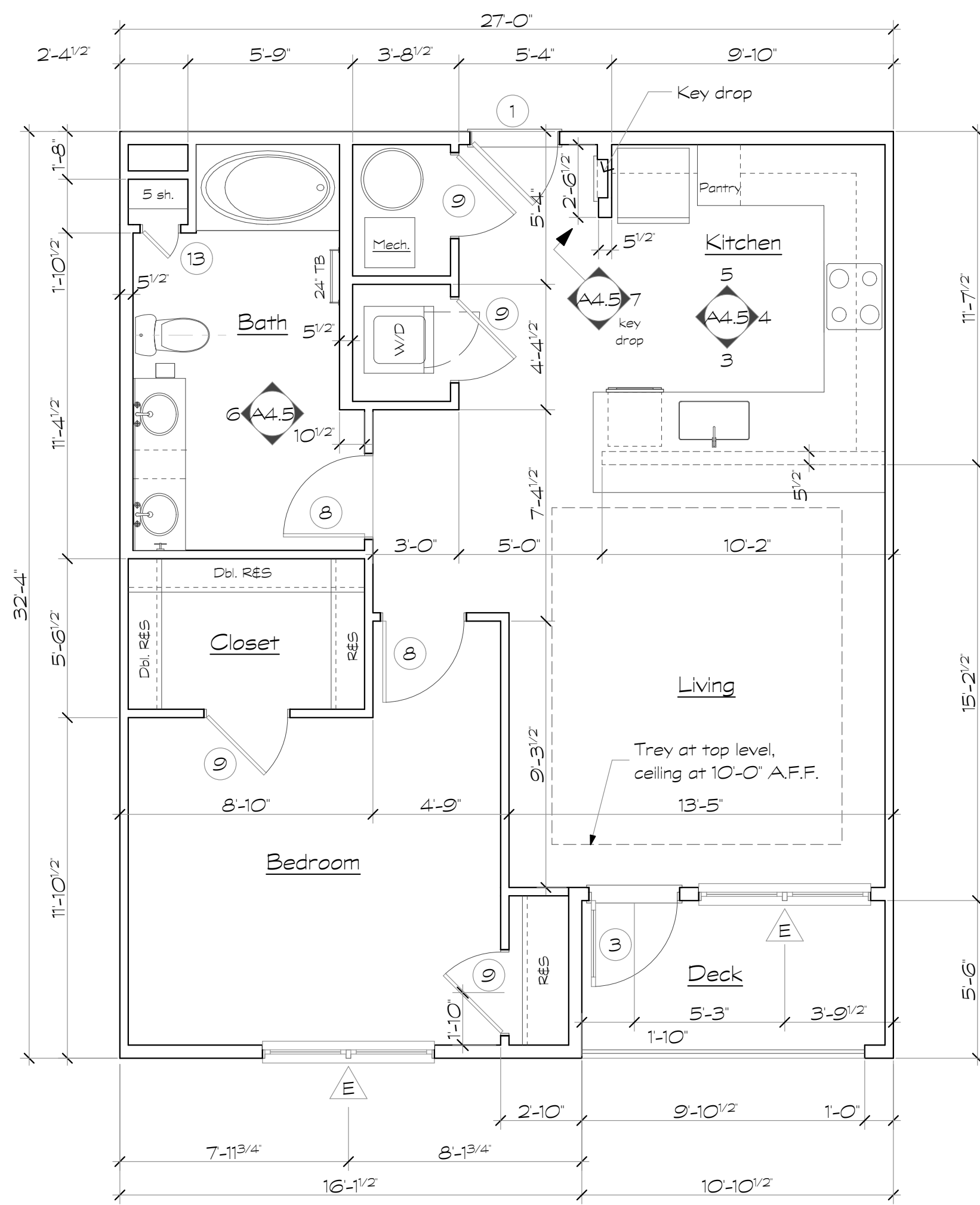
Sheet Title:
Unit Plan, Type A5 & A6, Plans & Interior Elevations

Date:
September 30, 2022

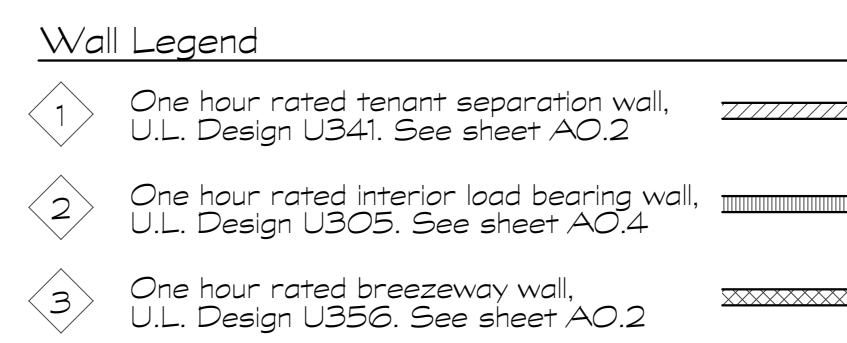
Sheet Number:

A4.5

Not Released for Construction

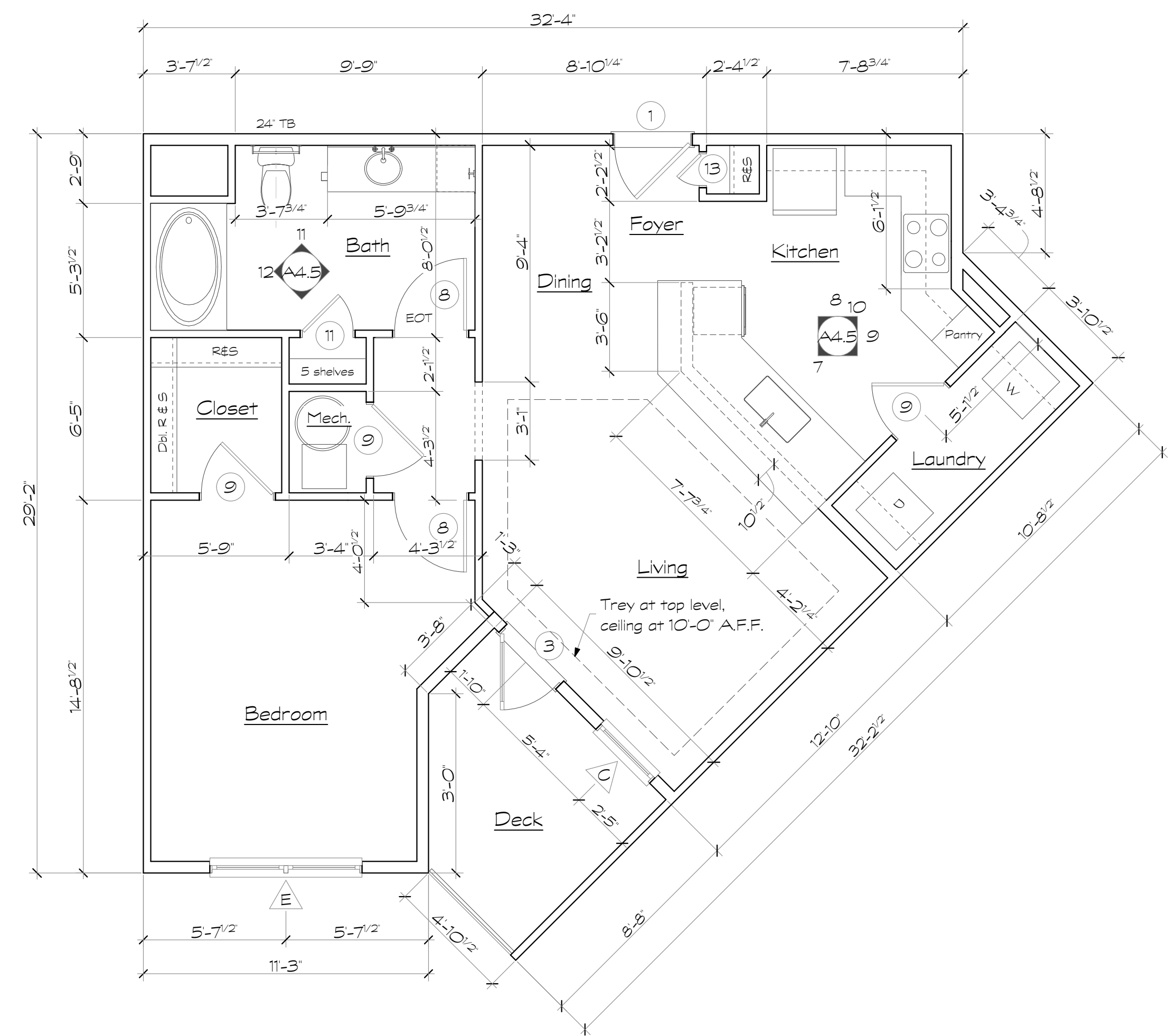


1 Unit A5
Scale: 1/4" = 1'-0"

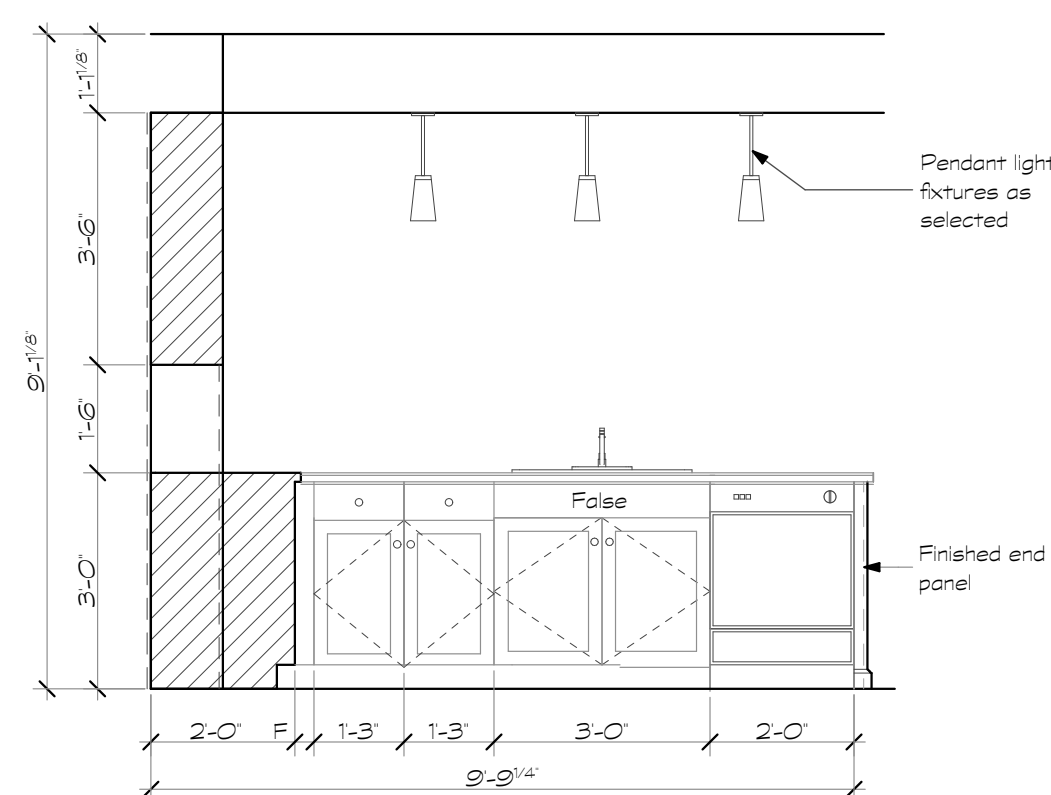


Unit Plan Notes

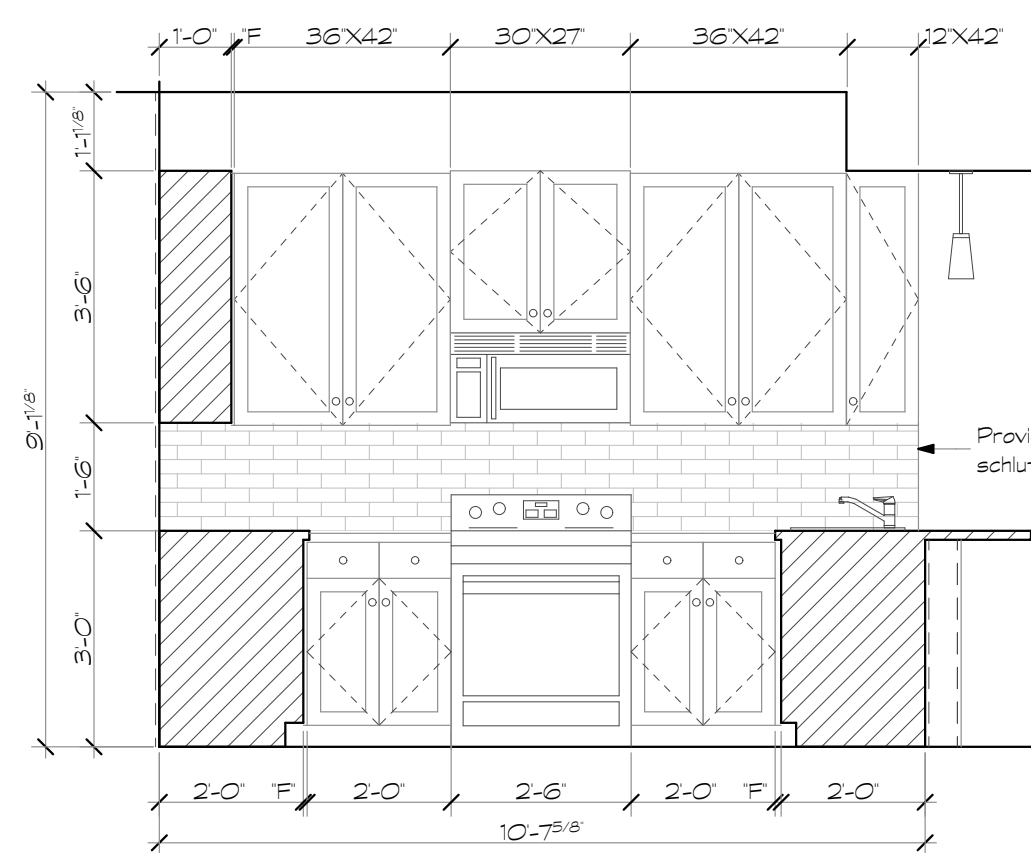
1. All floor plan dimensions are to face of stud.
2. All interior elevation dimensions are to finished wall.
3. Single rod and wire shelf at closets shall have shelf mounted at 5'-9" above finished floor.
4. Double rod and wire shelves shall have shelves mounted at 3'-4" and 6'-8" above finished floor.
5. 18" shelf at laundry room mounted at 5'-0" above finished floor.
6. Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
7. Door locations not dimensioned are to midpoint of wall segment, typical.
8. Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
9. EOC - denotes (Edge of Carpet)
EOT - denotes (Edge of Tile)
10. Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.7.
11. Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
12. Provide 2x6 blocking at all shelving locations. See 8/A6.7.
13. Pre-pour gypcrete below all tubs prior to setting tubs. Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
14. Install 3A-4OB.C fire extinguisher in kitchen cabinet under sink at all units.
15. See sheet A4.14 for grab bar blocking locations & reinforcing at all ground floor units.
16. Provide 3 1/2" batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
17. Trey ceiling shown on plan occurs at top floor units ONLY.
18. See sheet A4.15 for crown molding locations.



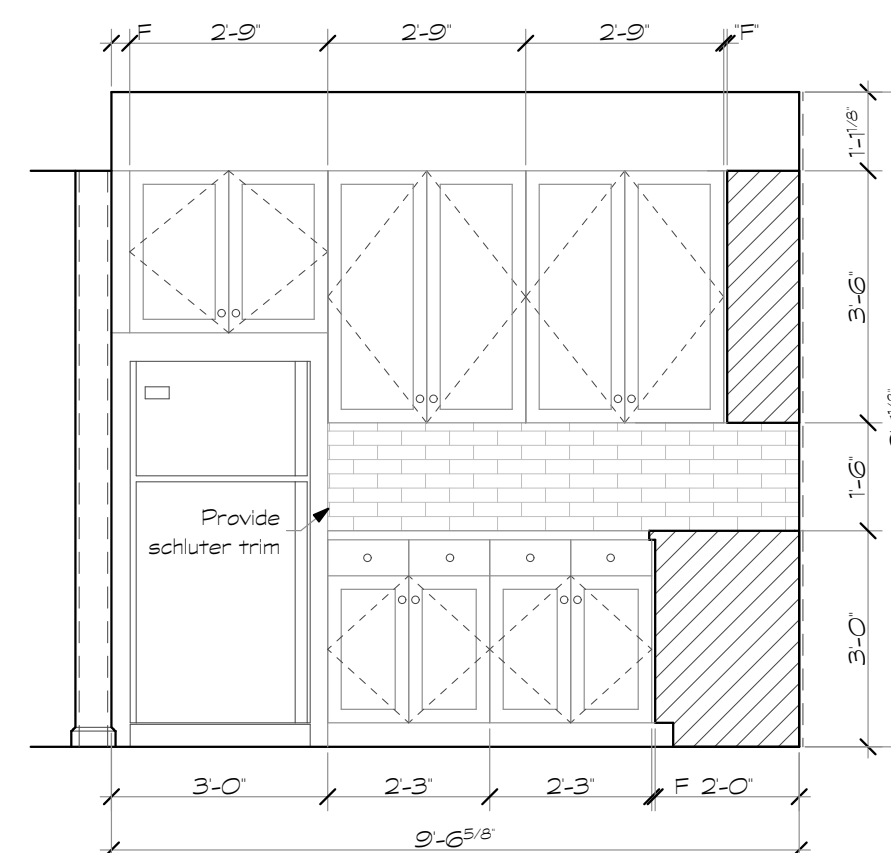
2 Unit A6
Scale: 1/4" = 1'-0"



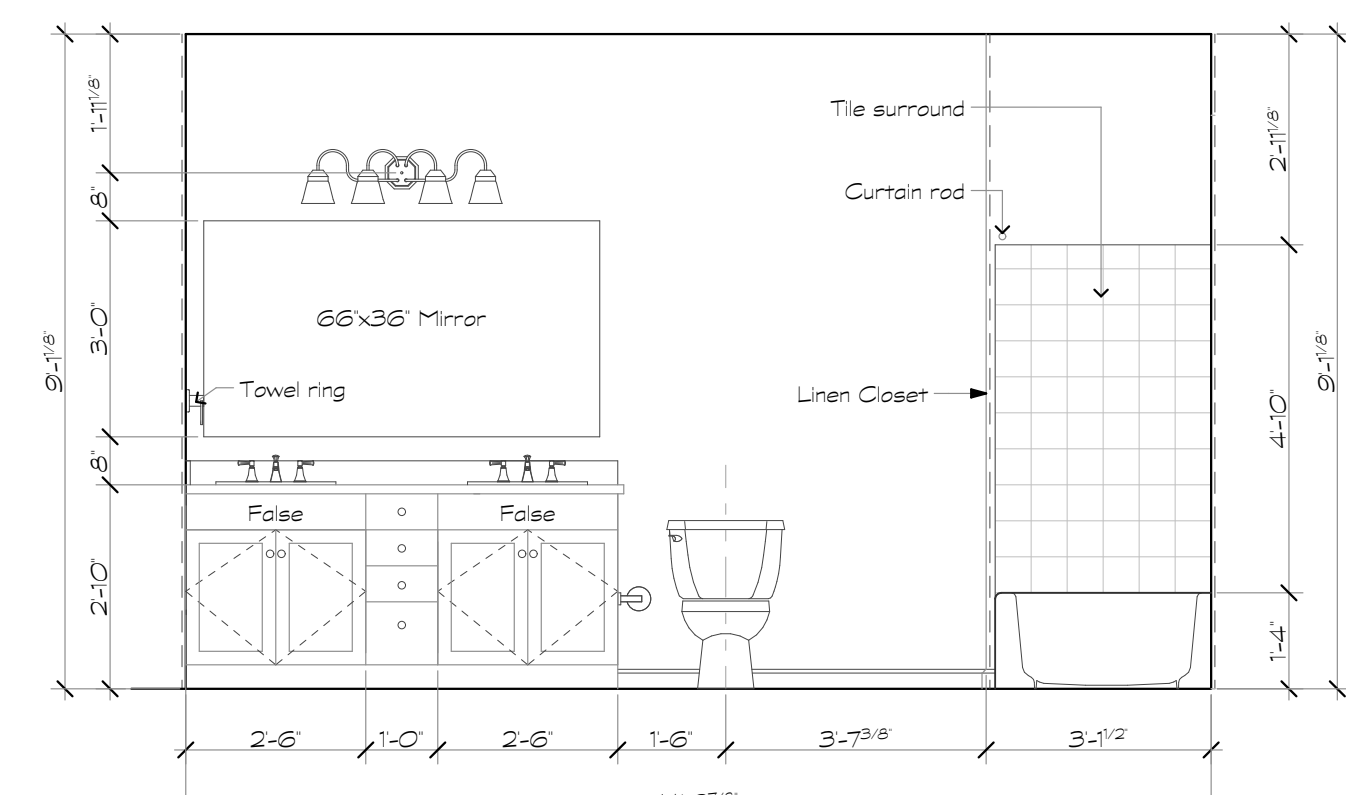
3 Kitchen
Scale: 3/8" = 1'-0"



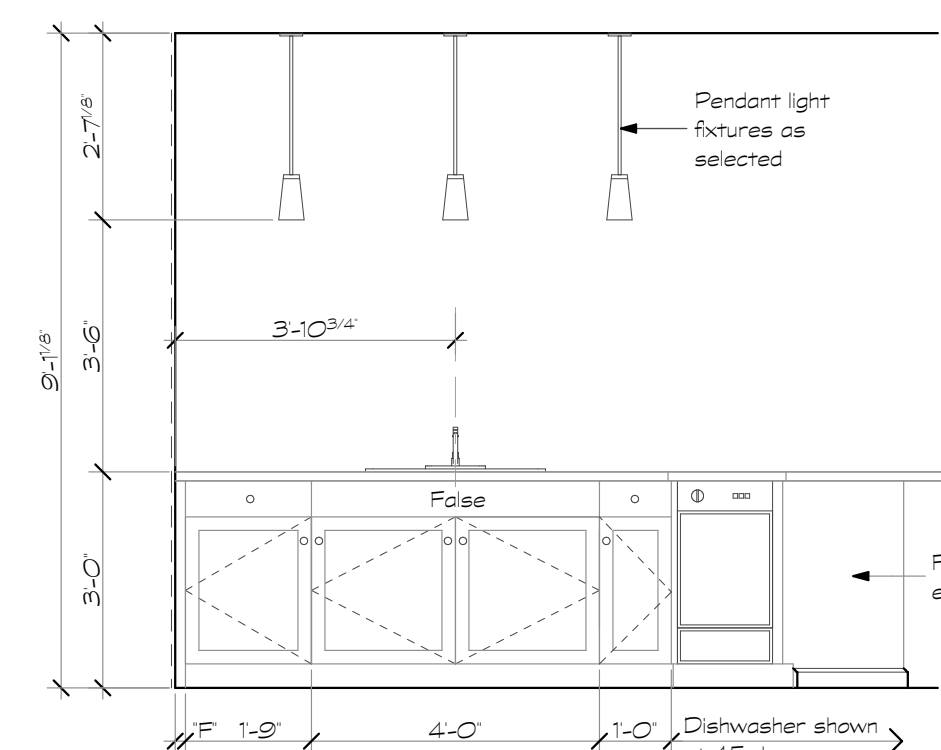
4 Kitchen
Scale: 3/8" = 1'-0"



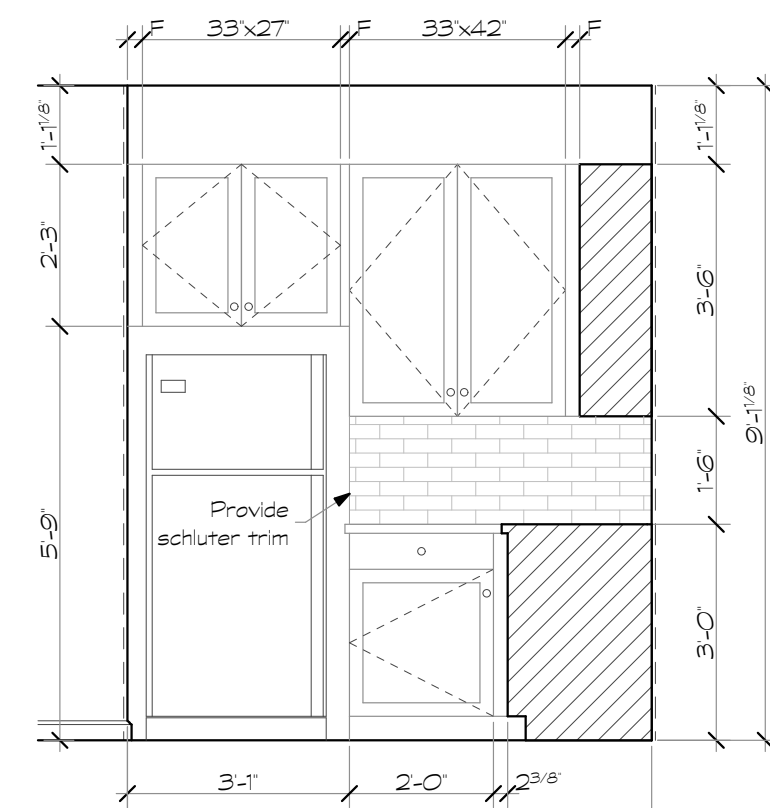
5 Kitchen
Scale: 3/8" = 1'-0"



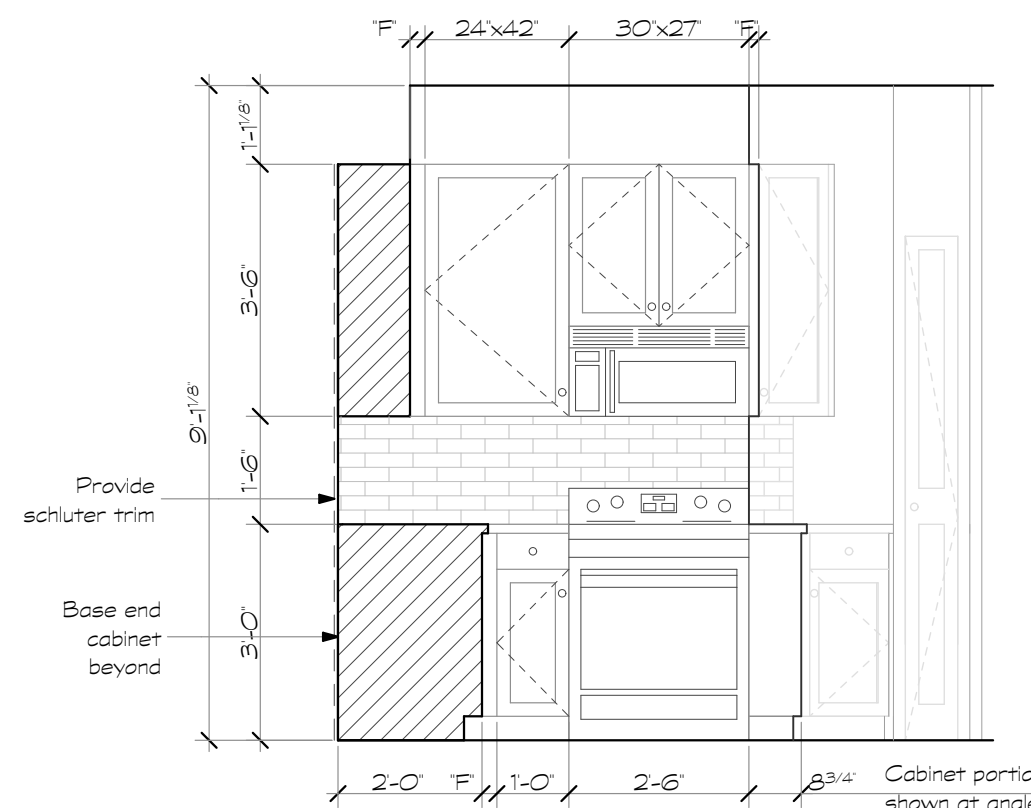
6 Kitchen
Scale: 3/8" = 1'-0"



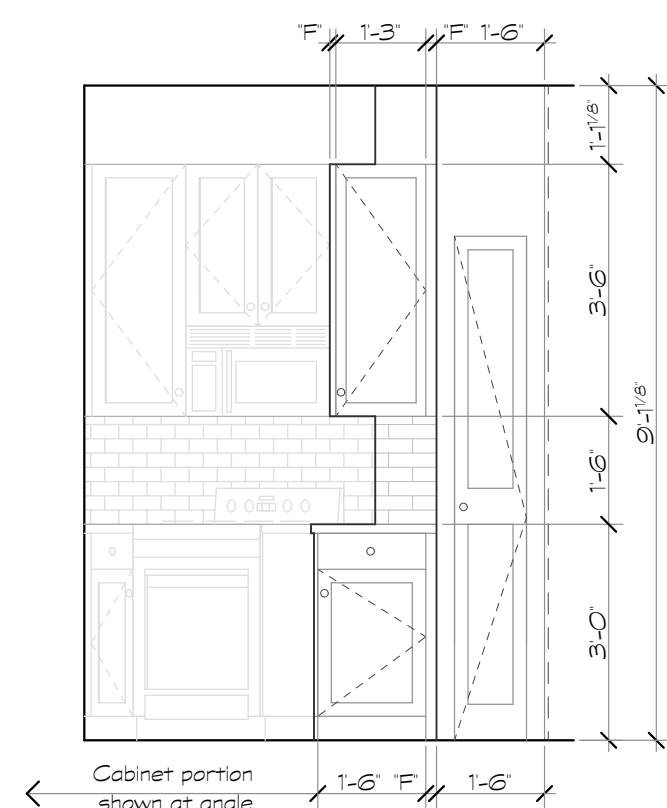
7 Kitchen
Scale: 3/8" = 1'-0"



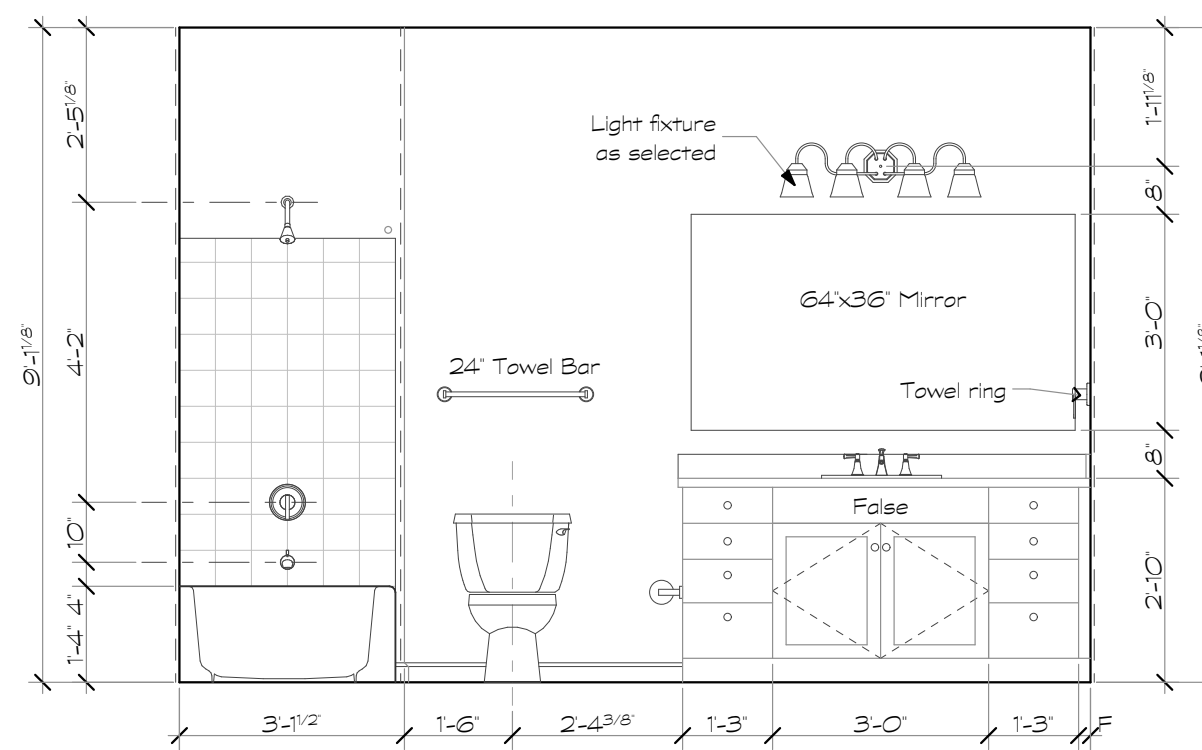
8 Kitchen
Scale: 3/8" = 1'-0"



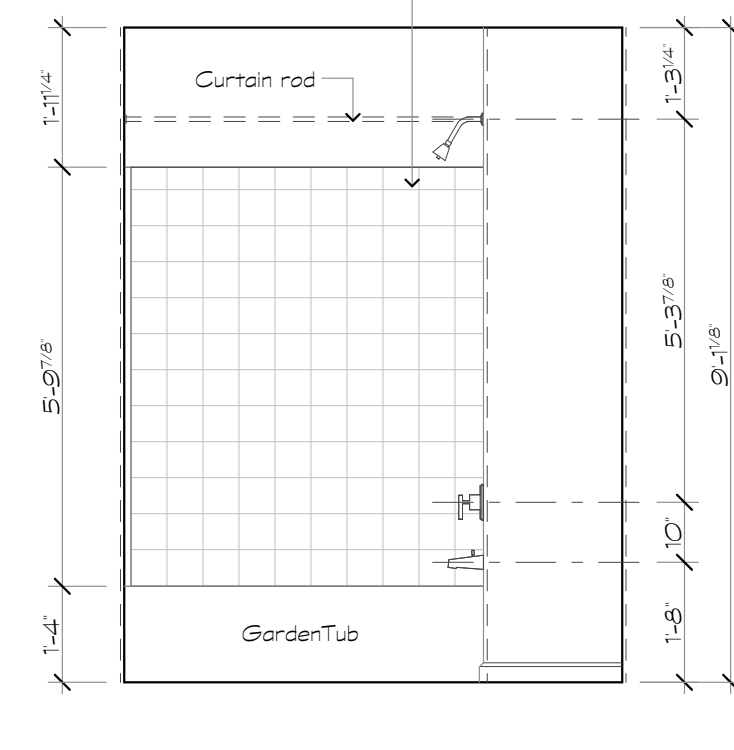
9 Kitchen
Scale: 3/8" = 1'-0"



10 Kitchen
Scale: 3/8" = 1'-0"



11 Bath
Scale: 3/8" = 1'-0"



12 Bath
Scale: 3/8" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at
Ft. Clarke
Apartments

Ft. Clarke, Florida

A Residential
Development by: Ft.
Clarke Apartments
Residences, LLC

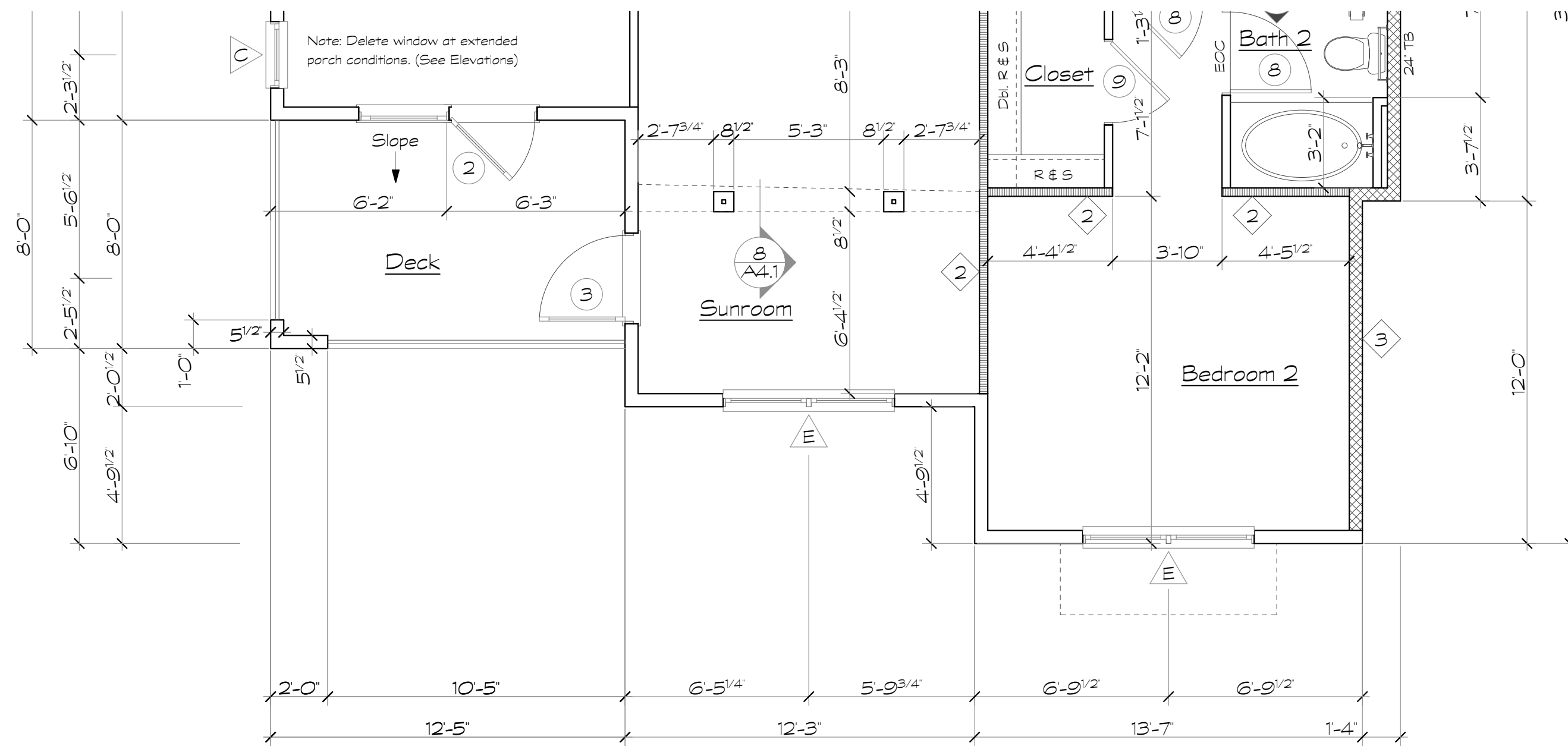
This drawing as an instrument of
services, is and shall remain the
property of SGN+A and shall not
be reproduced, published or used
in any way without permission of
SGN+A, Inc.

Sheet Title:
Unit Plans, Type B1,
Plans & Interior
Elevations

Date:
September 30, 2022

Sheet Number:

A4.6



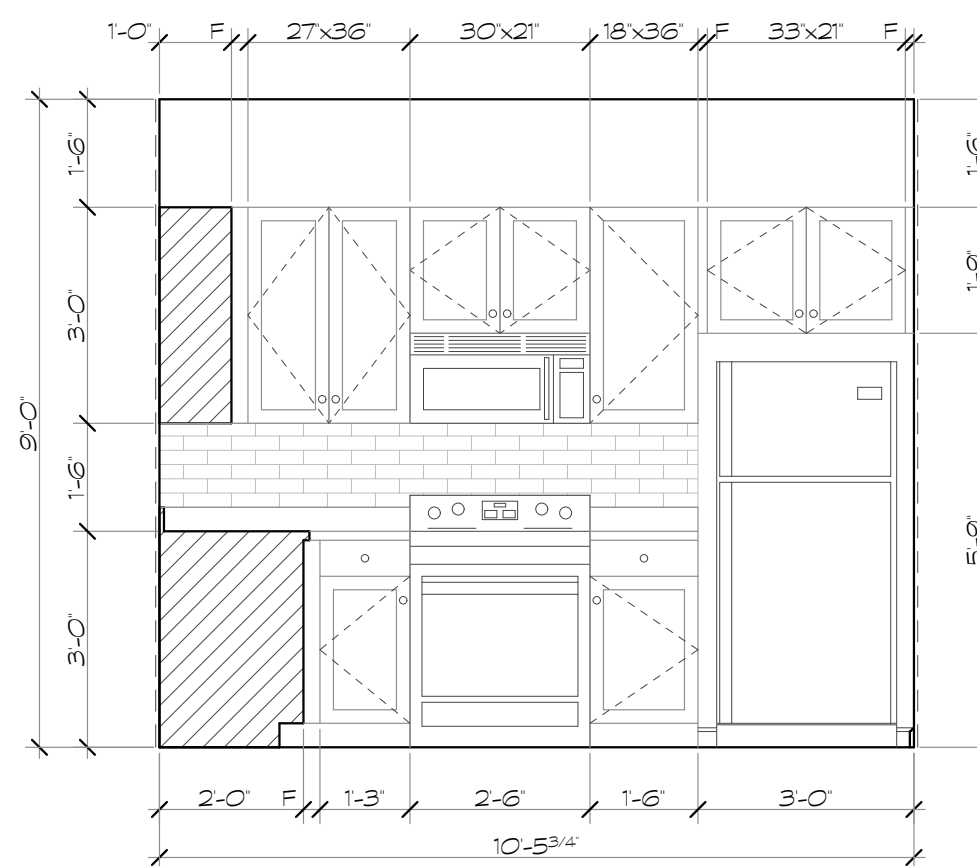
1 Unit Type B1-G - Partial Plan
Scale: 1/4" = 1'-0"
At Ground Level (No Bay Window)

Unit Plan Notes

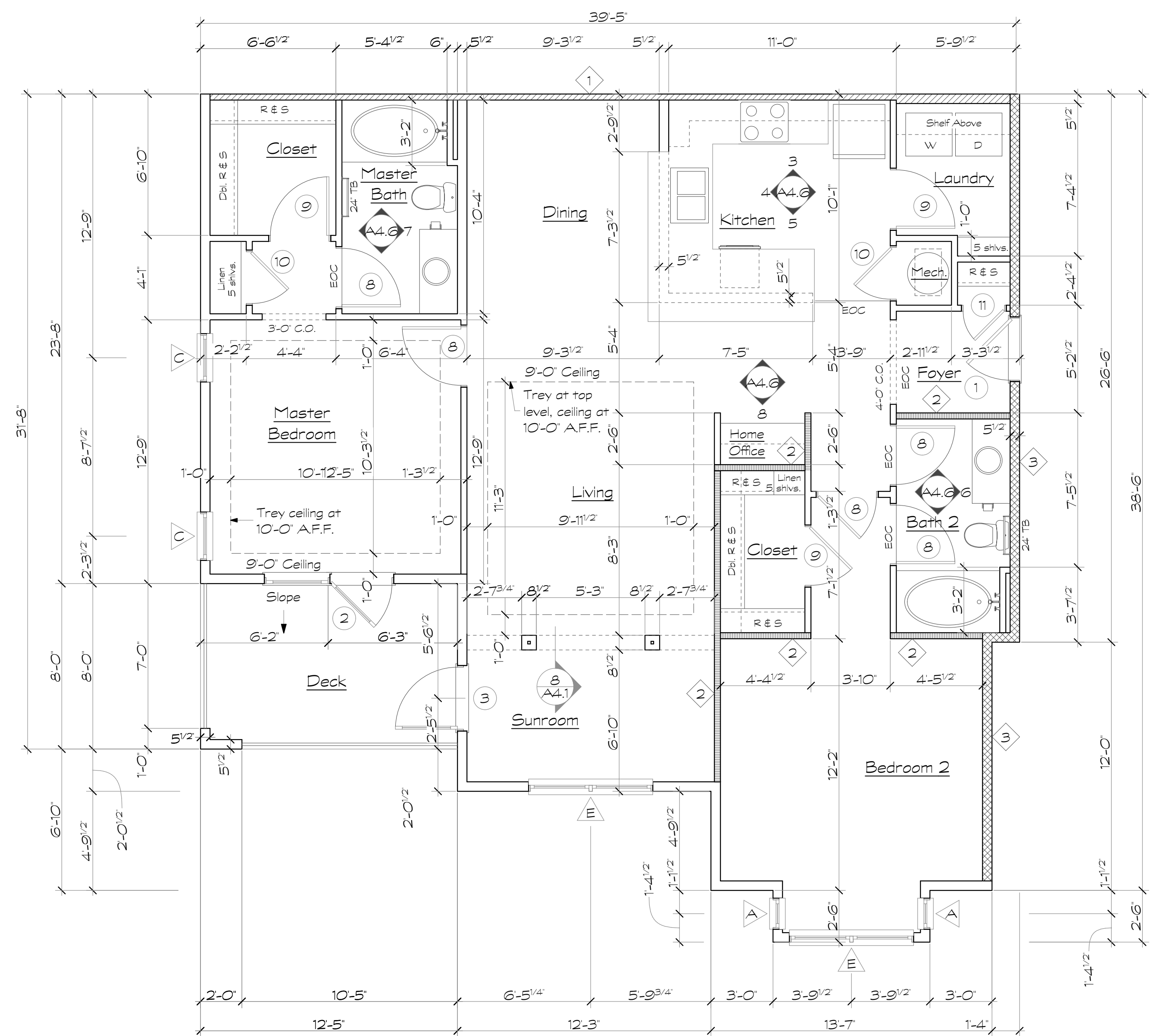
1. All floor plan dimensions are to face of stud.
2. All interior elevation dimensions are to finished wall.
3. Single rod and wire shelf at closets shall have shelf mounted at 5'-9" above finished floor.
4. Double rod and wire shelves shall have shelves mounted at 3'-4" and 6'-8" above finished floor.
5. 18" shelf at laundry room mounted at 5'-0" above finished floor.
6. Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
7. Door locations not dimensioned are to midpoint of wall segment, typical.
8. Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
9. EOC - denotes (Edge of Carpet)
EOT - denotes (Edge of Tile)
10. Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.7.
11. Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
12. Provide 2x6 blocking at all shelving locations. See 3/A6.7.
13. Pre-pour gypcrete below all tubs prior to setting tubs.
Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
14. Install 3A-40B,C fire extinguisher in kitchen cabinet under sink at all units.
15. See sheet A4.14 for grab bar blocking locations & reinforcing at all ground floor units.
16. Provide 3 1/2" batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
17. Tray ceiling shown on plan occurs at top floor units ONLY.
18. See sheet A4.15 for crown molding locations.

Wall Legend

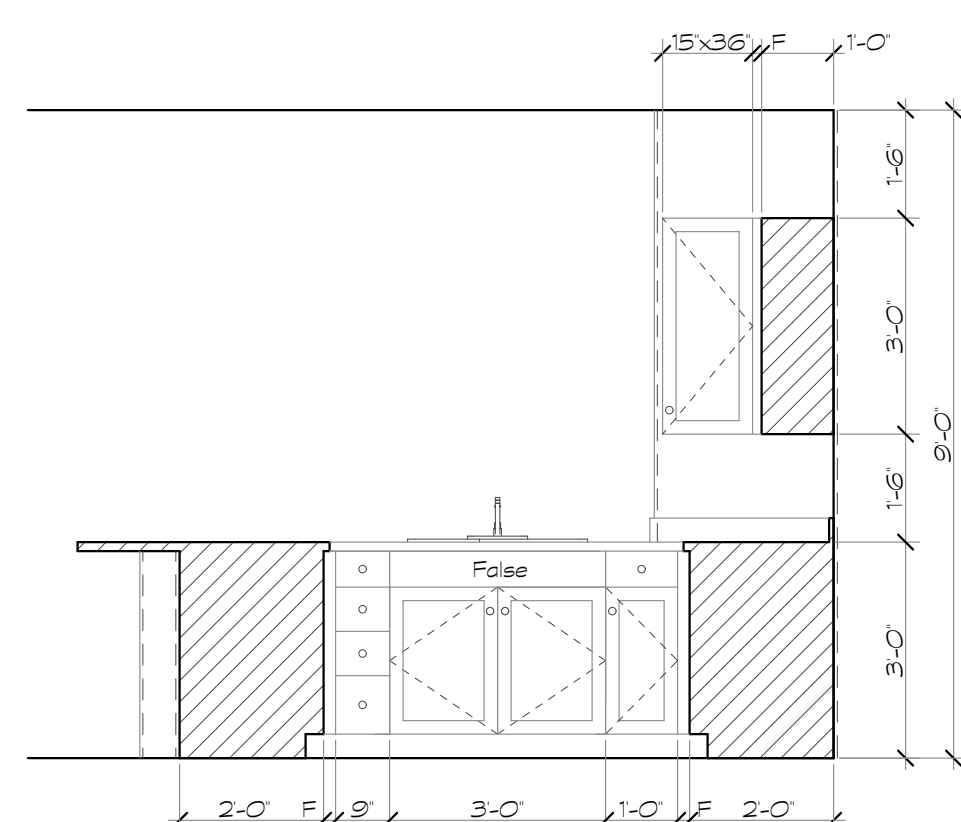
- 1 One hour rated tenant separation wall, U.L. Design U341. See sheet AO.2
- 2 One hour rated interior load bearing wall, U.L. Design U305. See sheet AO.4
- 3 One hour rated breezeway wall, U.L. Design U356. See sheet AO.2



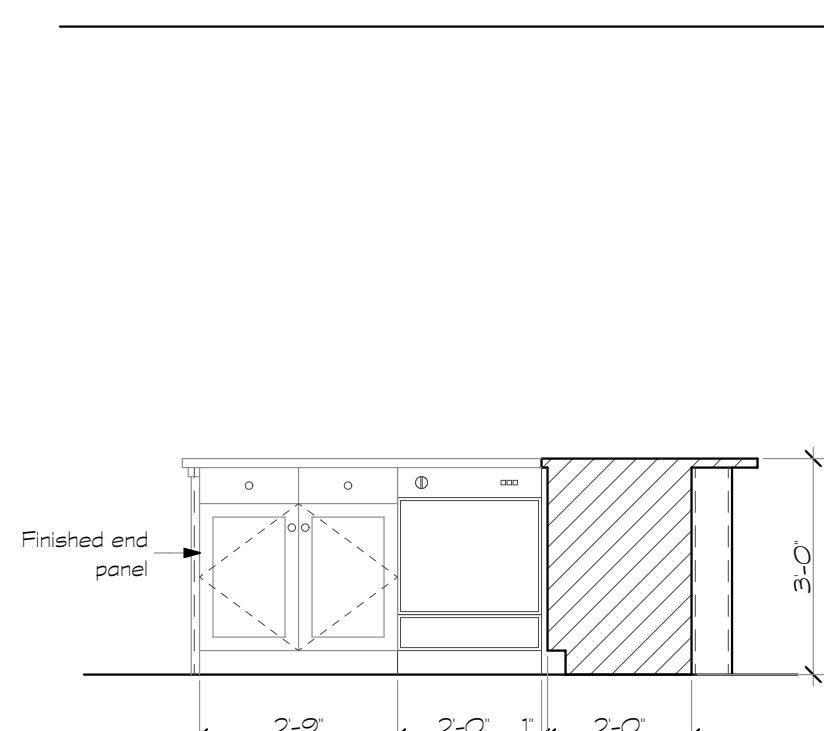
3 Kitchen
Scale: 3/8" = 1'-0"



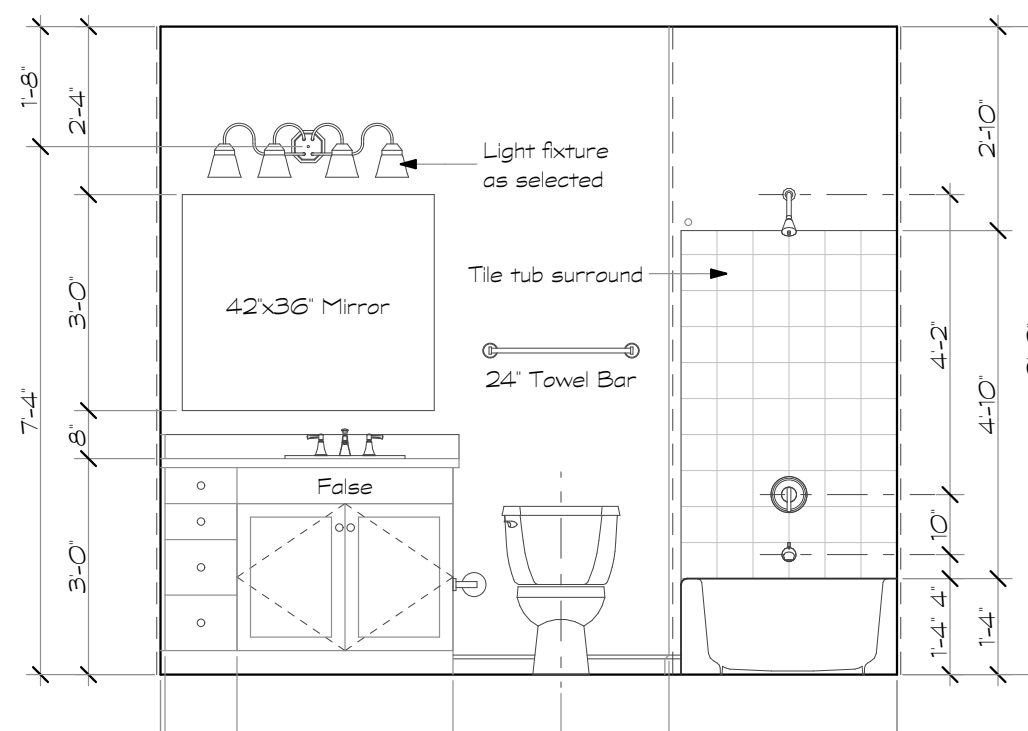
2 Unit Type B1 - Plan w/Bay Window
Scale: 1/4" = 1'-0"
At Upper Levels



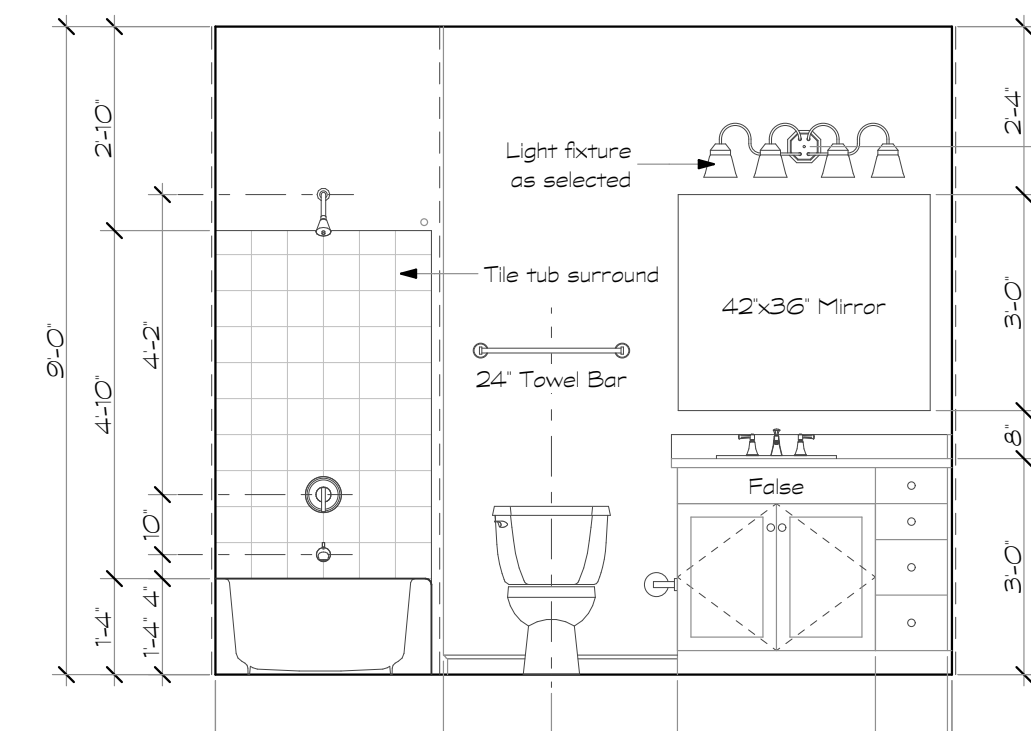
4 Kitchen
Scale: 3/8" = 1'-0"



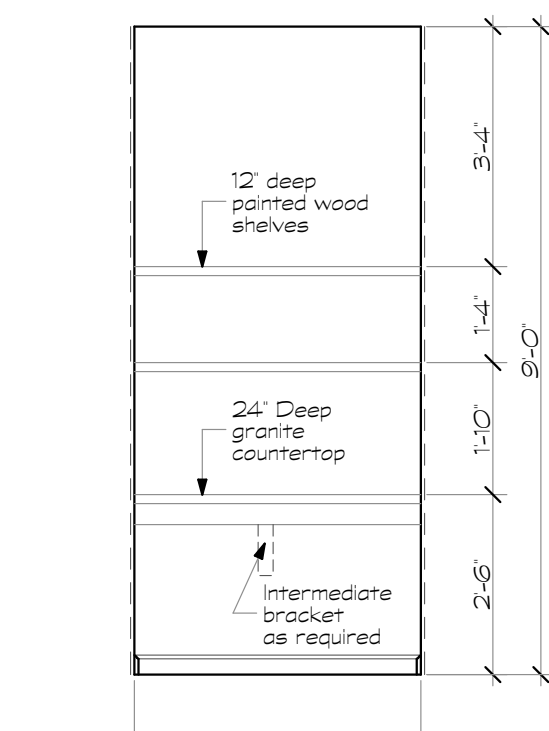
5 Kitchen
Scale: 3/8" = 1'-0"



6 Bath 2
Scale: 3/8" = 1'-0"



7 Master Bath
Scale: 3/8" = 1'-0"



8 Home Office
Scale: 3/8" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at
Ft. Clarke
Apartments

Ft. Clarke, Florida

A Residential
Development by: Ft.
Clarke Apartments
Residences, LLC

This drawing as an instrument of
services, is and shall remain the
property of SGN+A and shall not
be reproduced, published or used
in any way without permission of
SGN+A, Inc.

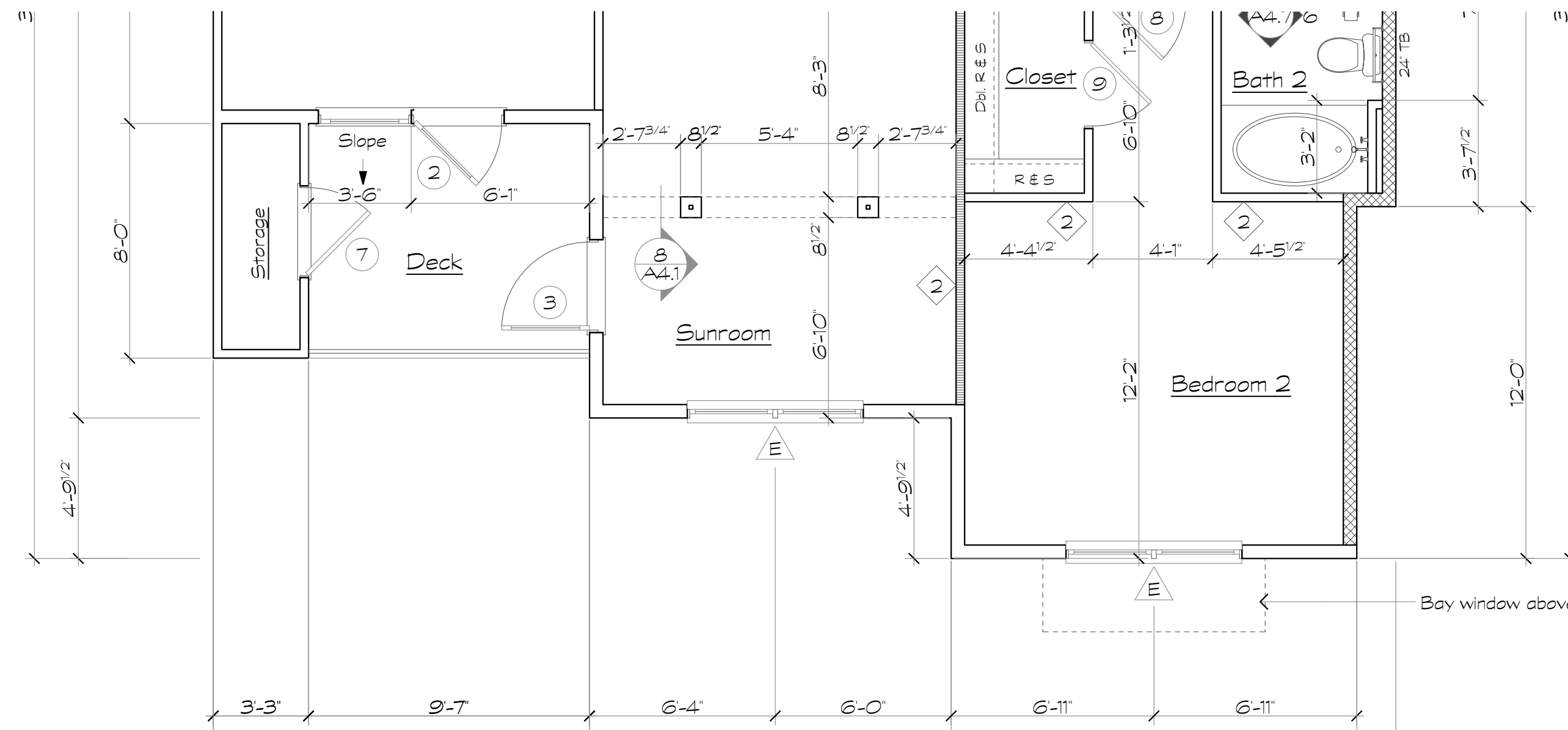
Sheet Title:
Unit Plans, Type B1A,
Plans & Interior
Elevations

Date:
September 30, 2022

Sheet Number:

A4.7

Not Released for Construction



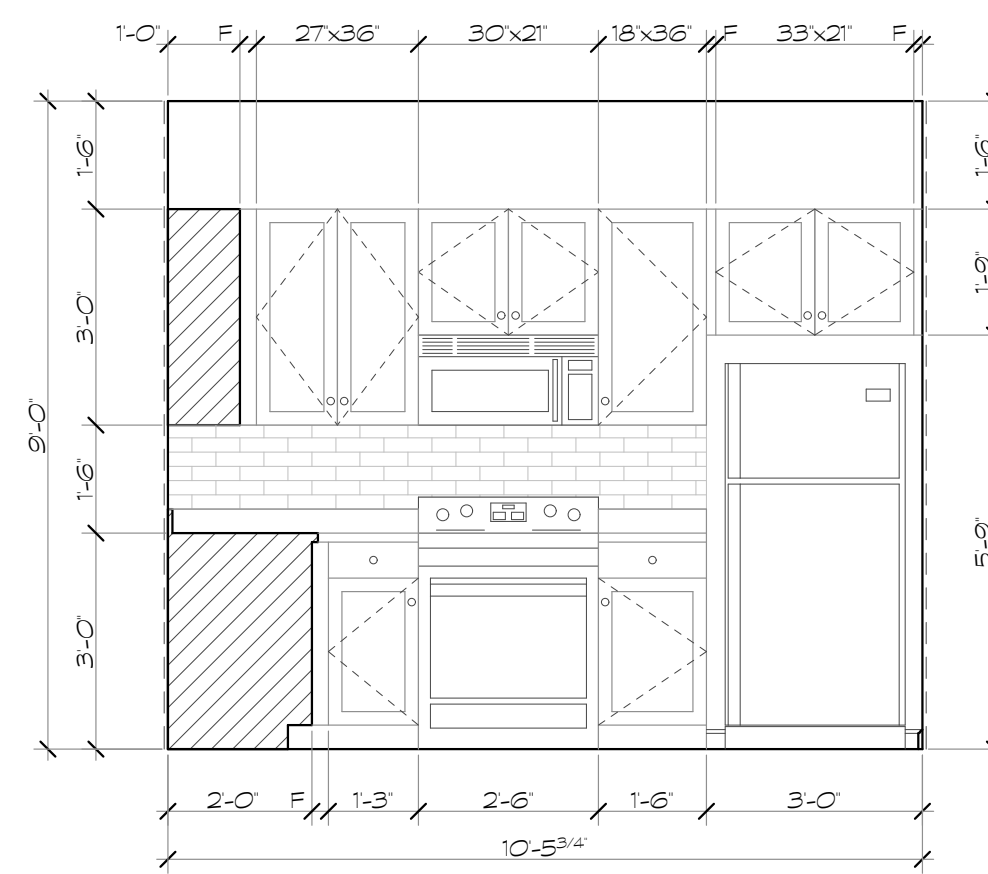
1 Unit Type B1A-G - Partial Plan
Scale: 1/4" = 1'-0"
At Ground Level (No Bay Window)

Unit Plan Notes

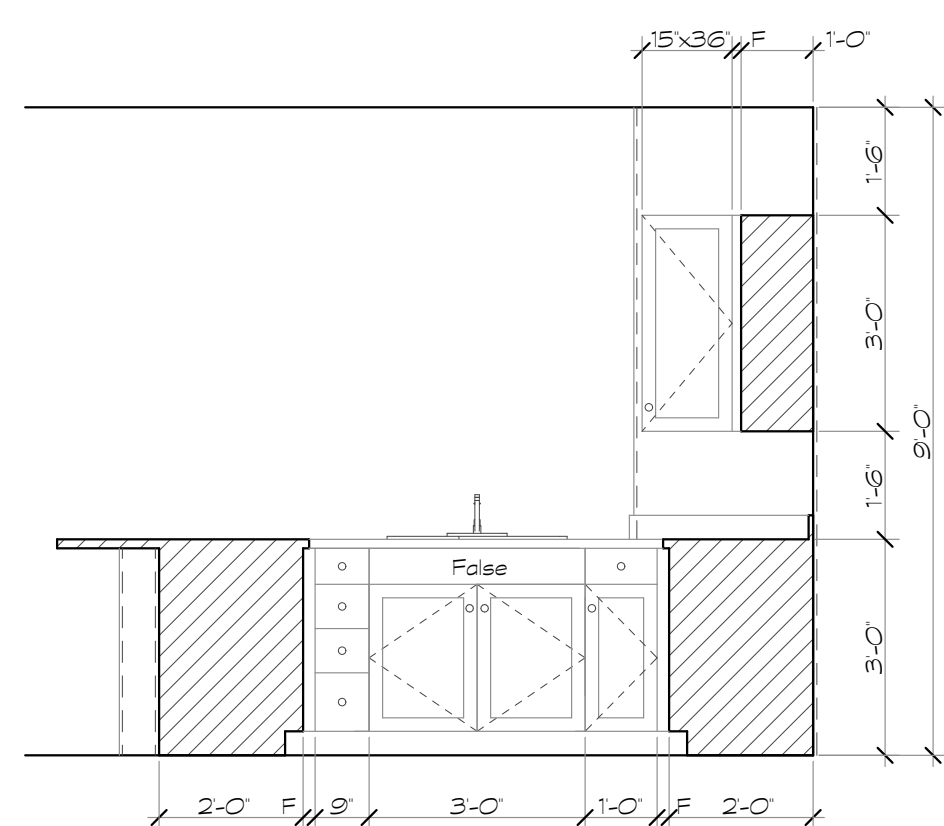
- All floor plan dimensions are to face of stud.
- All interior elevation dimensions are to finished wall.
- Single rod and wire shelf at closets shall have shelf mounted at 5'-9" above finished floor.
- Double rod and wire shelves shall have shelves mounted at 3'-4" and 6'-5" above finished floor.
- 18" shelf at laundry room mounted at 5'-0" above finished floor.
- Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
- Door locations not dimensioned are to midpoint of wall segment, typical.
- Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
- EOC - denotes (Edge of Carpet)
EOT - denotes (Edge of Tile)
- Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.7.
- Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
- Provide 2x6 blocking at all shelving locations. See 8/A6.7.
- Pre-pour gypcrete below all tubs prior to setting tubs. Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
- Install 3A-40B/C fire extinguisher in kitchen cabinet under sink at all units.
- See sheet A4.14 for grab bar blocking locations & reinforcing at all ground floor units.
- Provide 3 1/2" batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
- Tray ceiling shown on plan occurs at top floor units ONLY.
- See sheet A4.15 for crown molding locations.

Wall Legend

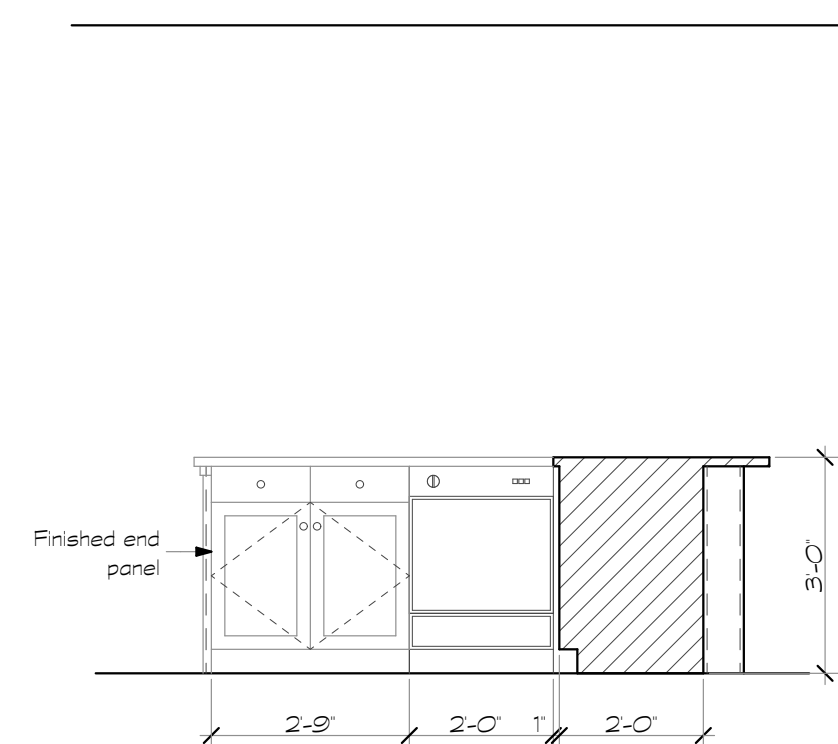
- ① One hour rated tenant separation wall, U.L. Design U341. See sheet AO.2
- ② One hour rated interior load bearing wall, U.L. Design U305. See sheet AO.4
- ③ One hour rated breezeway wall, U.L. Design U356. See sheet AO.2



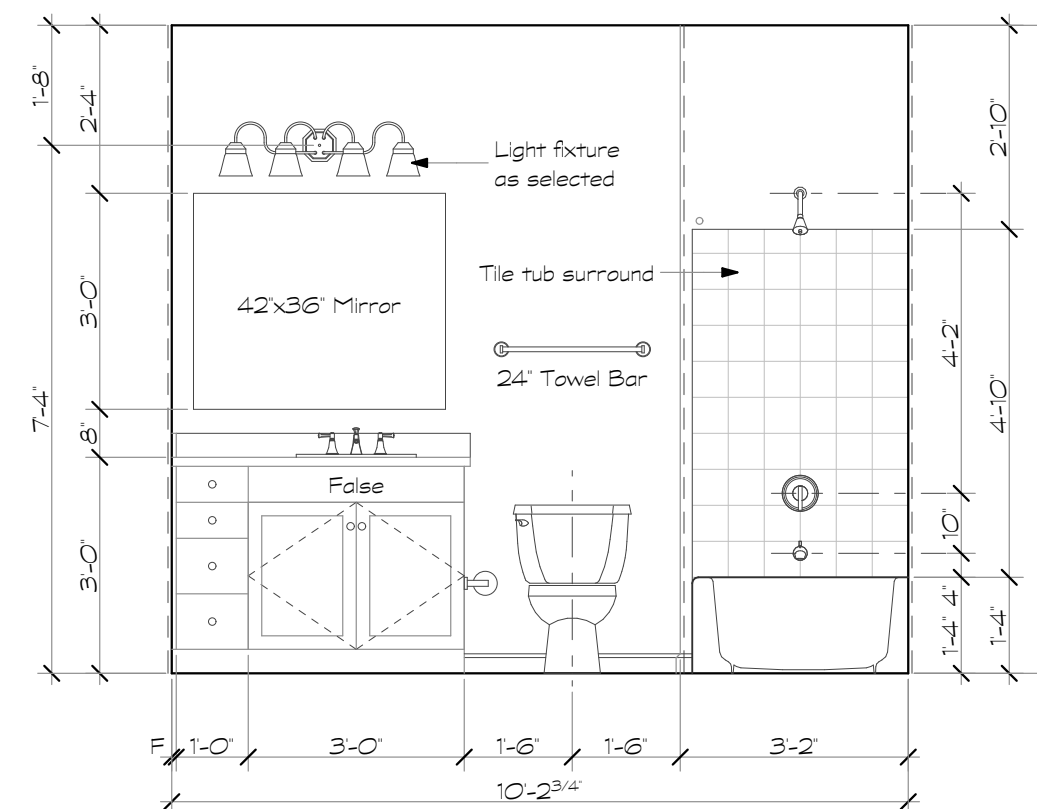
3 Kitchen
Scale: 3/8" = 1'-0"



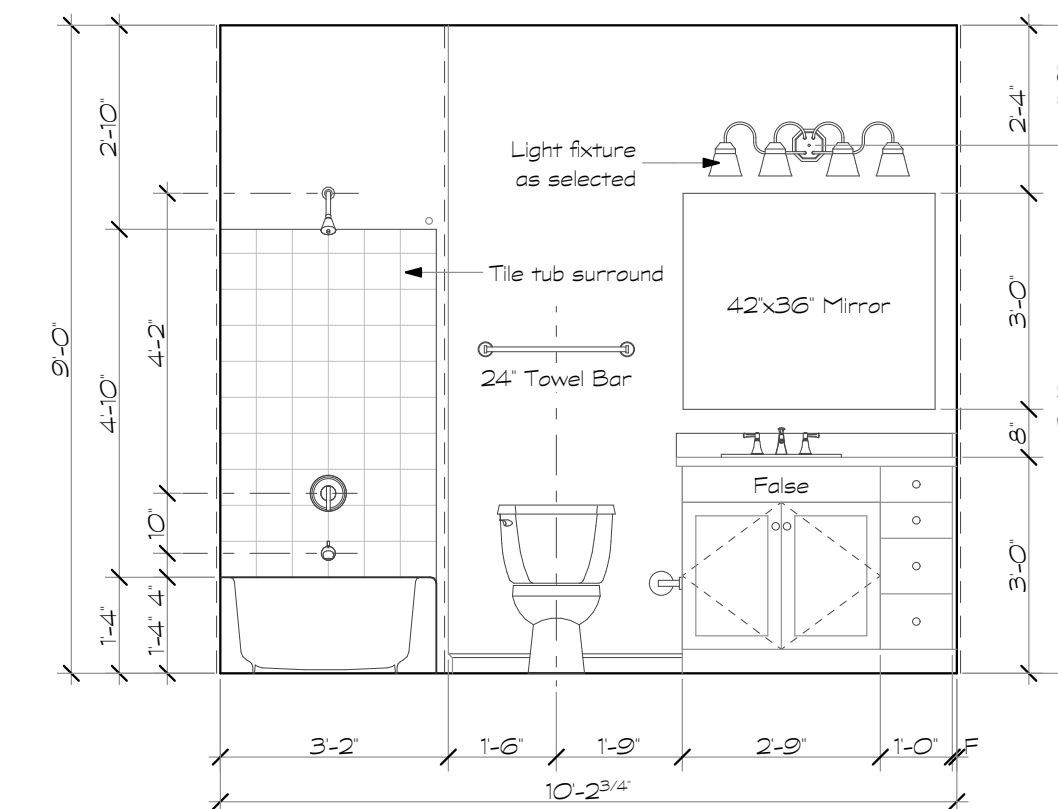
4 Kitchen
Scale: 3/8" = 1'-0"



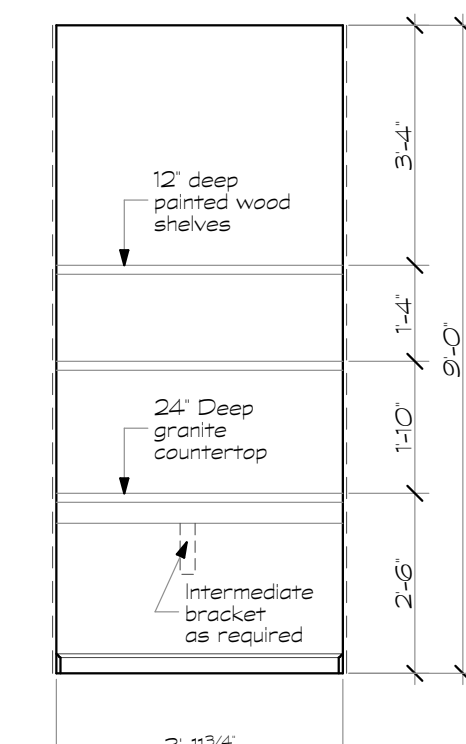
5 Kitchen
Scale: 3/8" = 1'-0"



6 Bath 2
Scale: 3/8" = 1'-0"



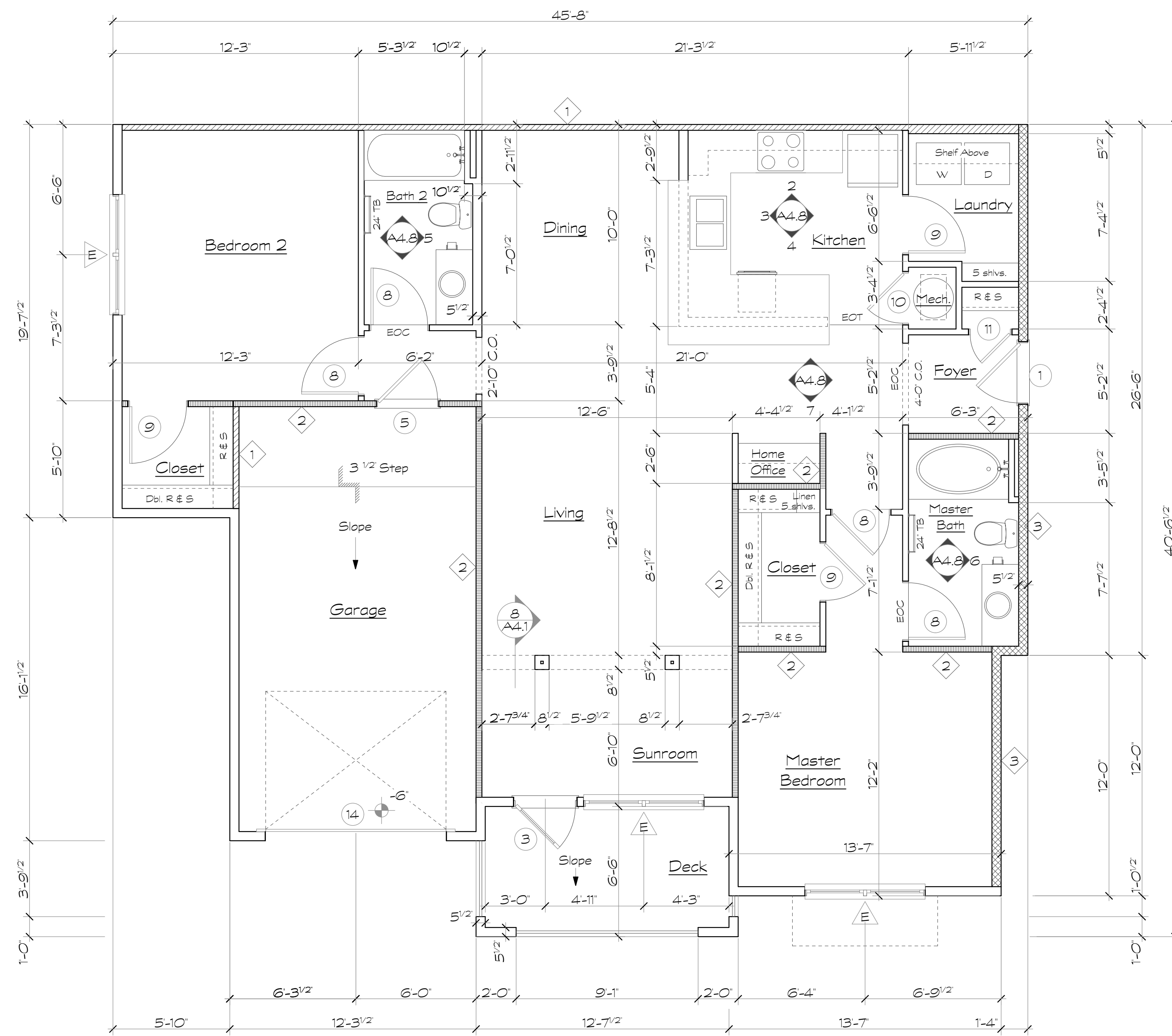
7 Master Bath
Scale: 3/8" = 1'-0"



8 Home Office
Scale: 3/8" = 1'-0"



2 Unit Type B1A - Plan w/Bay Window
Scale: 1/4" = 1'-0"
At Upper Levels



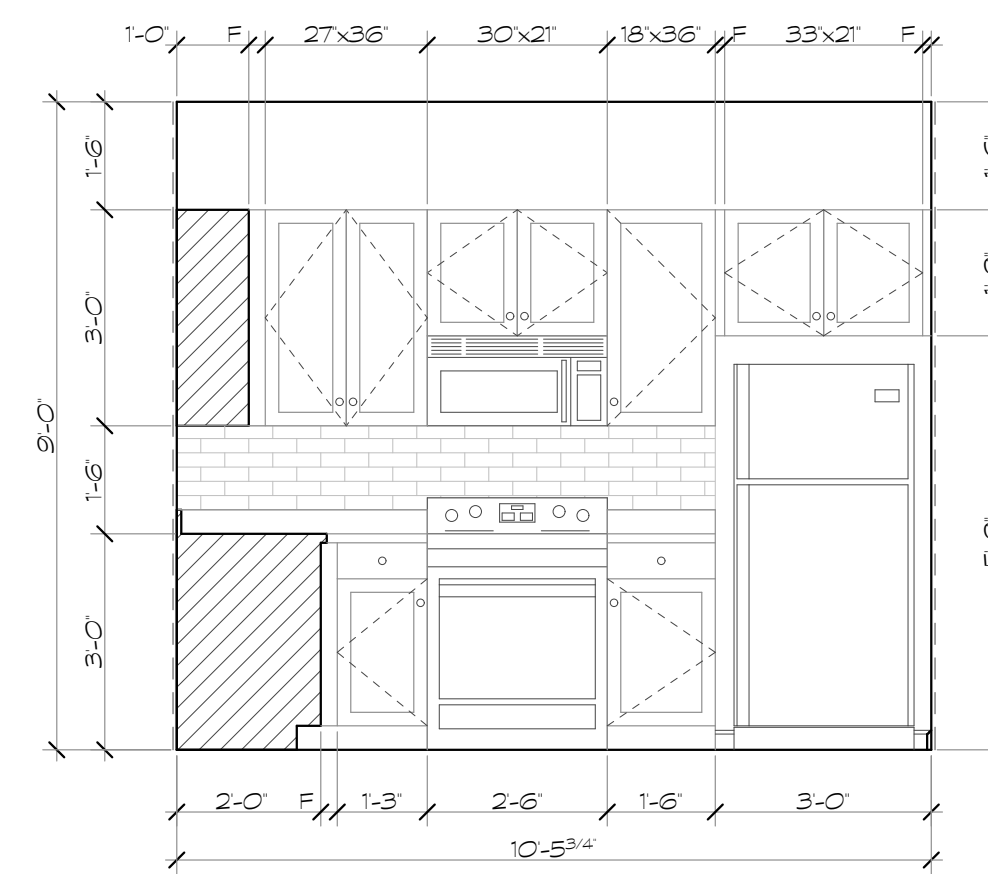
1 Unit Type B2 - Plan
Scale: 1/4" = 1'-0"

Wall Legend

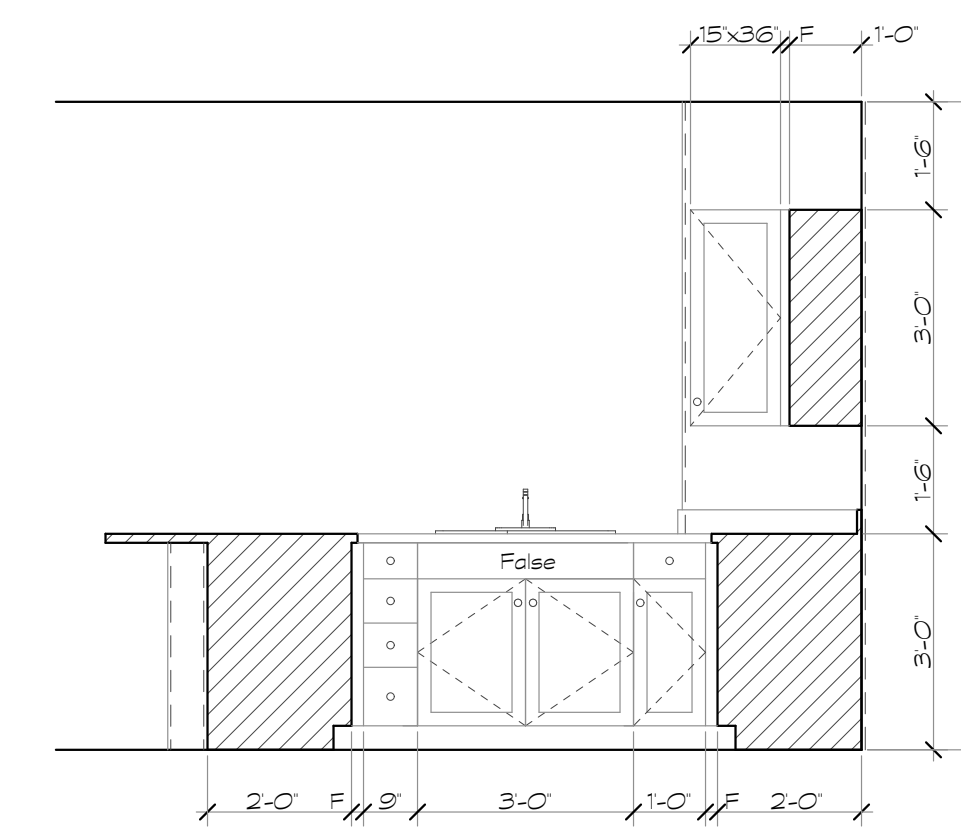
- 1 One hour rated tenant separation wall, U.L. Design U341. See sheet AO.2
- 2 One hour rated interior load bearing wall, U.L. Design U305. See sheet AO.4
- 3 One hour rated breezeway wall, U.L. Design U356. See sheet AO.2

Unit Plan Notes

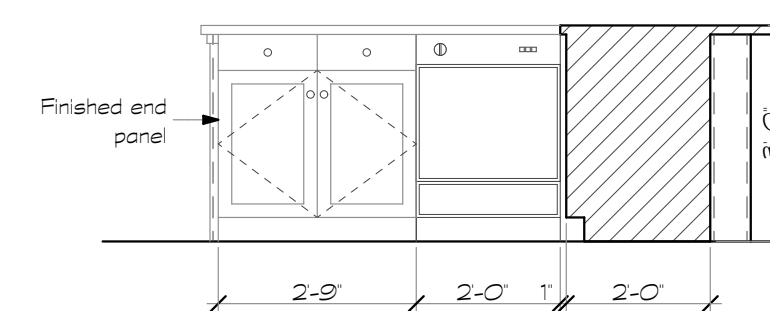
1. All floor plan dimensions are to face of stud.
2. All interior elevation dimensions are to finished wall.
3. Single rod and wire shelf at closets shall have shelf mounted at 5'-9" above finished floor.
4. Double rod and wire shelves shall have shelves mounted at 3'-4" and 6'-8" above finished floor.
5. 18" double shelves at laundry room shall have shelves mounted at 4'-8" & 6'-0" above finished floor.
6. Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
7. Door locations not dimensioned are to midpoint of wall segment, typical.
8. Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
9. EOC - denotes (Edge of Carpet)
EOT - denotes (Edge of Tile)
10. Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.5.
11. Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
12. Provide 2x6 blocking at all shelving locations. See 8/A6.5.
13. Pre-pour gypcrete below all tubs prior to setting tubs. Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
14. Install 3A-40B,C fire extinguisher in kitchen cabinet under sink at all units.
15. See sheet A4.10 for grab bar blocking locations & reinforcing at all ground floor units.
16. Provide 3 1/2" batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
17. Tray ceiling shown on plan occurs at top floor units ONLY.
18. See sheet A4.15 for crown molding locations.



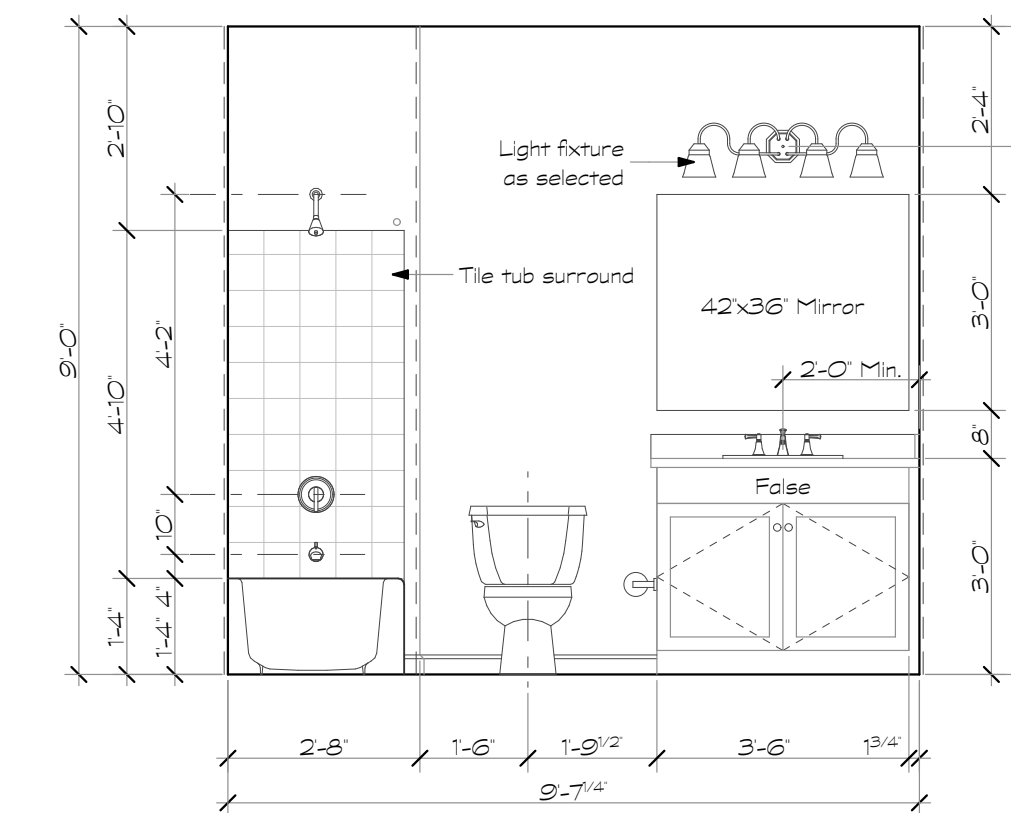
2 Kitchen
Scale: 3/8" = 1'-0"



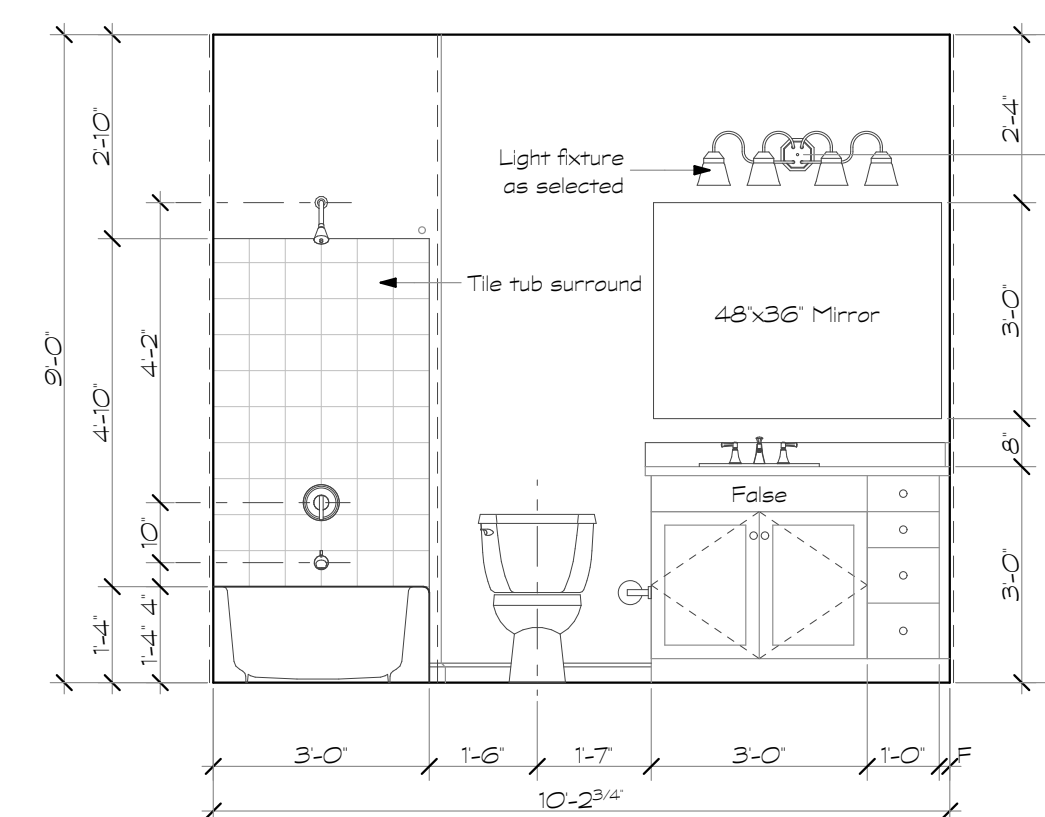
3 Kitchen
Scale: 3/8" = 1'-0"



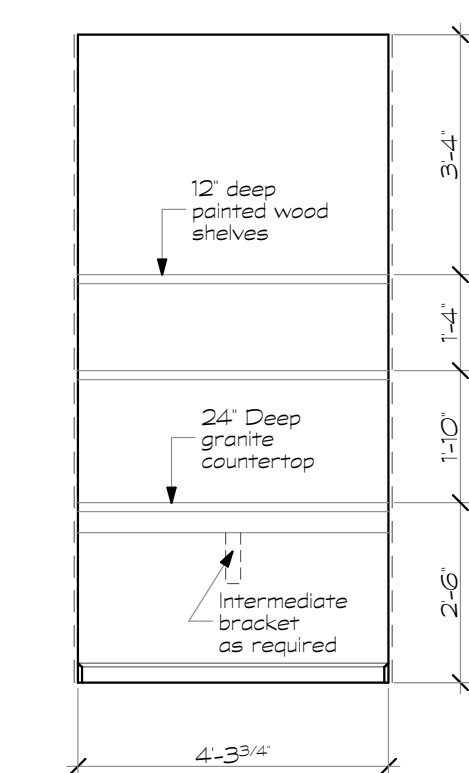
4 Kitchen
Scale: 3/8" = 1'-0"



5 Bath 2
Scale: 3/8" = 1'-0"



6 Bath 2
Scale: 3/8" = 1'-0"



7 Home Office
Scale: 3/8" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Unit Plan, Type B2, Plan & Interior Elevations

Date:
September 30, 2022

Sheet Number:

A4.8

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Unit Plan, Type B3,
Plan & Interior Elevations

Date:
September 30, 2022

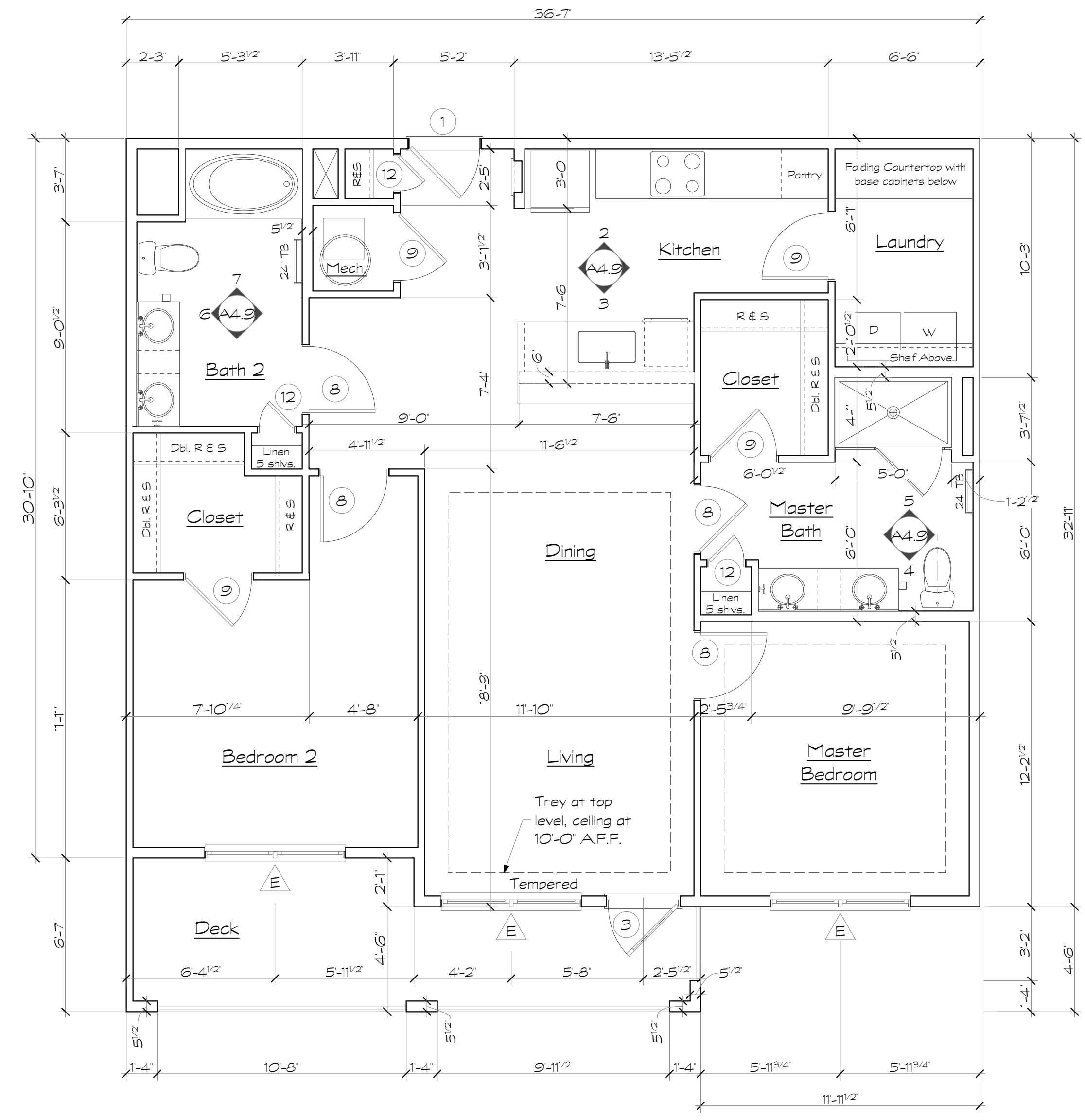
Sheet Number:

A4.9

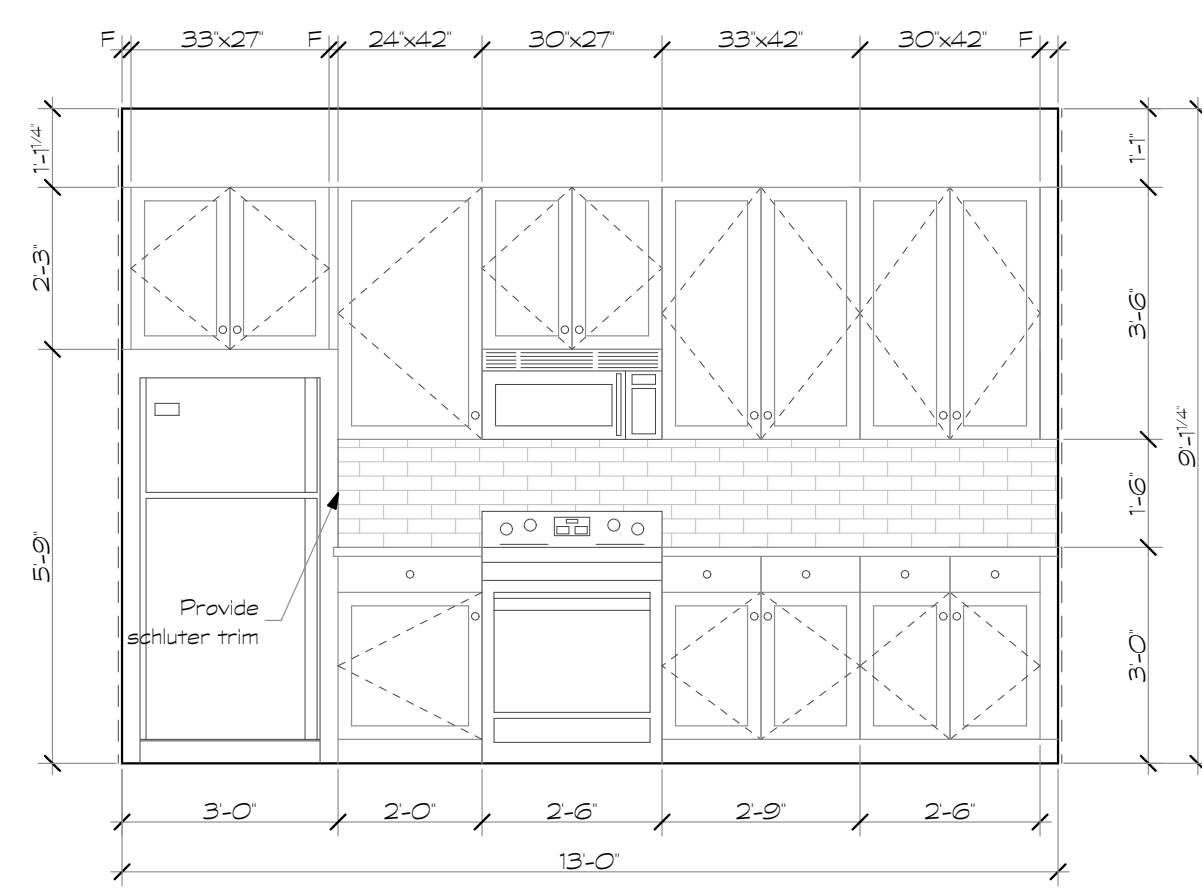
Wall Legend

①	One hour rated tenant separation wall, U.L. Design U341. See sheet AO.2	
②	One hour rated interior load bearing wall, U.L. Design U305. See sheet AO.4	
③	One hour rated breezeway wall, U.L. Design U356. See sheet AO.2	

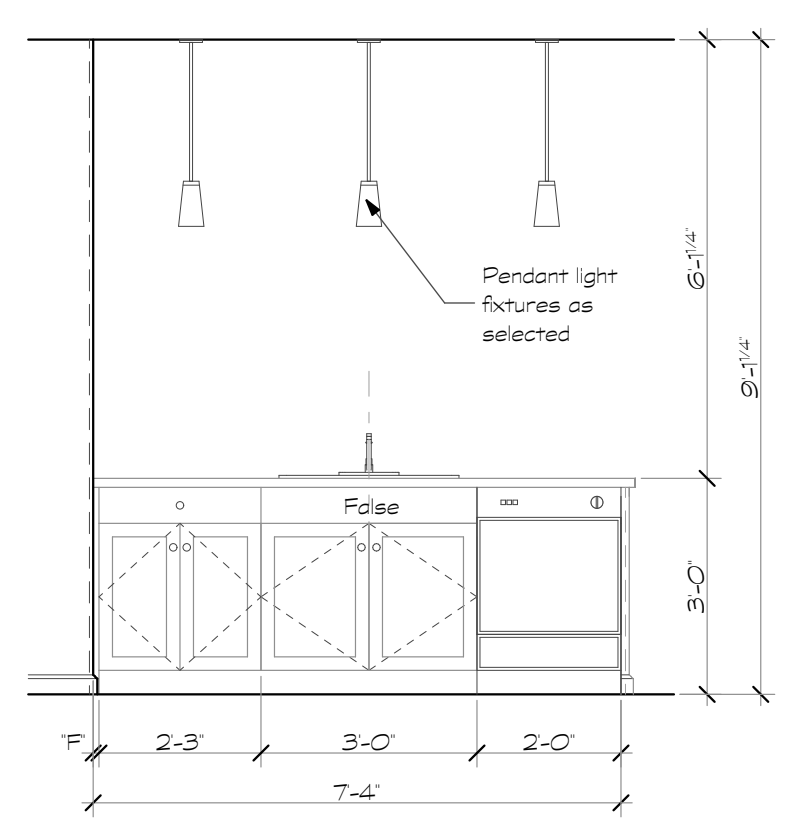
- Unit Plan Notes**
- All floor plan dimensions are to face of stud.
 - All interior elevation dimensions are to finished wall.
 - Single rod and wire shelf at closets shall have shelf mounted at 5'-0" above finished floor.
 - Double rod and wire shelves shall have shelves mounted at 3'-4" and 6'-3" above finished floor.
 - 18" shelf at laundry room mounted at 5'-0" above finished floor.
 - Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
 - Door locations not dimensioned are to midpoint of wall segment, typical.
 - Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
 - EOC - denotes (Edge of Carpet)
EOT - denotes (Edge of Tile)
 - Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.7.
 - Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
 - Provide 2x6 blocking at all shelving locations. See 8/A6.7.
 - Pre-pour gypcrete below all tubs prior to setting tubs. Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
 - Install 3A-40B/C fire extinguisher in kitchen cabinet under sink at all units.
 - See sheet A4.14 for grab bar blocking locations & reinforcing at all ground floor units.
 - Provide 3 1/2" batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
 - Tray ceiling shown on plan occurs at top floor units ONLY.
 - See sheet A4.15 for crown molding locations.



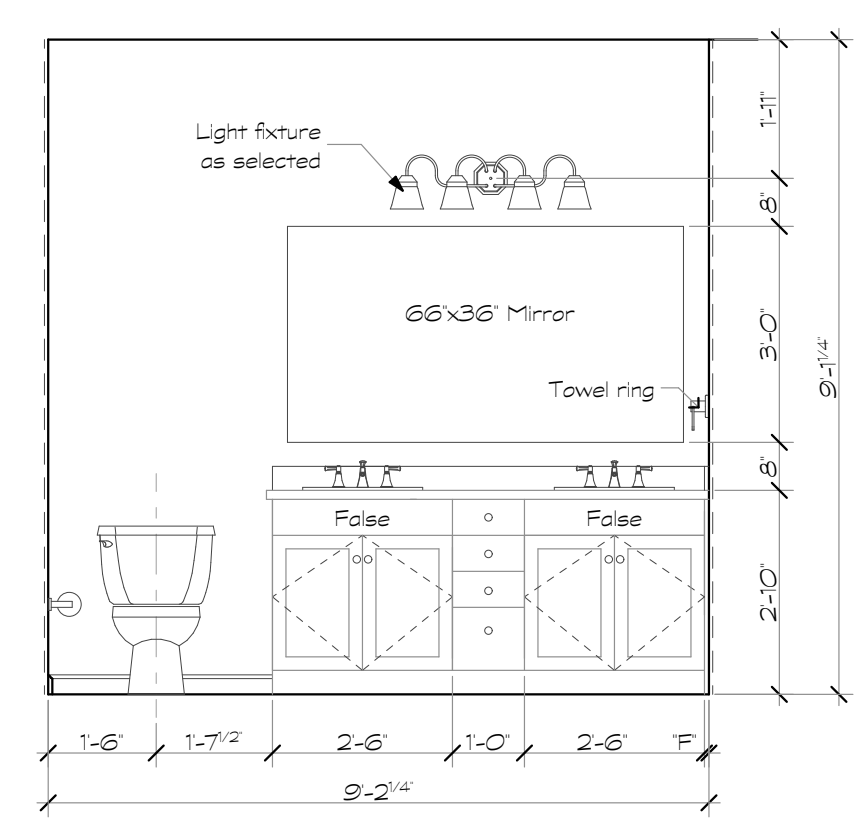
① Unit Type B3 - Plan
Scale: 1/4" = 1'-0"



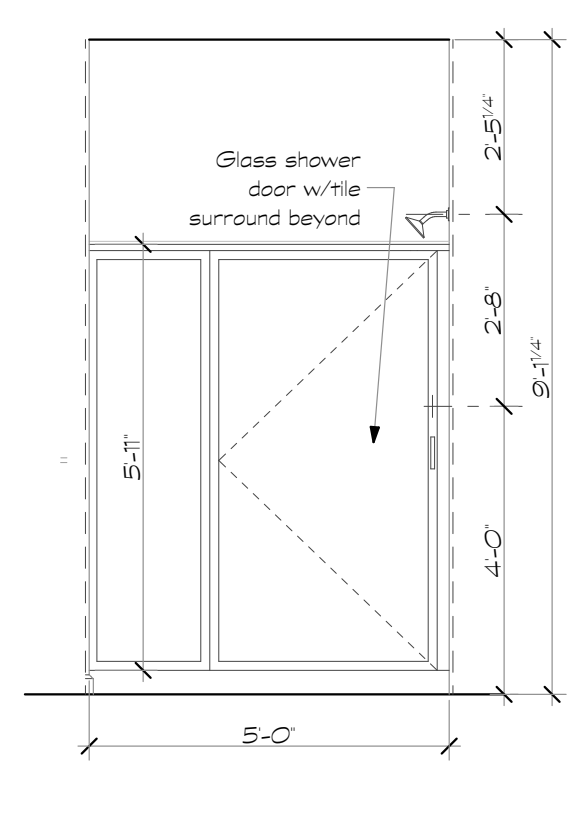
② Kitchen
Scale: 3/8" = 1'-0"



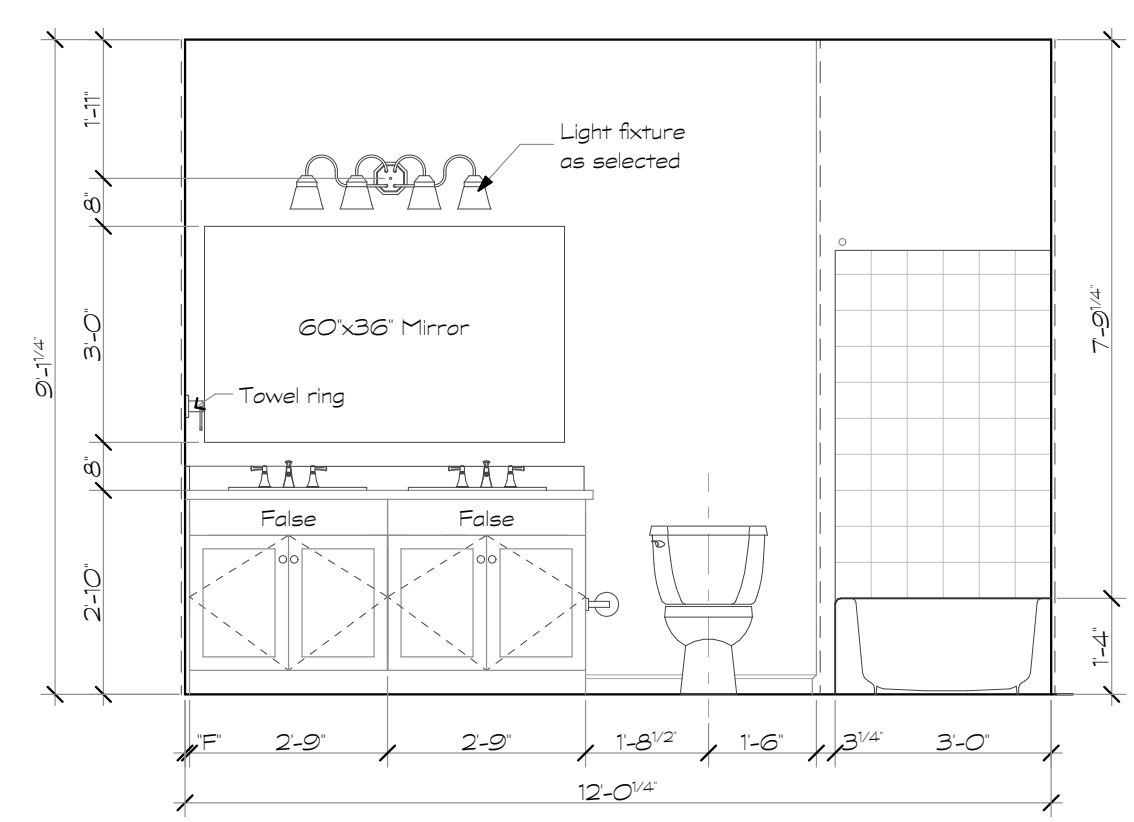
③ Kitchen
Scale: 3/8" = 1'-0"



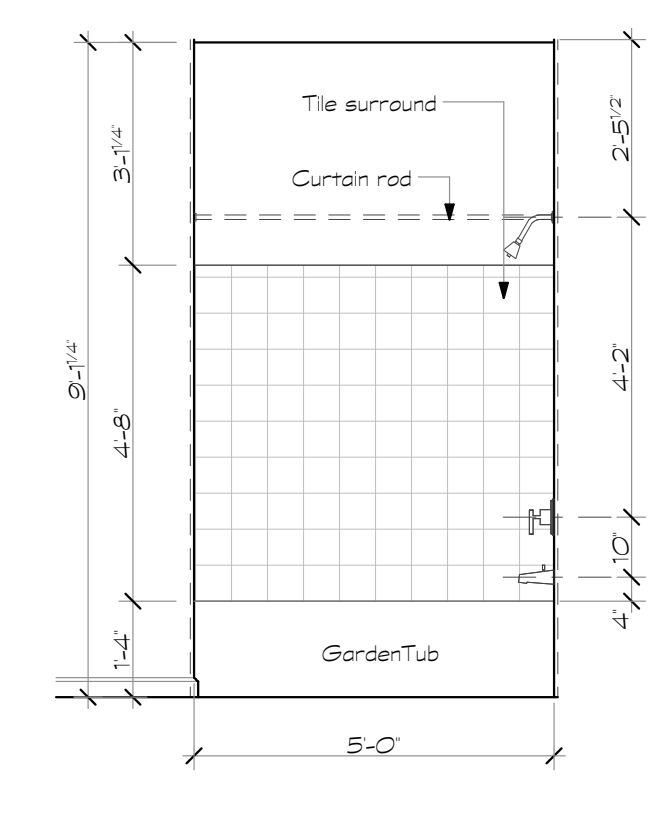
④ Master Bath
Scale: 3/8" = 1'-0"



⑤ Master Bath
Scale: 3/8" = 1'-0"



⑥ Bath 2
Scale: 3/8" = 1'-0"



⑦ Bath 2
Scale: 3/8" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Unit Plan, Type B4,
Plan & Interior Elevations

Date:
September 30, 2022

Sheet Number:

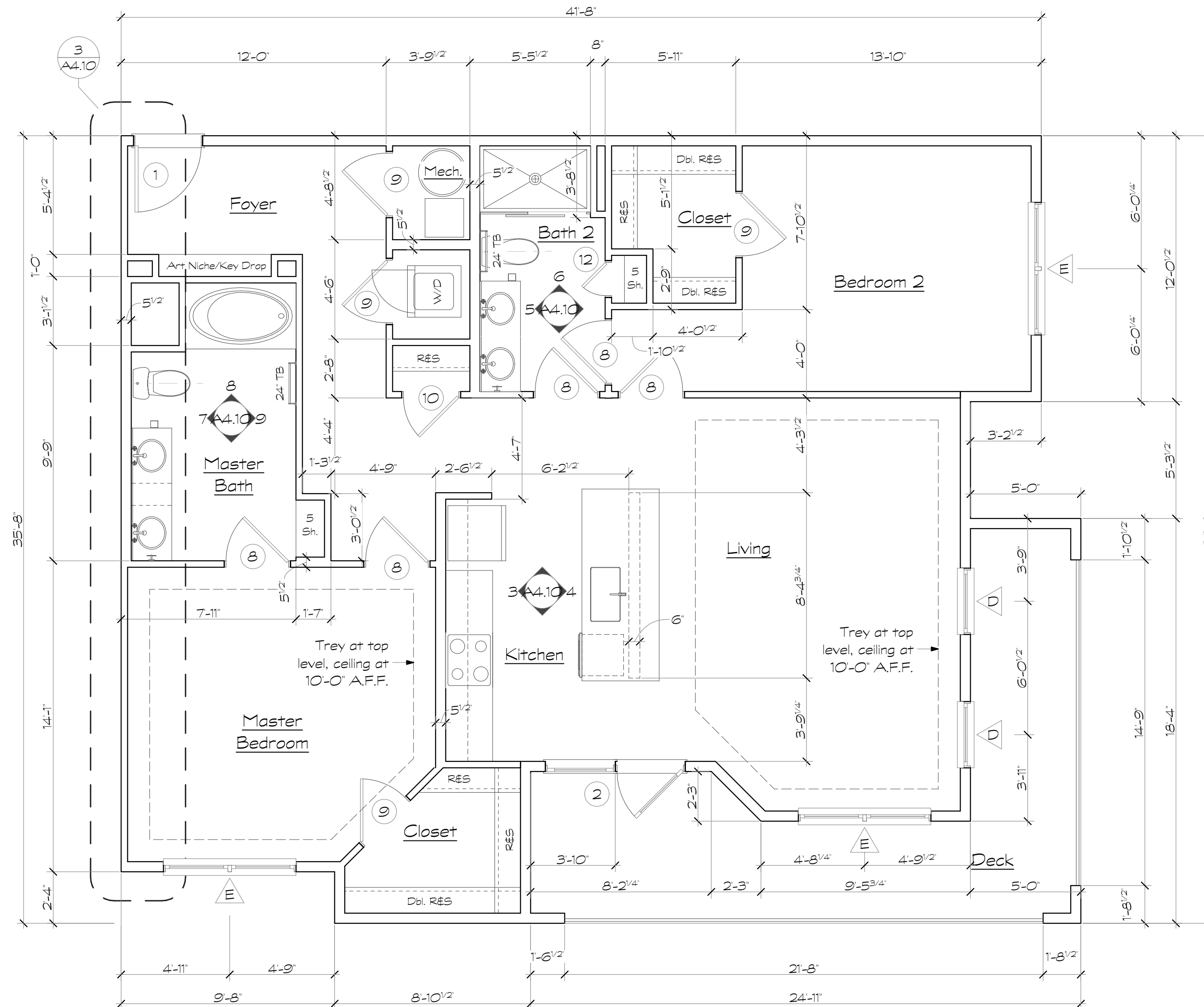
A4.10

Wall Legend

- ① One hour rated tenant separation wall, U.L. Design U341. See sheet AO.2
- ② One hour rated interior load bearing wall, U.L. Design U305. See sheet AO.4
- ③ One hour rated breezeway wall, U.L. Design U356. See sheet AO.2

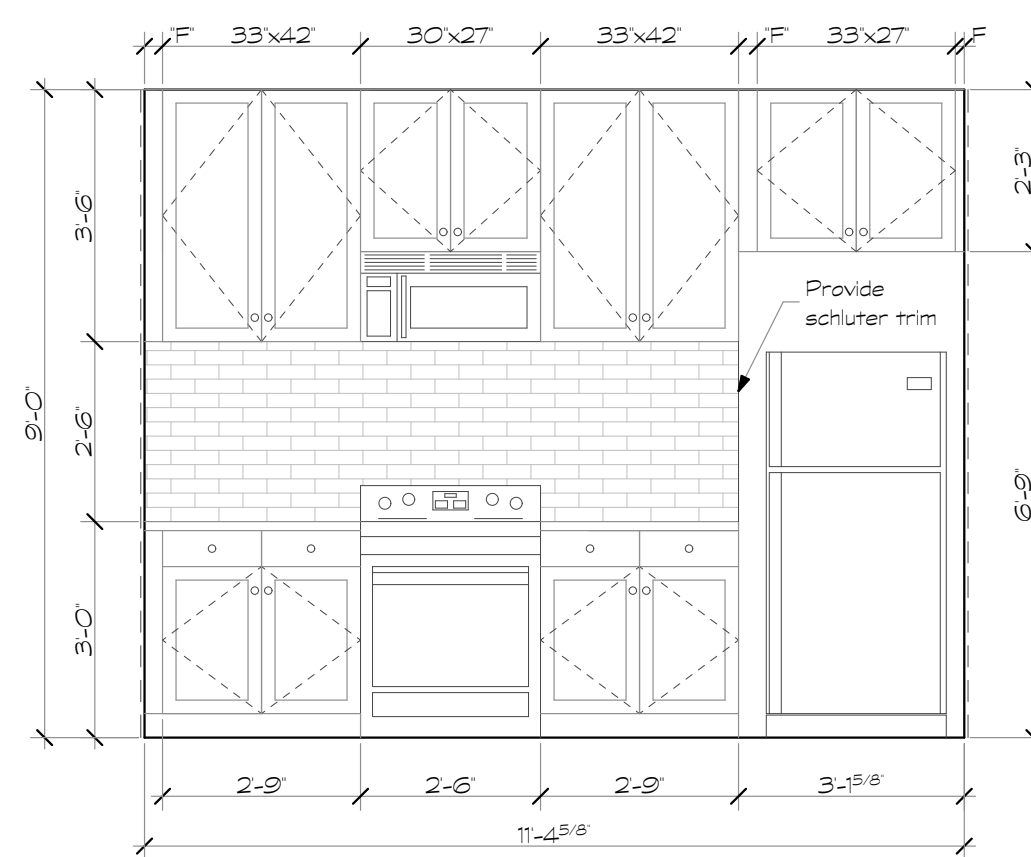
Unit Plan Notes

1. All floor plan dimensions are to face of stud.
2. All interior elevation dimensions are to finished wall.
3. Single rod and wire shelf at closets shall have shelf mounted at 5'-9" above finished floor.
4. Double rod and wire shelves shall have shelves mounted at 3'-4" and 6'-8" above finished floor.
5. 18" shelf at laundry room mounted at 5'-0" above finished floor.
6. Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
7. Door locations not dimensioned are to midpoint of wall segment, typical.
8. Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
9. EOC - denotes (Edge of Carpet)
EOT - denotes (Edge of Tile)
10. Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.7.
11. Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
12. Provide 2x6 blocking at all shelving locations. See 8/A6.7.
13. Pre-pour gypcrete below all tubs prior to setting tubs. Contractor: Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
14. Install 3A-40B:C fire extinguisher in kitchen cabinet under sink at all units.
15. See sheet A4.14 for grab bar blocking locations & reinforcing at all ground floor units.
16. Provide 3 1/2" batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
17. Tray ceiling shown on plan occurs at top floor units ONLY.
18. See sheet A4.15 for crown molding locations.

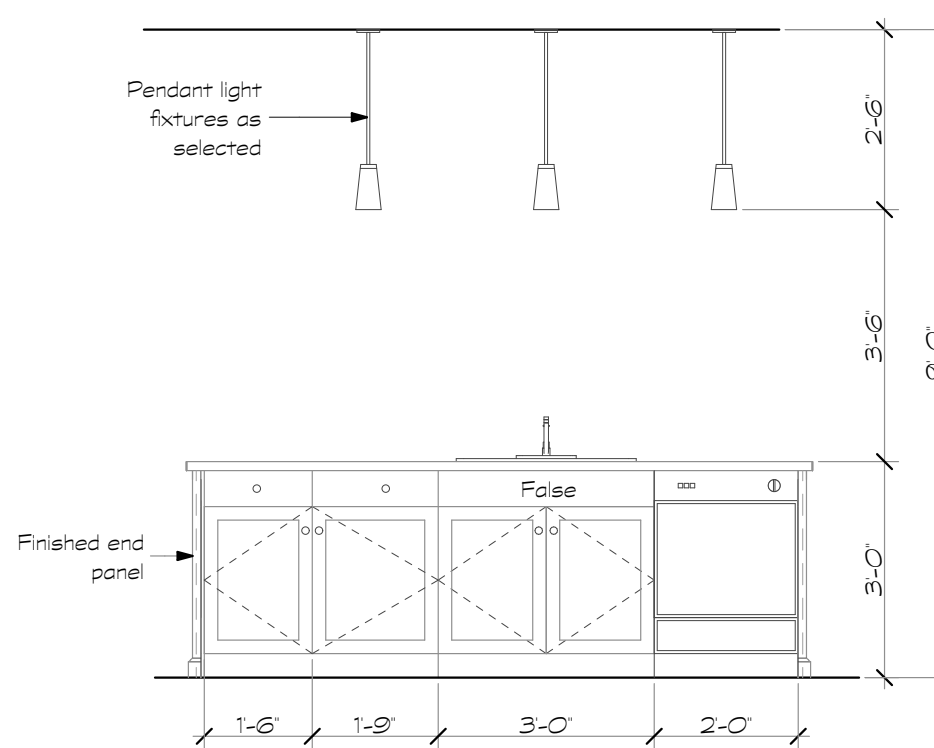


① Unit Type B4 - Plan
Scale: 1/4" = 1'-0"

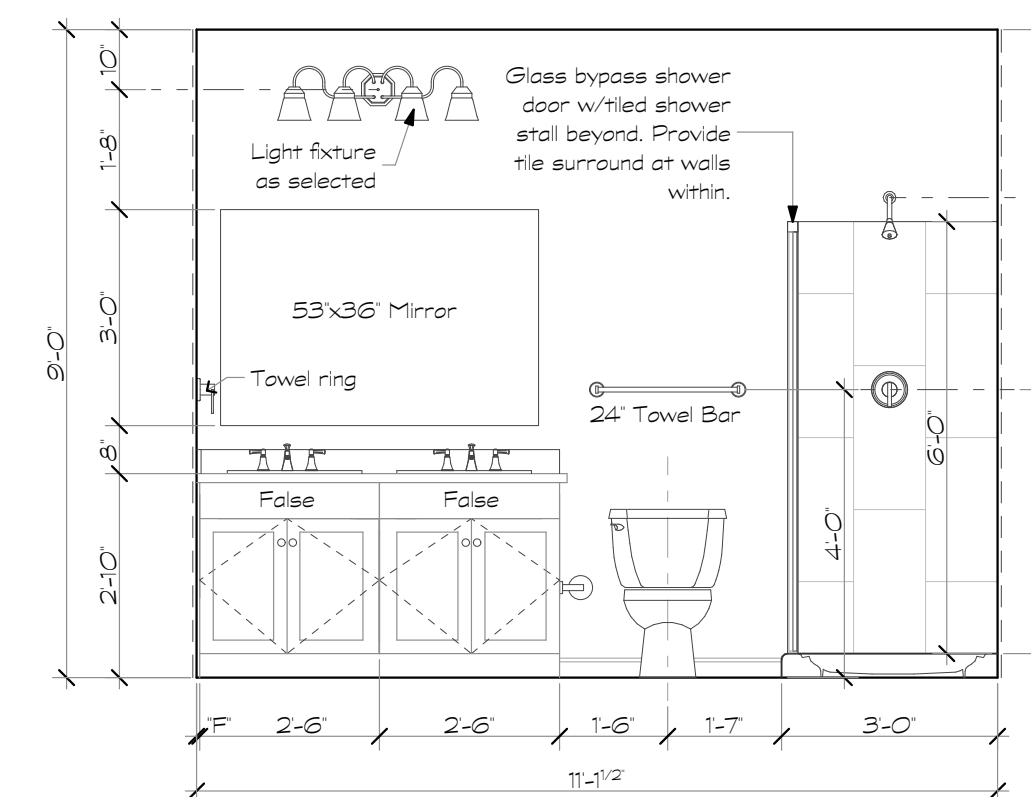
② Unit Type B4 @ Stair
Scale: 1/4" = 1'-0"



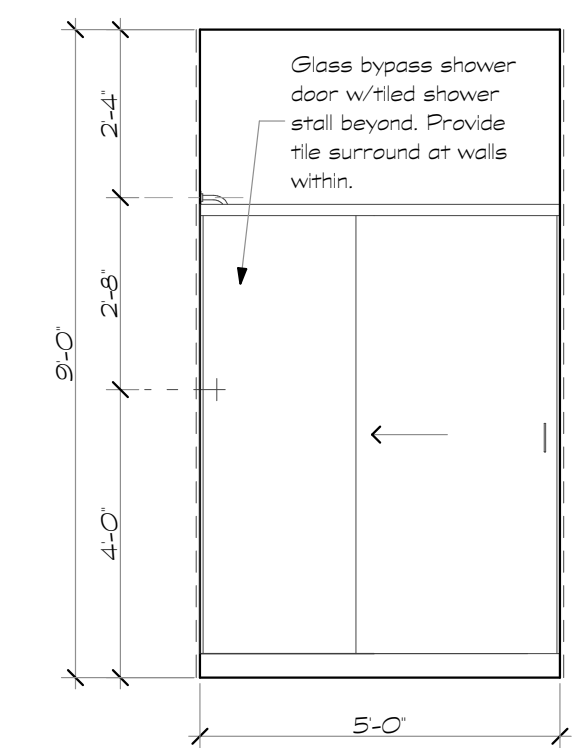
③ Kitchen
Scale: 3/8" = 1'-0"



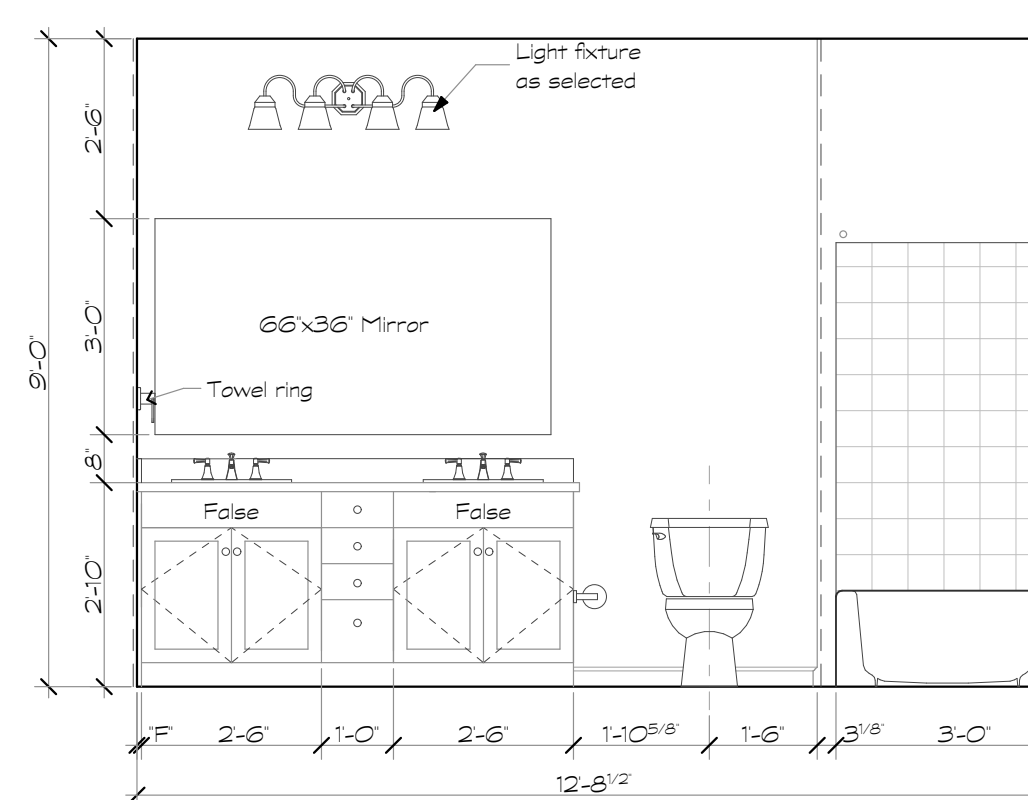
④ Kitchen
Scale: 3/8" = 1'-0"



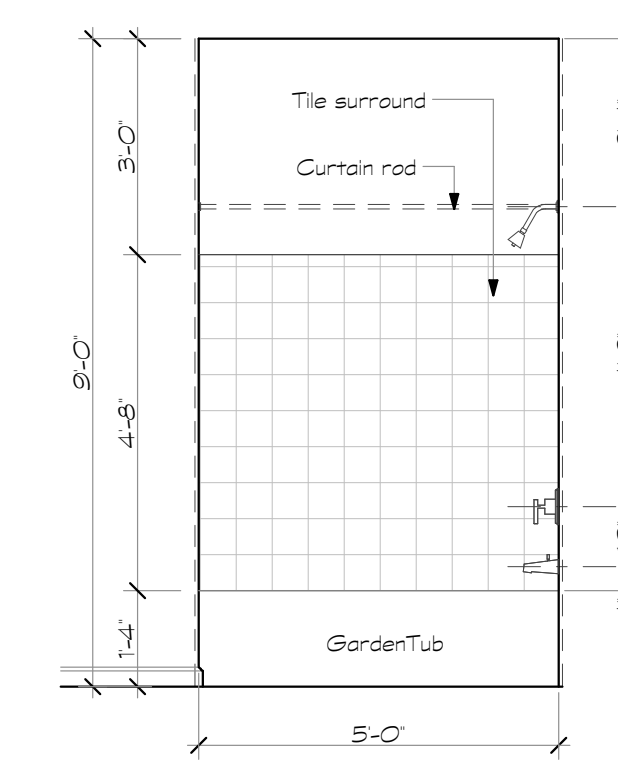
⑤ Bath 2
Scale: 3/8" = 1'-0"



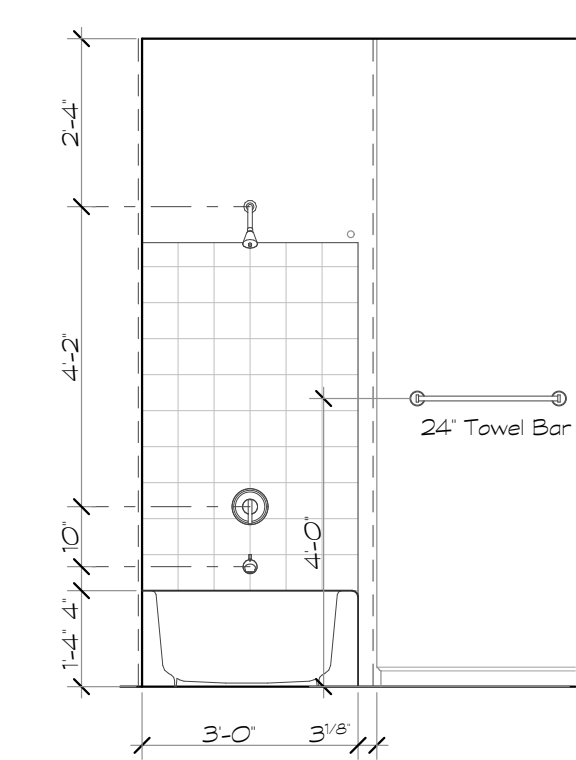
⑥ Bath 2
Scale: 3/8" = 1'-0"



⑦ Master Bath
Scale: 3/8" = 1'-0"



⑧ Master Bath
Scale: 3/8" = 1'-0"



⑨ Master Bath
Scale: 3/8" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

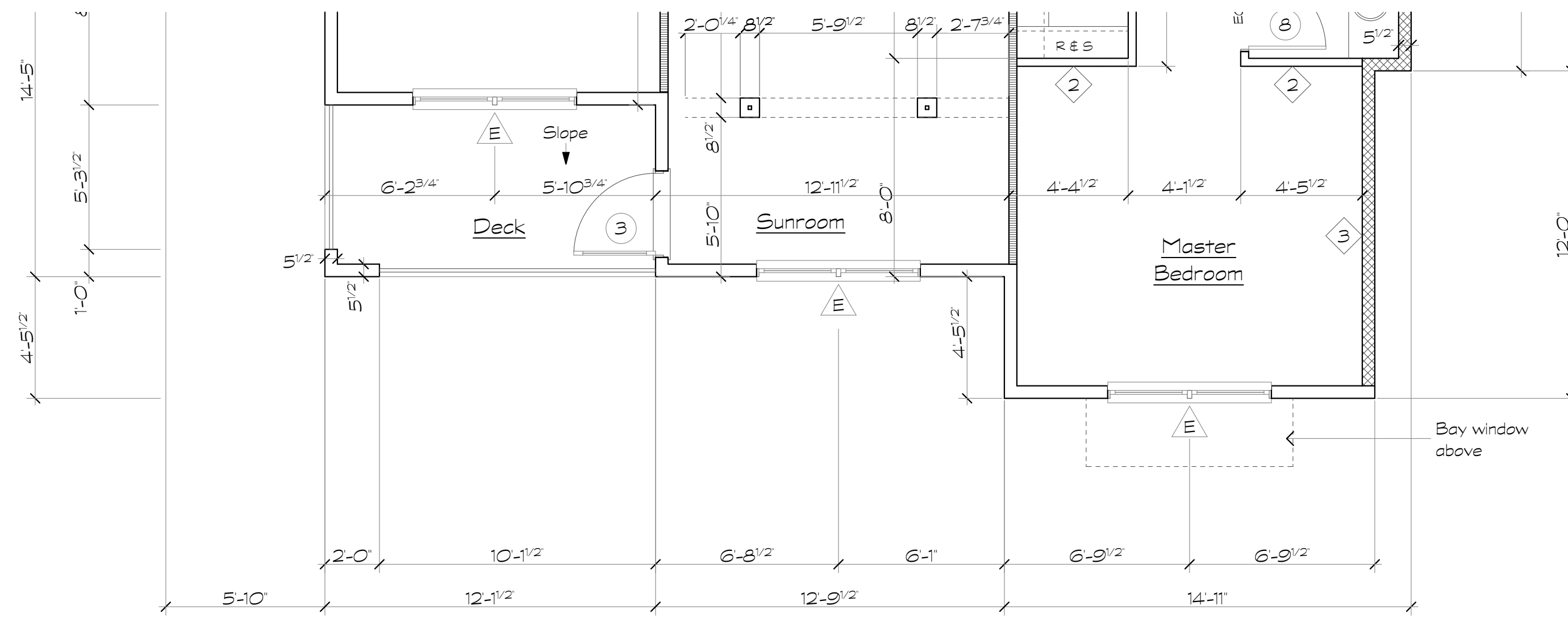
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Unit Plan, Type C1, Plans & Interior Elevations

Date:
September 30, 2022

Sheet Number:

A4.11



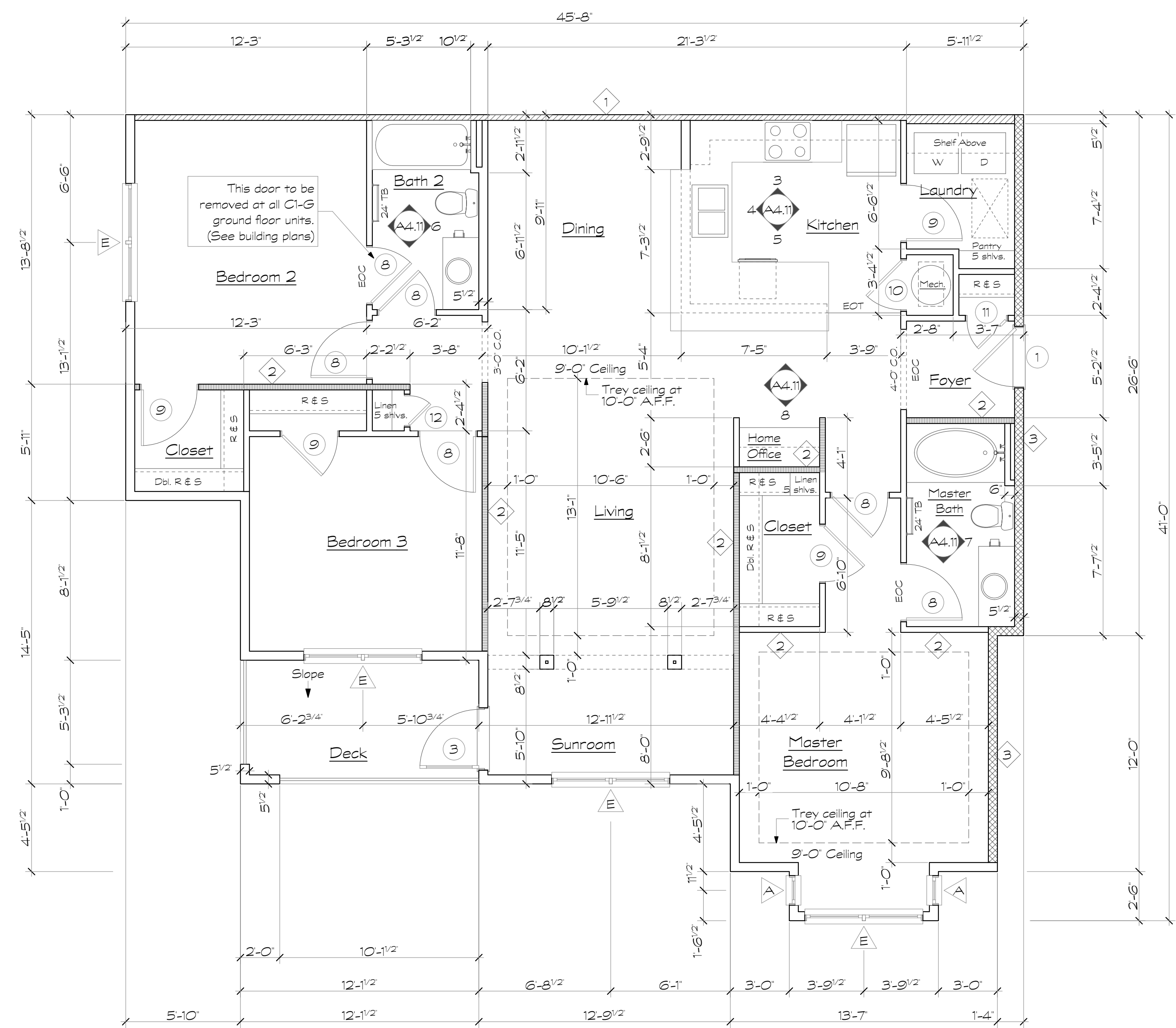
1 Unit Type C1-G - Plan
Scale: 1/4" = 1'-0"
At Ground Level (No Bay Window)

Wall Legend

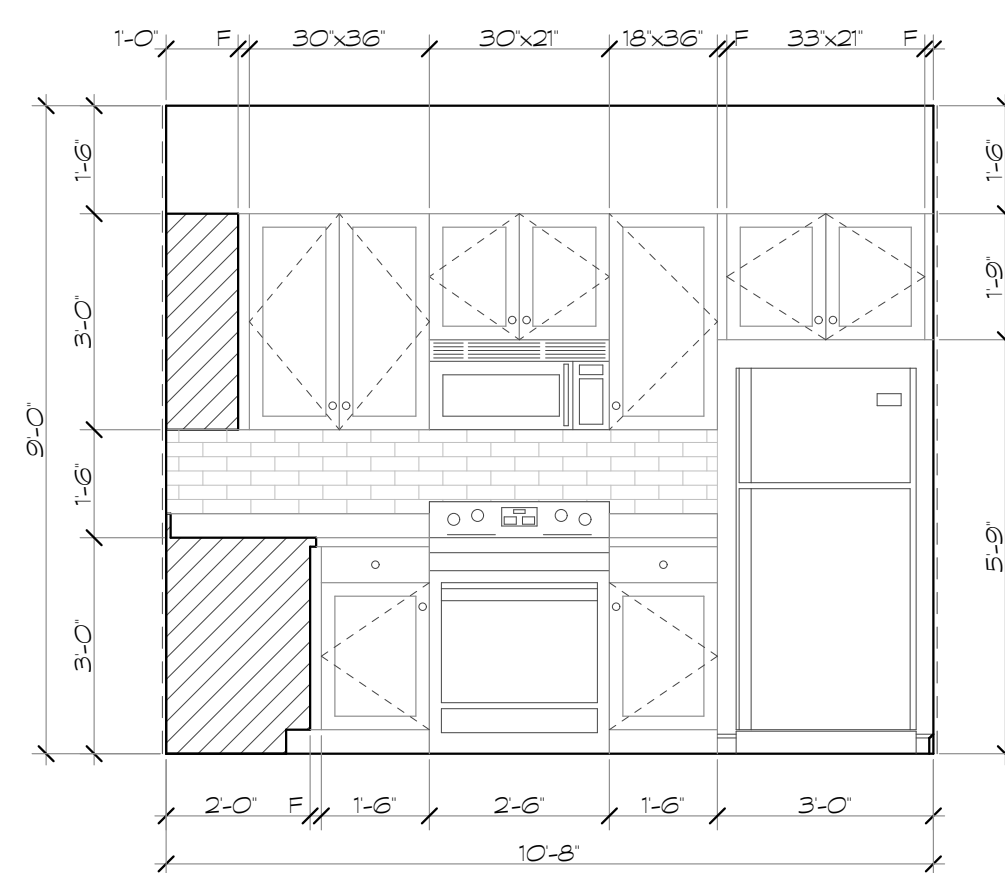
- 1 One hour rated tenant separation wall, U.L. Design U341. See sheet AO.2
- 2 One hour rated interior load bearing wall, U.L. Design U305. See sheet AO.4
- 3 One hour rated breezeway wall, U.L. Design U356. See sheet AO.2

Unit Plan Notes

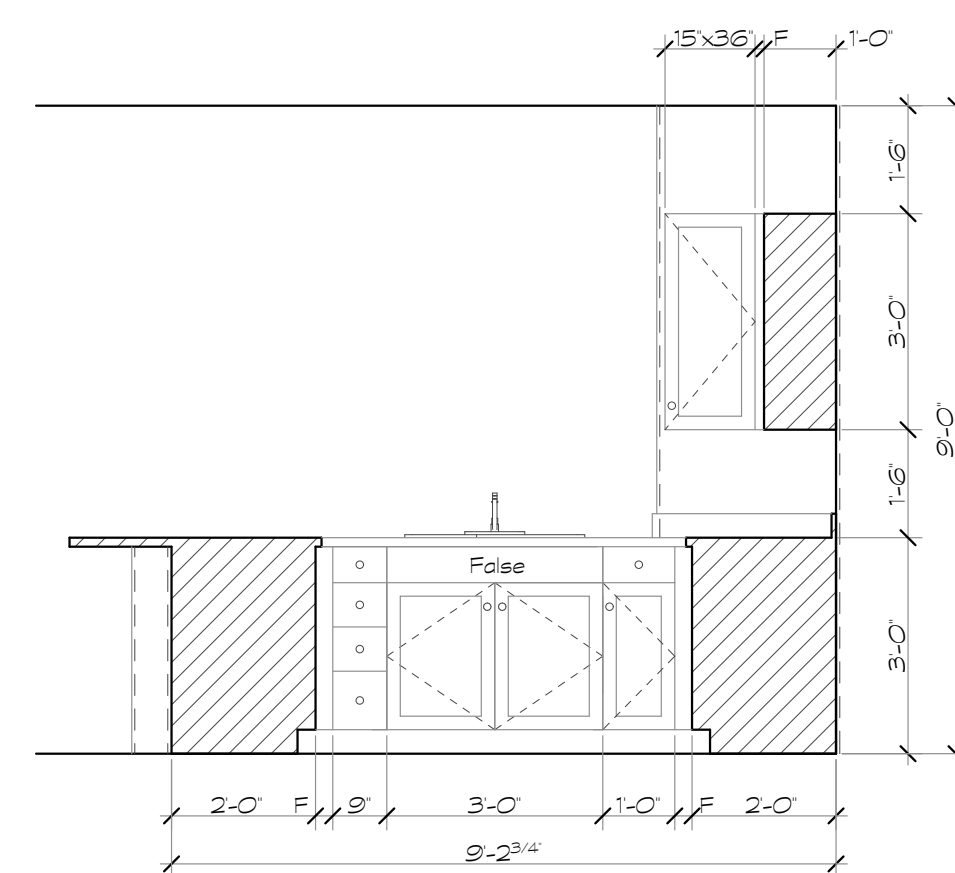
1. All floor plan dimensions are to face of stud.
2. All interior elevation dimensions are to finished wall.
3. Single rod and wire shelf at closets shall have shelf mounted at 5'-9" above finished floor.
4. Double rod and wire shelves shall have shelves mounted at 3'-4" and 6'-8" above finished floor.
5. 18" shelf at laundry room mounted at 5'-0" above finished floor.
6. Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
7. Door locations not dimensioned are to midpoint of wall segment, typical.
8. Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
9. EOC - denotes (Edge of Carpet)
EOT - denotes (Edge of Tile)
10. Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/AG.7.
11. Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
12. Provide 2x6 blocking at all shelving locations. See 8/AG.7.
13. Pre-pour gypcrete below all tubs prior to setting tubs.
Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
14. Install 3A-40B:C fire extinguisher in kitchen cabinet under sink at all units.
15. See sheet A4.14 for grab bar blocking locations & reinforcing at all ground floor units.
16. Provide 3 1/2" batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
17. Tray ceiling shown on plan occurs at top floor units ONLY.
18. See sheet A4.15 for crown molding locations.



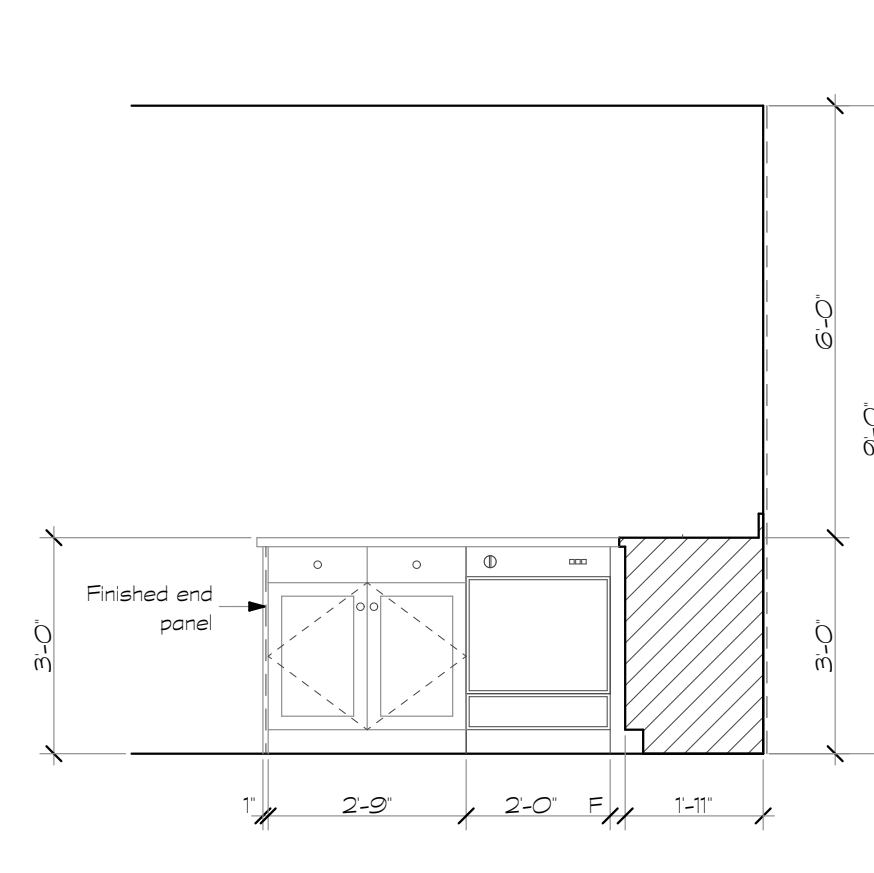
2 Unit Type C1 - Plan w/Bay Window
Scale: 1/4" = 1'-0"
At Upper Levels



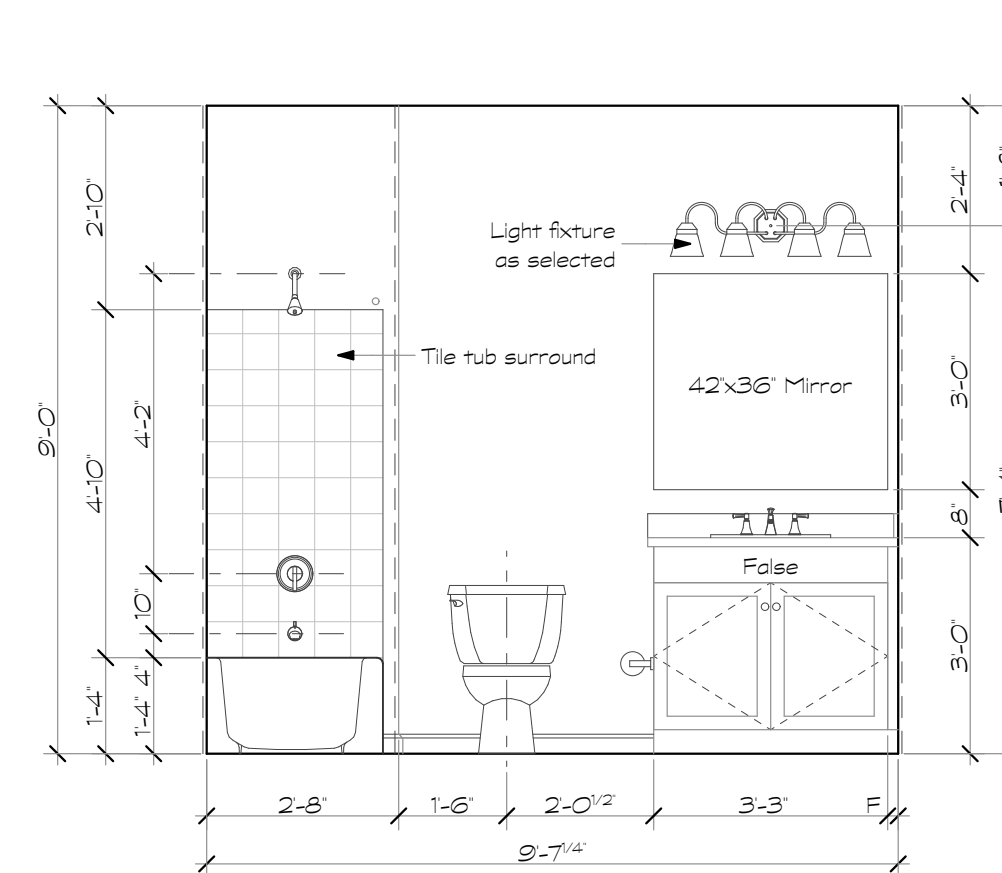
3 Kitchen
Scale: 3/8" = 1'-0"



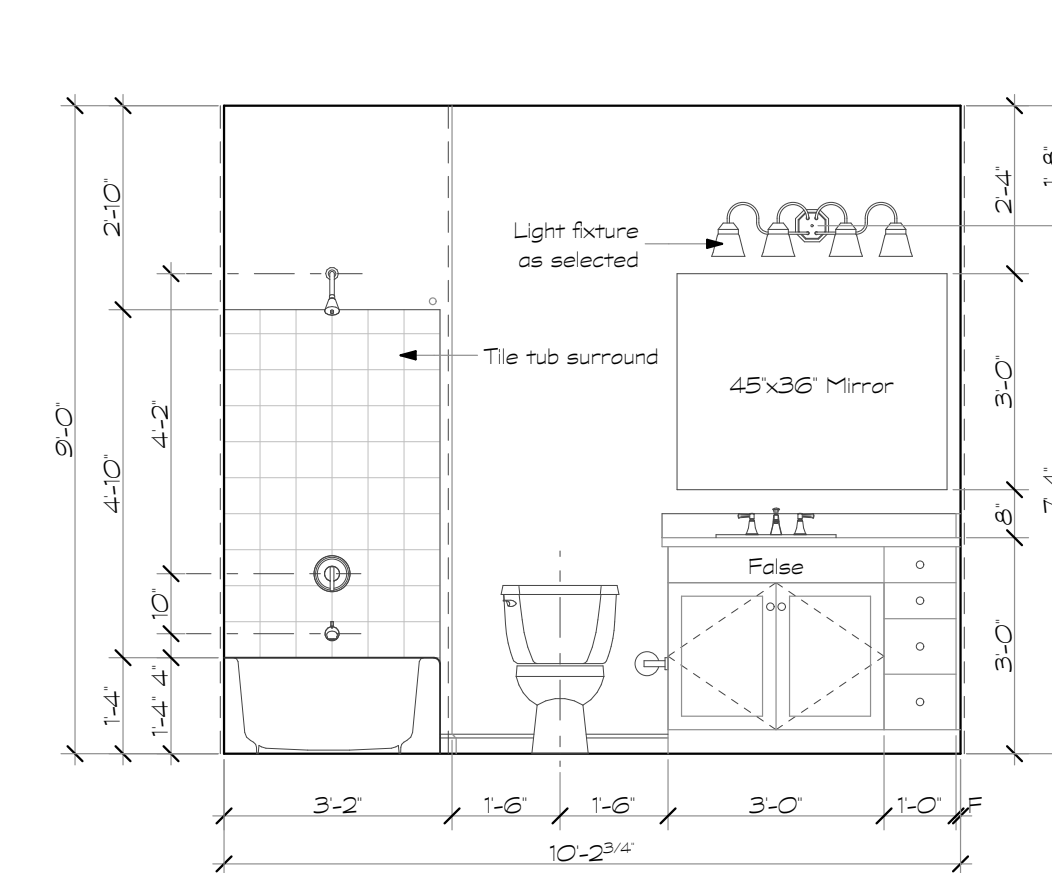
4 Kitchen
Scale: 3/8" = 1'-0"



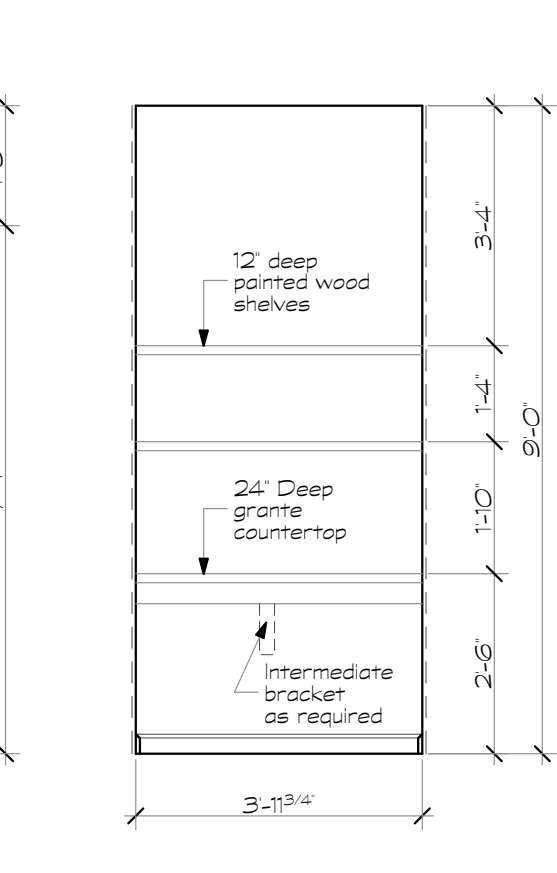
5 Kitchen
Scale: 3/8" = 1'-0"



6 Bath 2
Scale: 3/8" = 1'-0"



8 Master Bath
Scale: 3/8" = 1'-0"



9 Home Office
Scale: 3/8" = 1'-0"

Revisions:

Date: Description:

Date	Description

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential
Development by: Ft.
Clarke Apartments
Residences, LLC

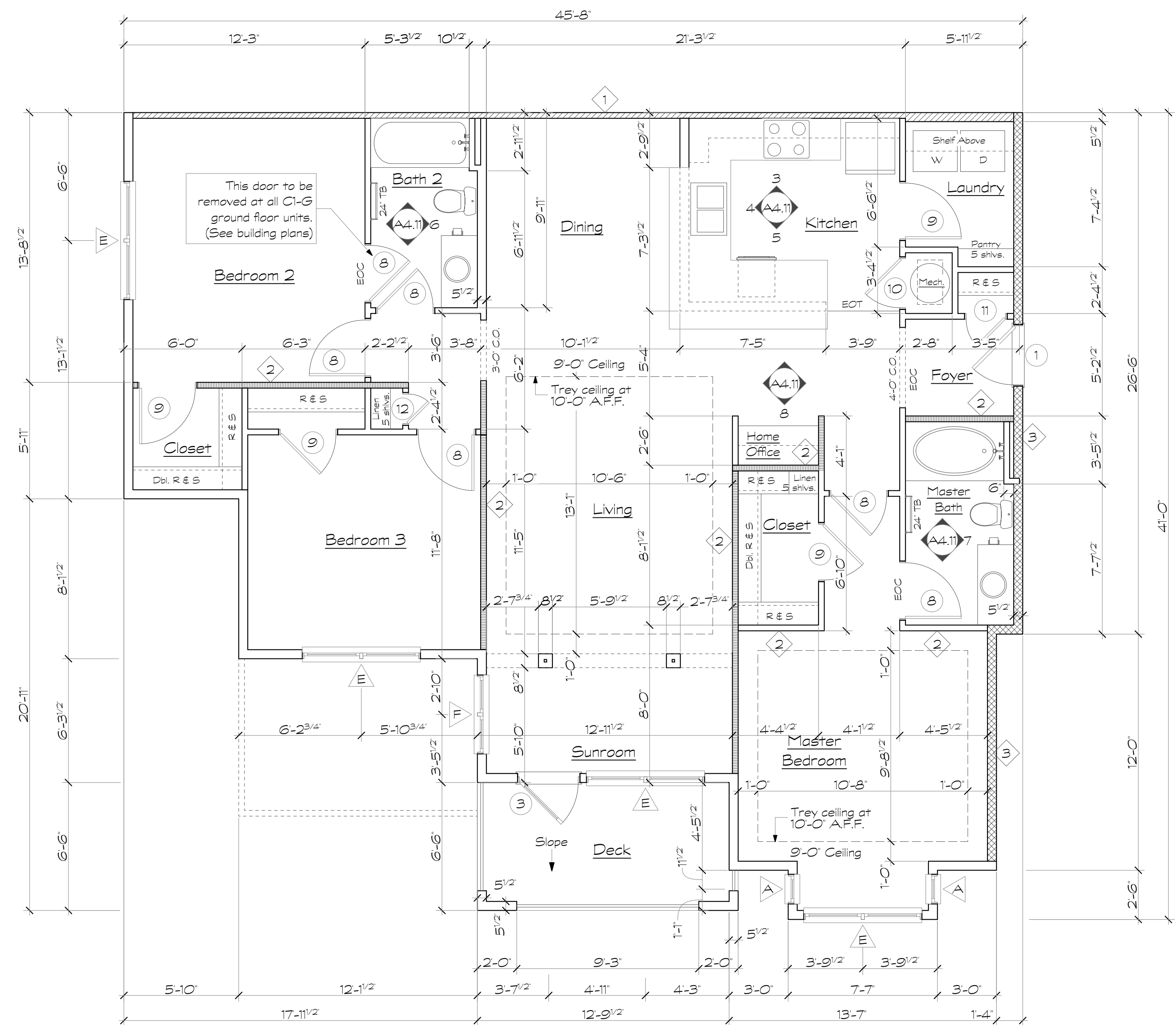
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Unit Plan, Type C1A,
Plan & Interior
Elevations

Date:
September 30, 2022

Sheet Number:

A4.12



1 Unit Type C1A - Plan
Scale: 1/4" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

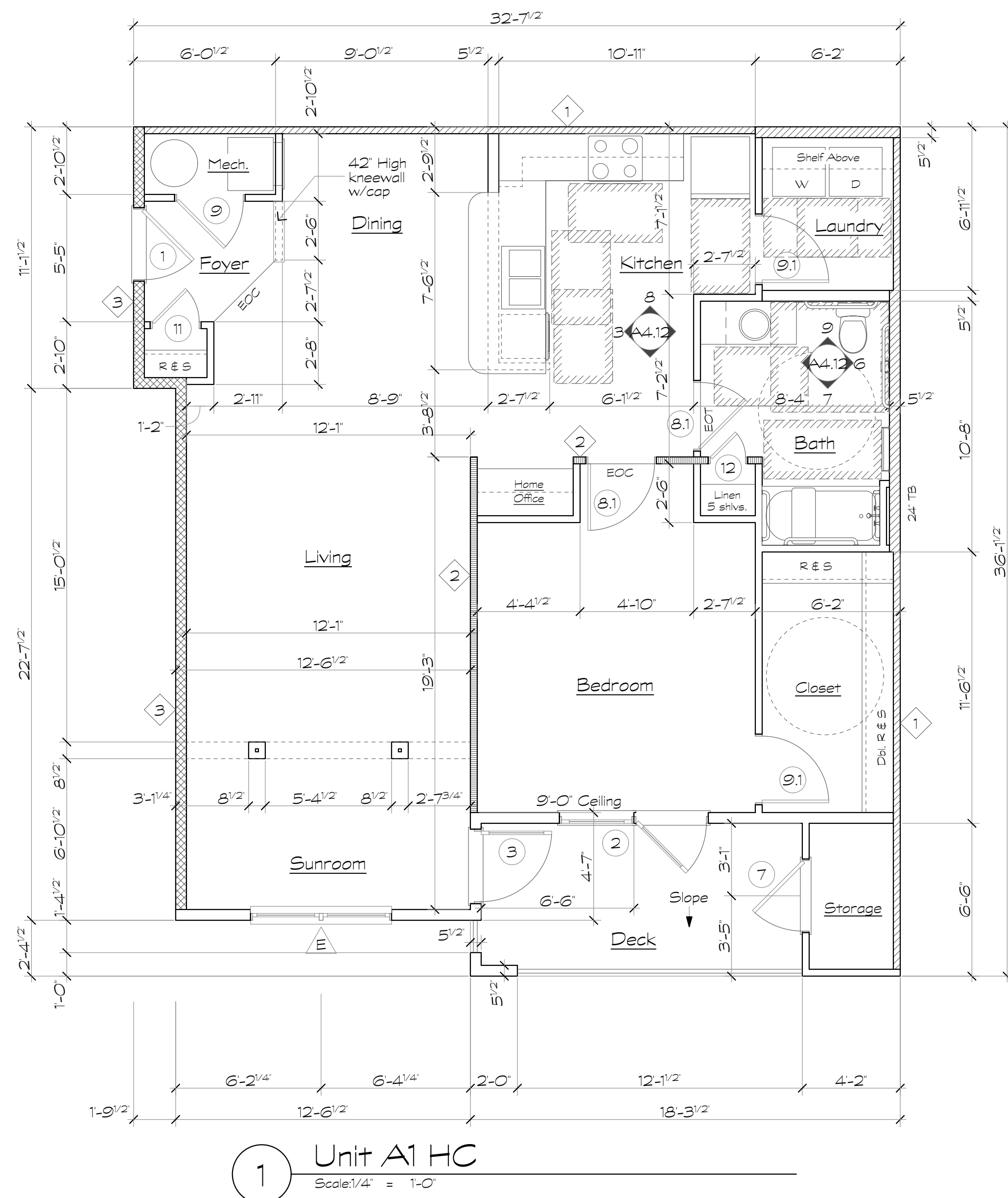
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Unit Plan, Type A1-HC & B1-G-HC, Plans & Interior Elevations

Date:
September 30, 2022

Sheet Number:

A4.13

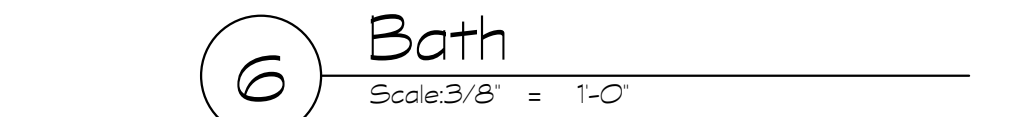
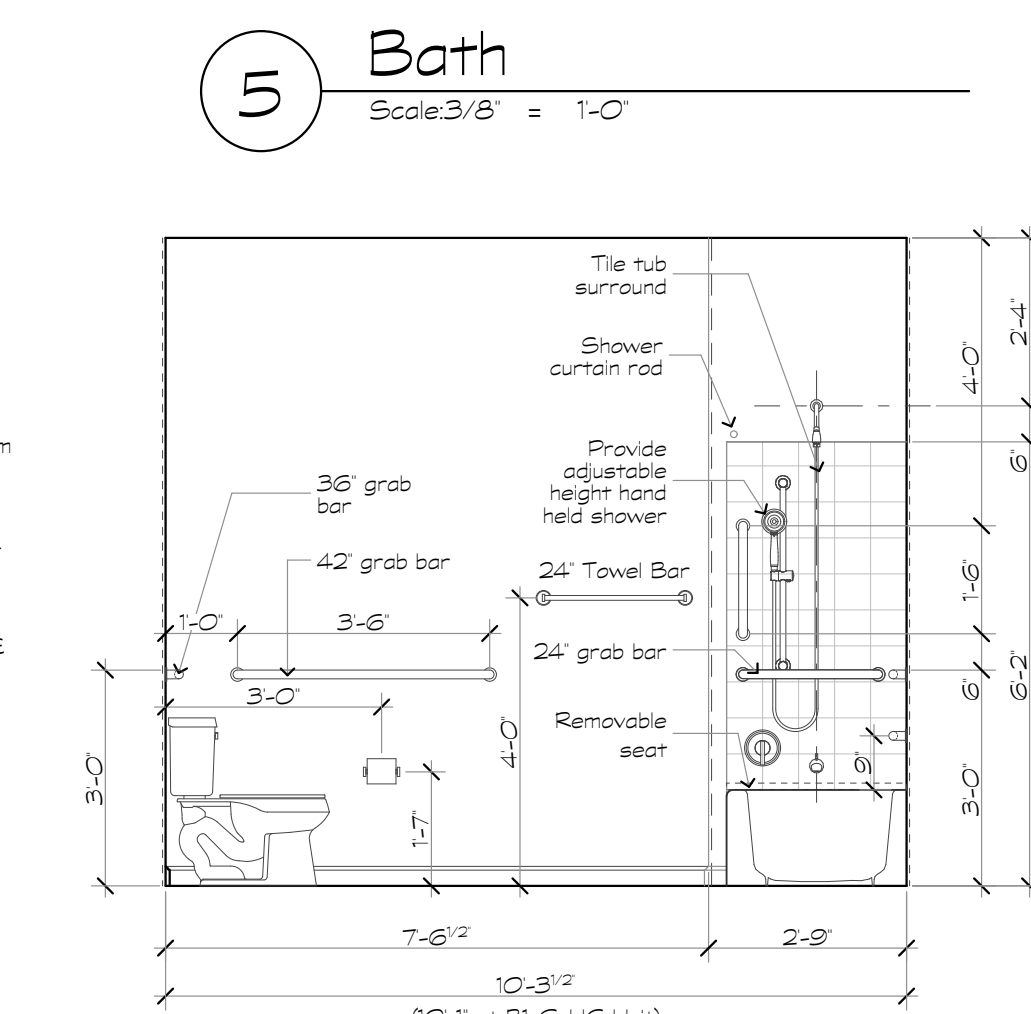
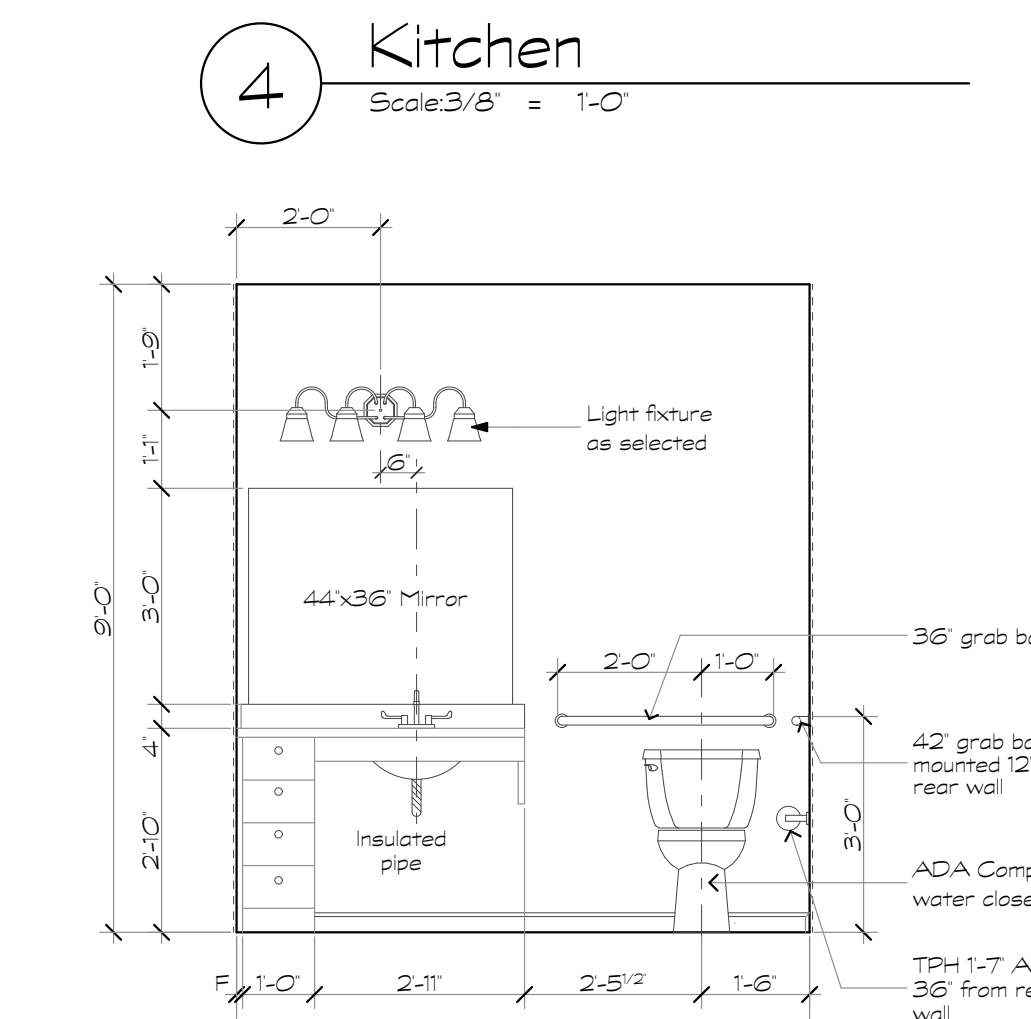
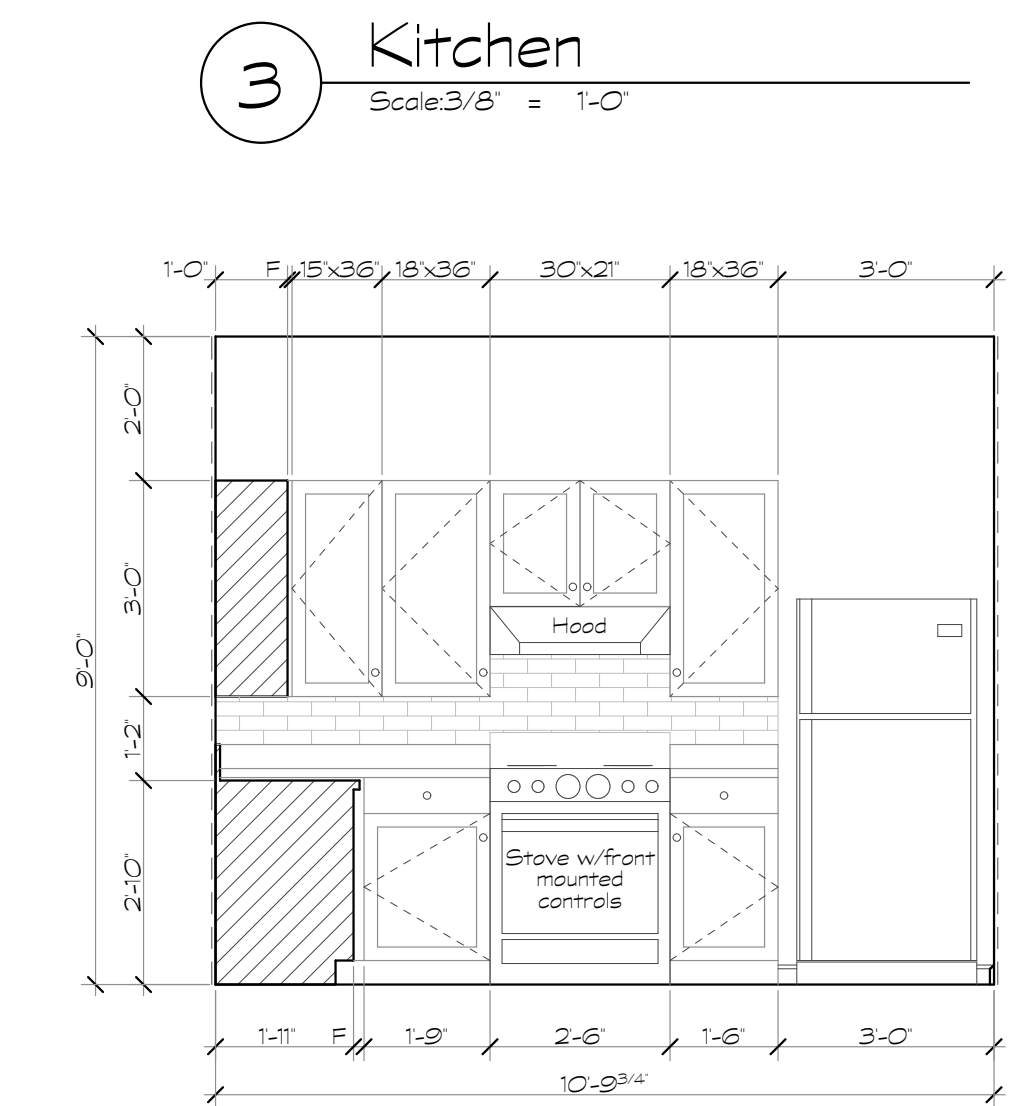
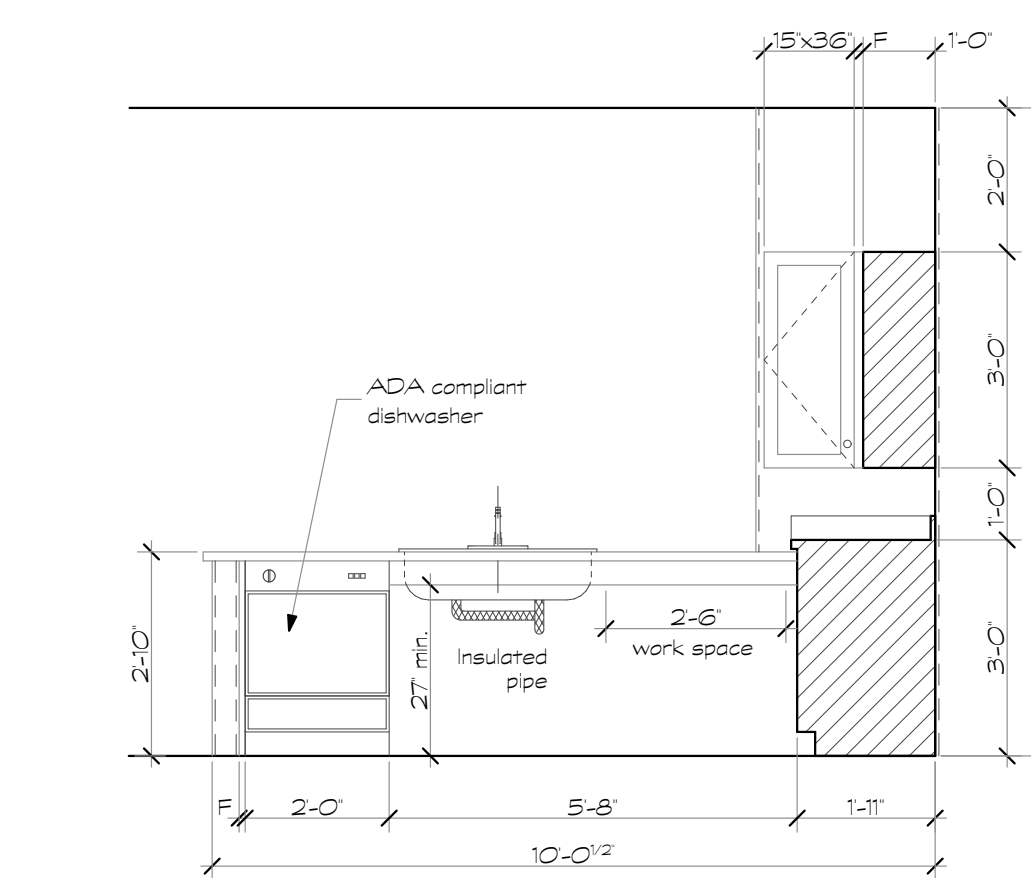
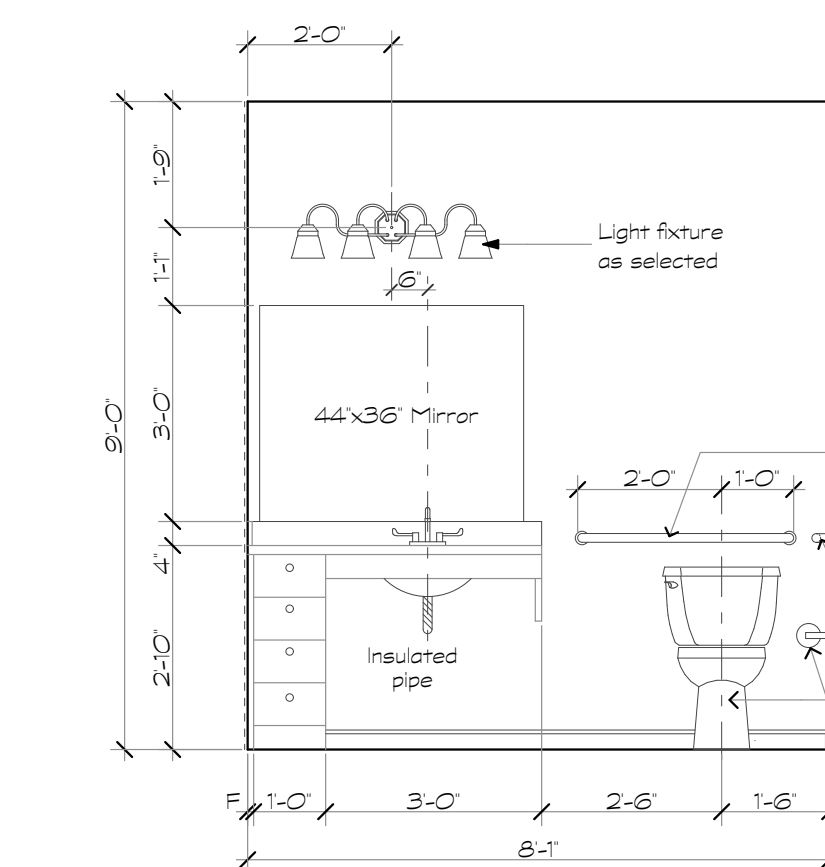
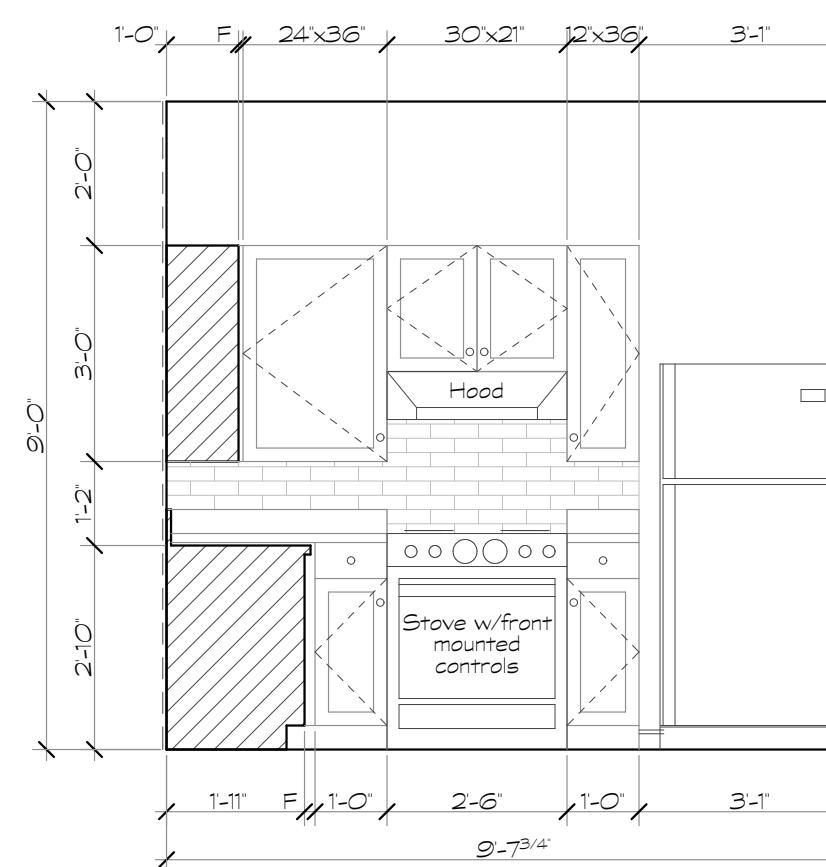
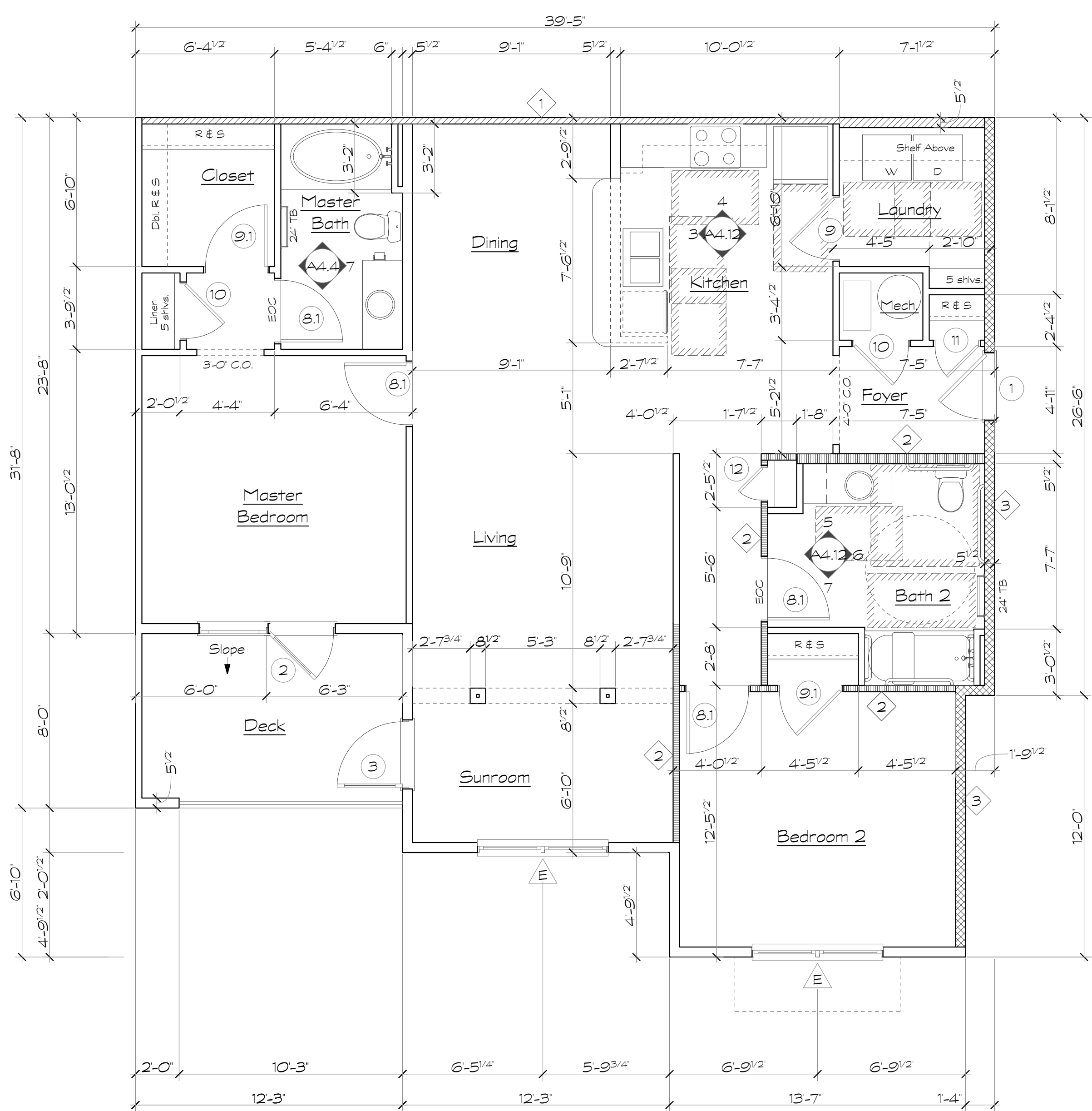
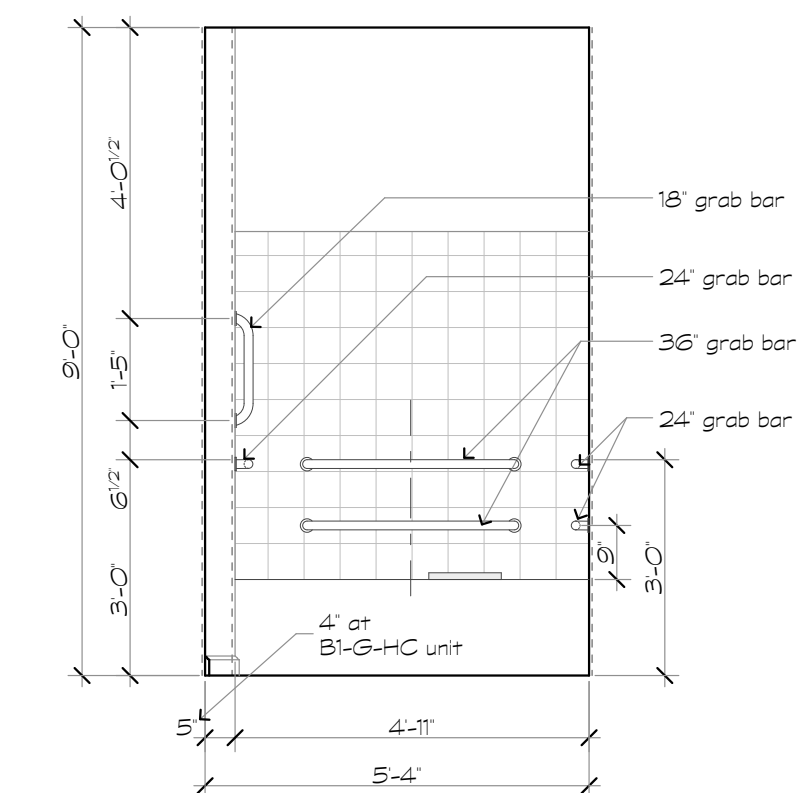


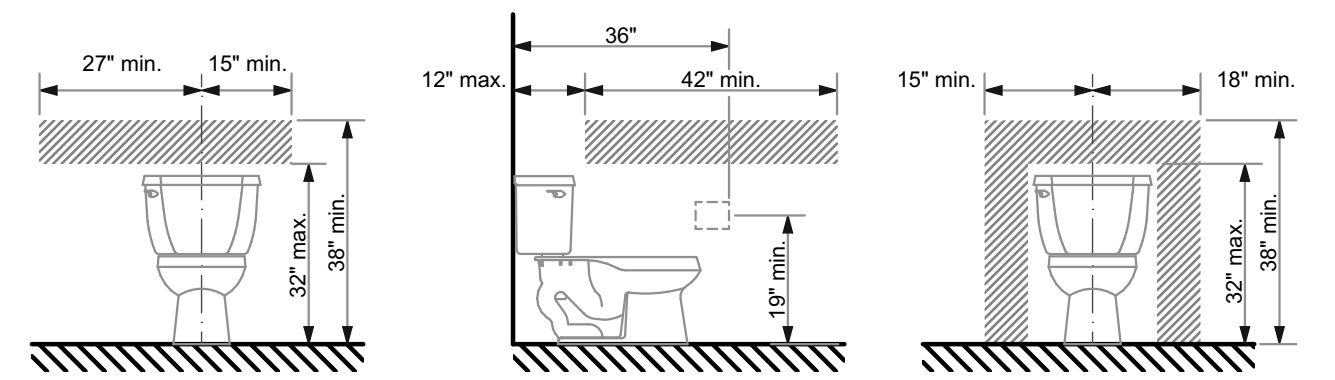
Unit Plan Notes at HC Accessible Units

- All floor plan dimensions are to face of stud.
- All interior elevation dimensions are to finished wall.
- Single rod and wire shelf at closets shall have shelf mounted at 4'-0" above finished floor.
- Shelf at laundry room shall have shelves mounted at 4'-0" O.C.
- Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
- Door locations not dimensioned are to midpoint of wall segment, typical.
- Towel bars in bathrooms shall be mounted at 4'-0" above finished floor, typical.
- EOC - denotes (Edge of Carpet)
EOT - denotes (Edge of Tile)
- Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.5.
- Provide 2x6 blocking at all grab bars, towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
- Provide 2x6 blocking at all shelving locations. See 4/A6.5.
- Pre-pour gypcrete below all tubs prior to setting tubs. Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
- Install 3A-40BC fire extinguisher in kitchen cabinet under sink at all units.
- See sheet A4.10 for grab bar blocking locations & reinforcing at all ground floor units.
- Provide 3 1/2" batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
- See sheet A4.15 for crown molding locations.

Wall Legend

- 1 One hour rated tenant separation wall, U.L. Design U341. See sheet AO.2
- 2 One hour rated interior load bearing wall, U.L. Design U305. See sheet AO.4
- 3 One hour rated breezeway wall, U.L. Design U356. See sheet AO.2



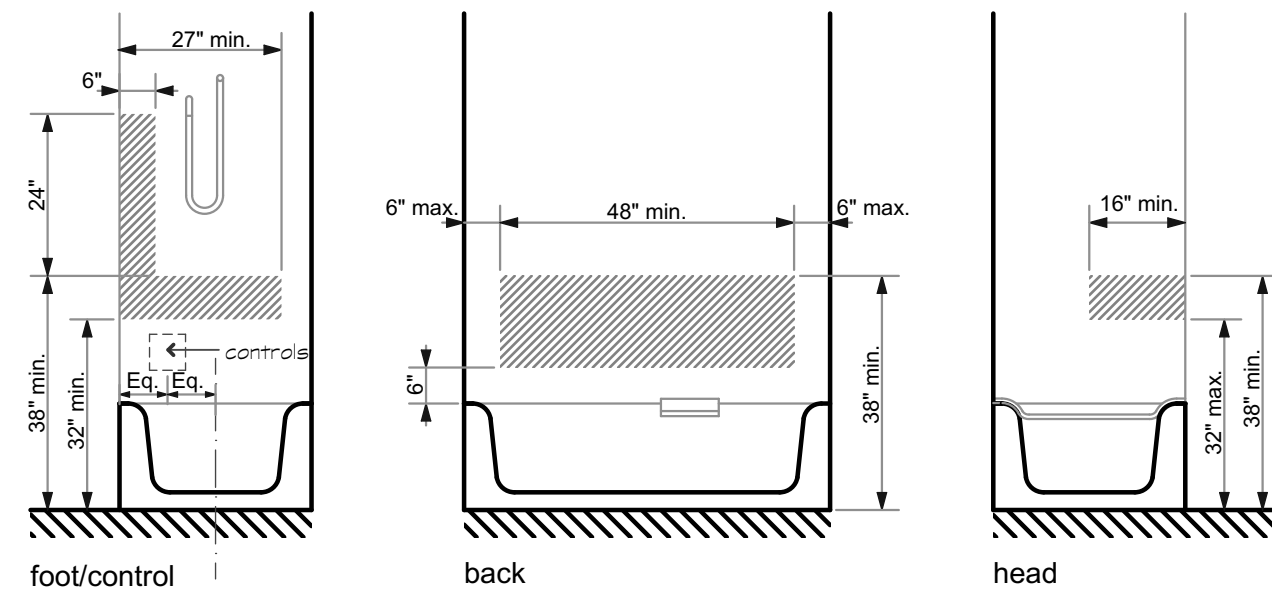


Note: the hatched areas are reinforced to receive grab bars.

Condition (a)
This occurs only when a side wall exists that is at least 4'-6" in length.

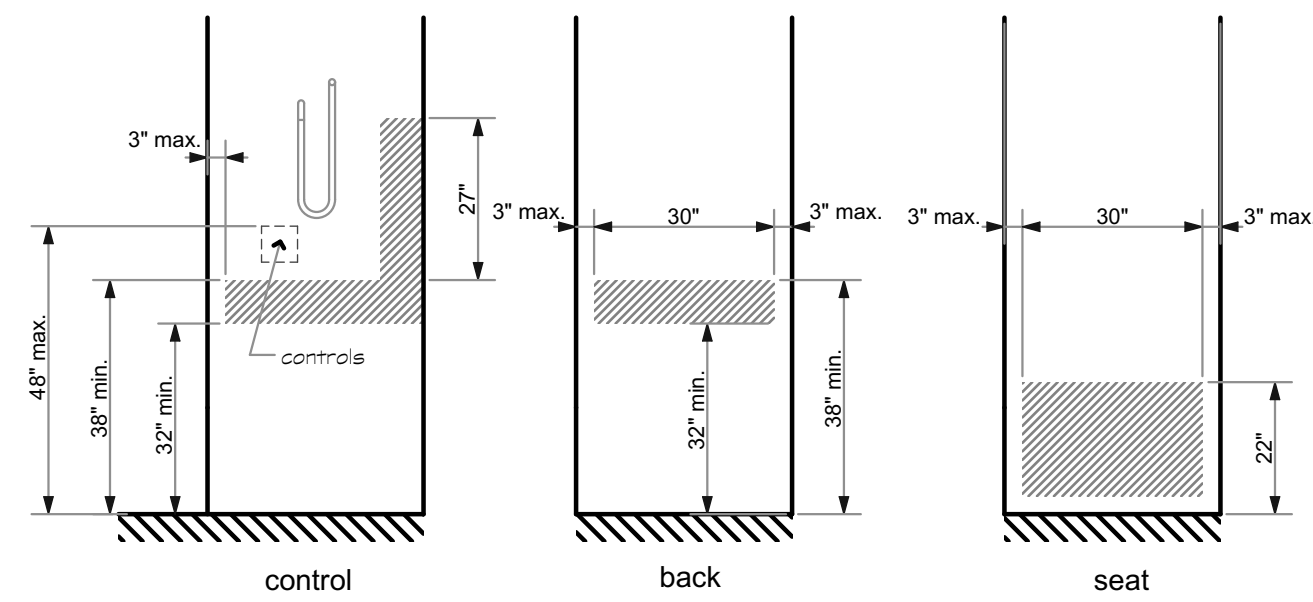
Condition (b)
This occurs when there is no adjoining side wall at least 4'-6" in length

Water Closet in Adaptable Bathrooms



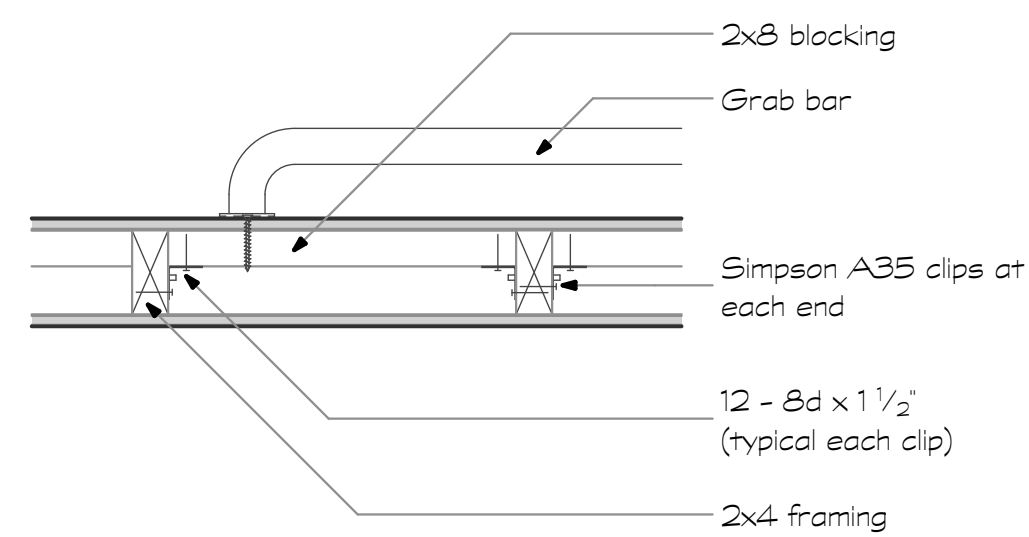
Note: the hatched areas are reinforced to receive grab bars.

Location of Grab Bars and Controls of Adaptable Bathrooms

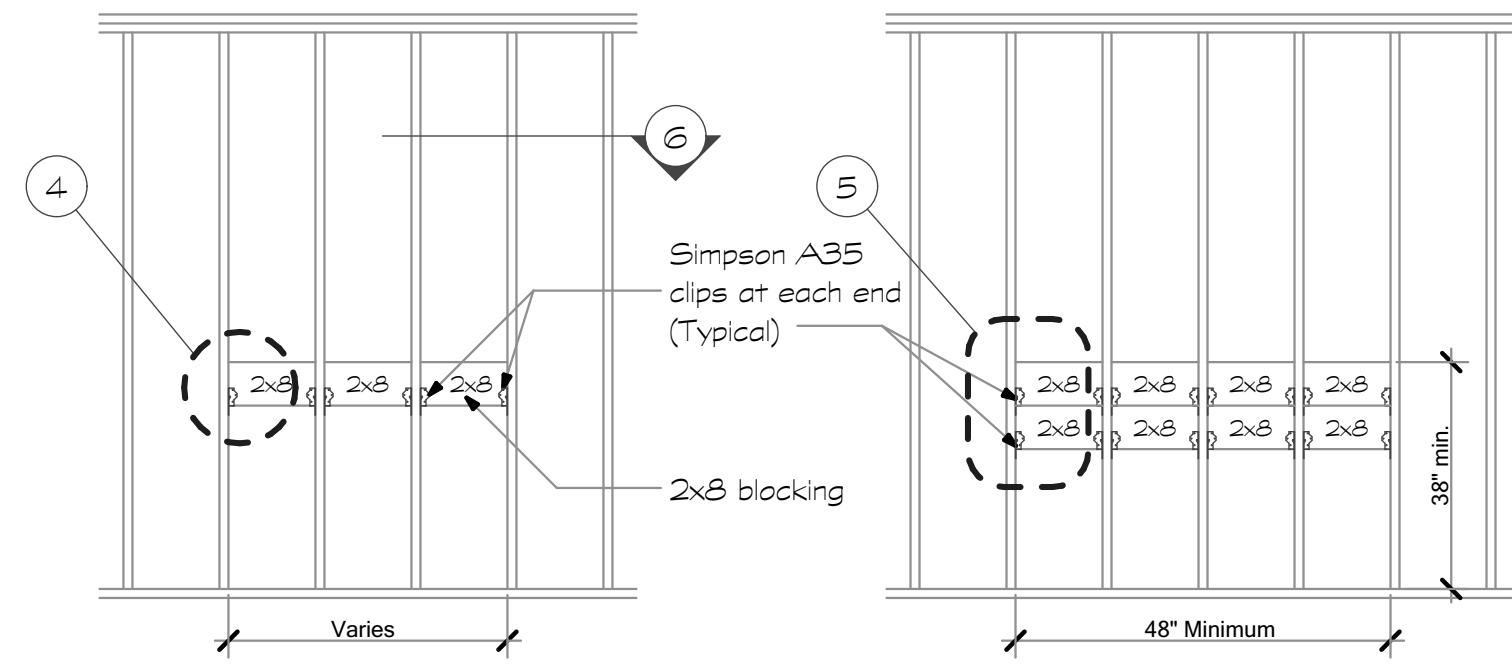


Note: the hatched areas are reinforced to receive grab bars.

Location of Grab Bar Blocking and Controls at Transfer Shower

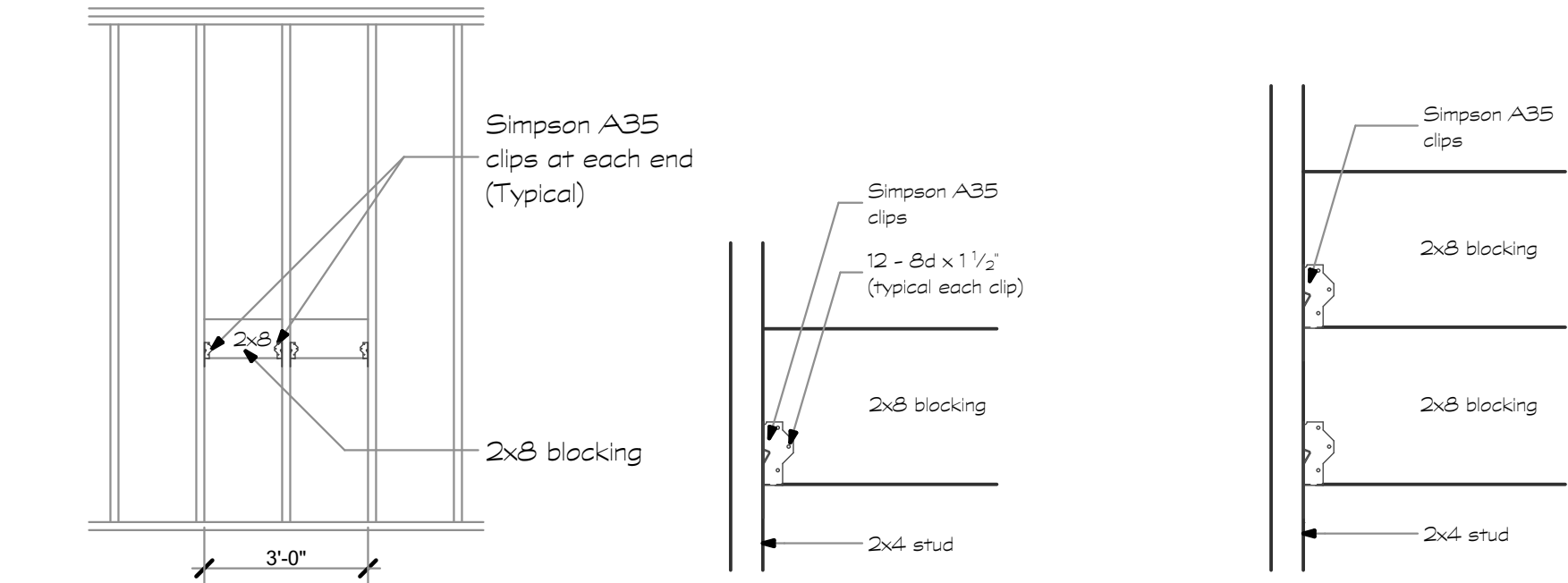


6 Grab Bar Section
Scale: 1 1/2" = 1'-0"



1 Reinforcing Blocking at Grab Bars

2 Reinforcing Blocking at Grab Bars for Back of Bathtubs



3 Reinforcing Blocking at Retractable Grab Bars

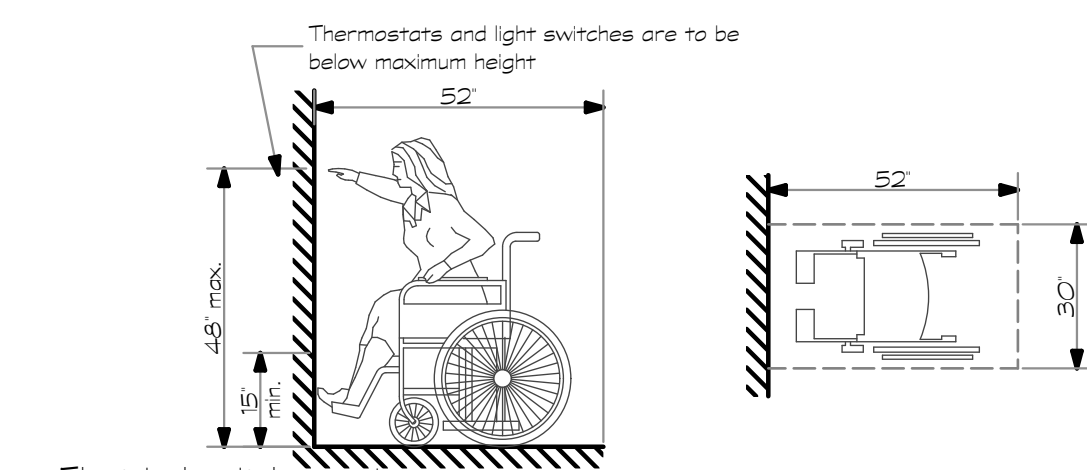
4 Nailing Detail
Scale: 1 1/2" = 1'-0"

5 Nailing Detail
Scale: 1 1/2" = 1'-0"

NOTE: ALTERNATE REINFORCING METHODS SHALL BE ACCEPTABLE AS APPROVED BY STRUCTURAL ENGINEER.

ACCESSIBILITY REQUIREMENTS FOR ALL GROUND FLOOR UNITS

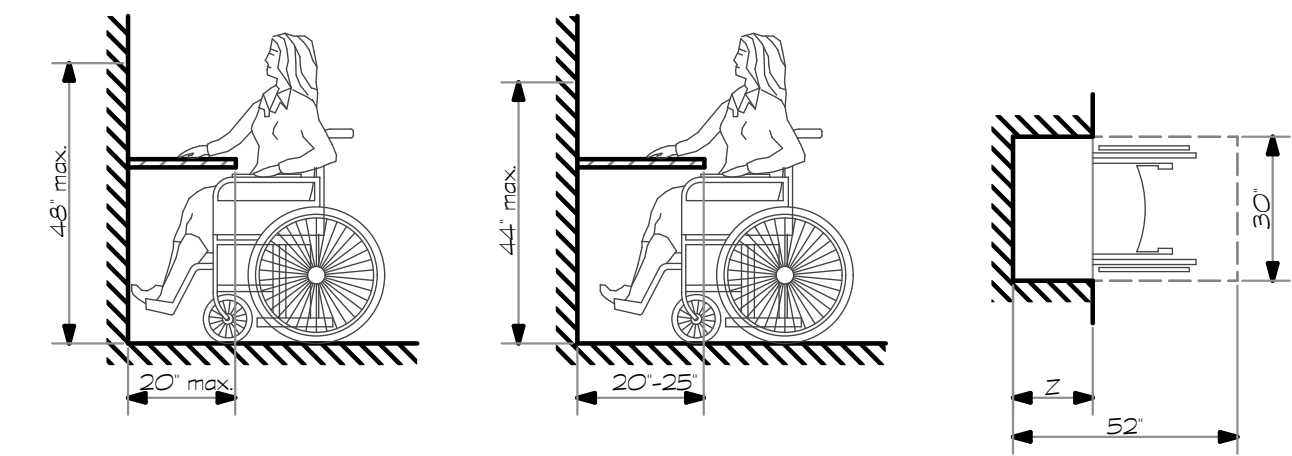
- I. **APPLICABLE CODES**
 - A. The project shall comply with the State of Florida and Federal Handicapped Accessibility Requirements, including:
 1. 1988 Fair Housing Act
 2. 1997 Georgia Accessibility Code
 3. International Building Code, 2012 Edition, with Georgia Amendments
 4. ANS 117.1-2003
 These requirements shall be complied with as they pertain to site accessibility, public and common use spaces and all ground floor units.
- II. **SITE & FACILITIES ACCESSIBILITY**
 - A. **SITE ACCESSIBLE ROUTE**
 1. Provide to building entries, common spaces and facilities, routes to comply with the requirements noted on Civil and Landscape drawings.
 - B. **COMMON USE FACILITIES**
 1. Accessory structures, including but not limited to, the Leasing Center, Mail Kiosk, Trash compactor, etc., shall be readily available to and usable by handicapped persons per the Federal, State and Municipal regulations indicated above.
- III. **DWELLING UNITS**
 - A. Doors into and within applicable dwelling units shall provide for a clear opening of 32" wide. Corridors and passageways shall have a minimum clear width of 36" and minimum clear headroom of 80".
 - B. Deadlock and lever hardware at entry doors to dwelling units shall be located no higher than 48" above finished floor.
 - C. **LEVEL CHANGES & THRESHOLDS**
 1. Changes in levels within the units that are between 1/4" and 1/2" shall be beveled with a slope no greater than 1:2. Changes in levels greater than 1/2" shall be ramped.
 2. Thresholds at all exterior doors, including sliding door tracks, shall not be more than 3/8" with changes beveled with a slope no greater than 1:2.
 3. The landing surfaces at the primary entry doors to the dwelling units shall not be more than 1/2" below the finished floor level of the dwelling unit. The finished surface of this area that is located immediately outside the door may be sloped up to 1/8" per foot for drainage.
 - D. **BATHROOMS**
 1. Where the door swings into a bathroom, a clear floor space of 30"x48" shall be provided within the bathroom that is clear of the path of the door swing. This clear space may include any knee space or toe space available below fixtures.
 2. Provide 2x8 solid wood blocking in stud walls as indicated in adjoining detail.
 3. Medicine cabinets, when provided, shall be mounted such that at least one usable shelf shall be no higher than 44" above finished floor.
 - E. **KITCHENS:**
 1. Cabinet and wall locations shall be held to provide a minimum clear dimension of 40" between all opposing countertops and/or appliance faces.
 2. A clear floor space of 30"x48" shall be provided at each appliance or fixture to allow a parallel or forward approach.
 - F. **LIGHT SWITCHES ELECTRICAL OUTLETS & ENVIRONMENTAL CONTROLS:**
 1. Light switches shall be positioned so that the center of switch is no higher than 44" above finished floor.
 2. Electrical outlets shall be positioned so that center of outlet 18" above finished floor and the maximum height is 44" above finished floor (when above counters).
 3. Thermostats and other environmental controls shall be positioned so that the center of the operative controls are no higher than 44" above finished floor.



Thermostats and light switches are to be below maximum height

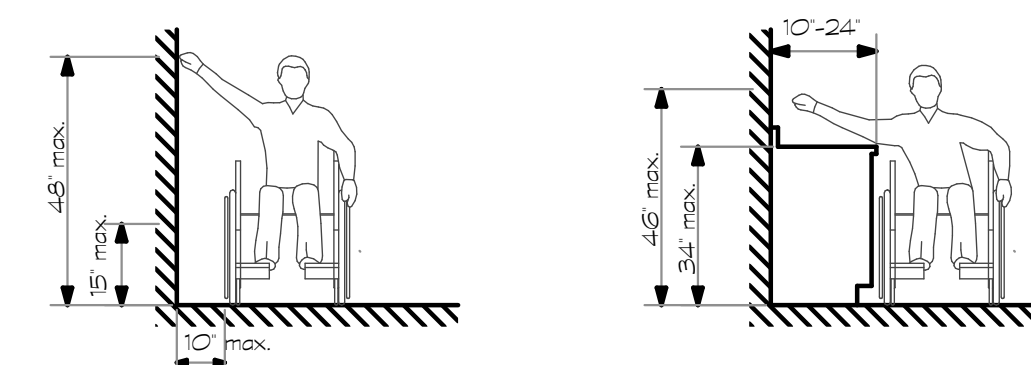
Electrical switches and outlets to be no higher than 42" in height at kitchens and bathrooms.

Unobstructed Forward Reach



Obstructed High Forward Reach

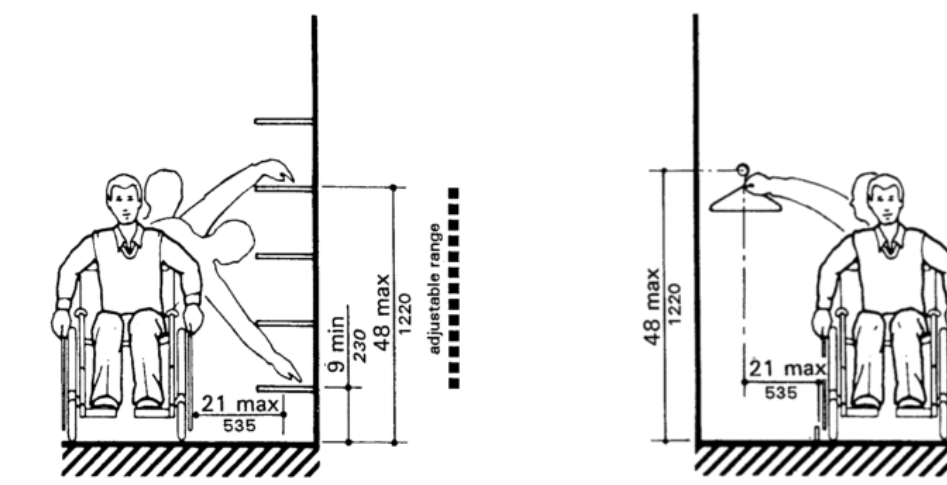
Forward Reach



Unobstructed Side Reach

Obstructed High Side Reach

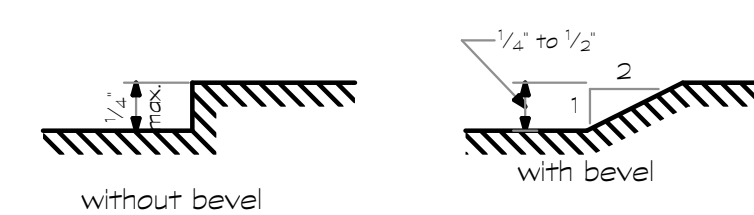
Side Reach



Shelves

Closets

Storage Shelves & Closets



without bevel

with bevel

Maximum Change in Level

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

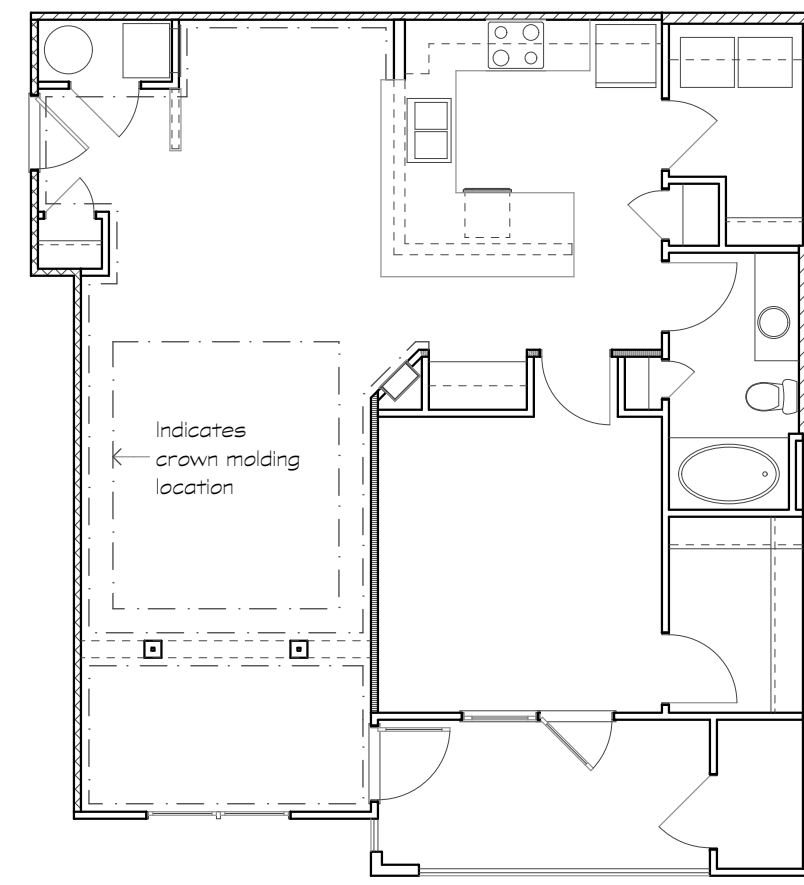
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Accessibility Diagrams

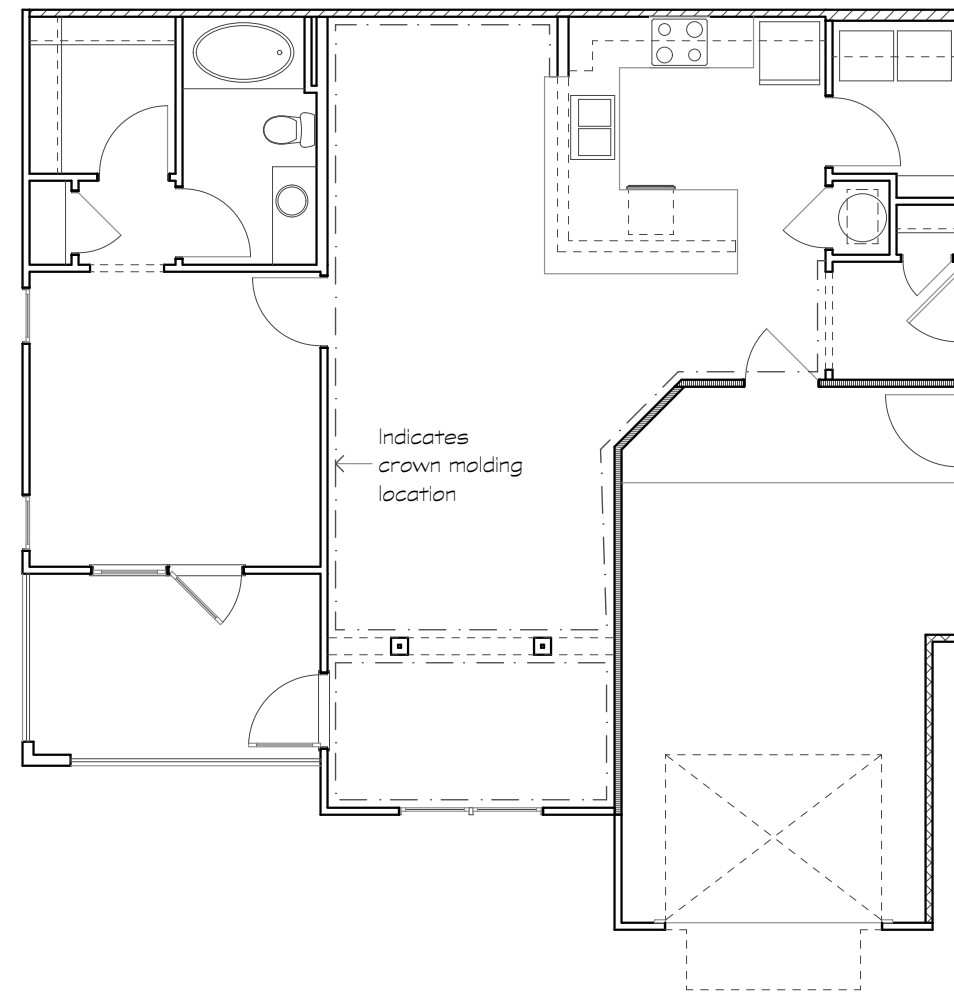
Date:
September 30, 2022

Sheet Number:

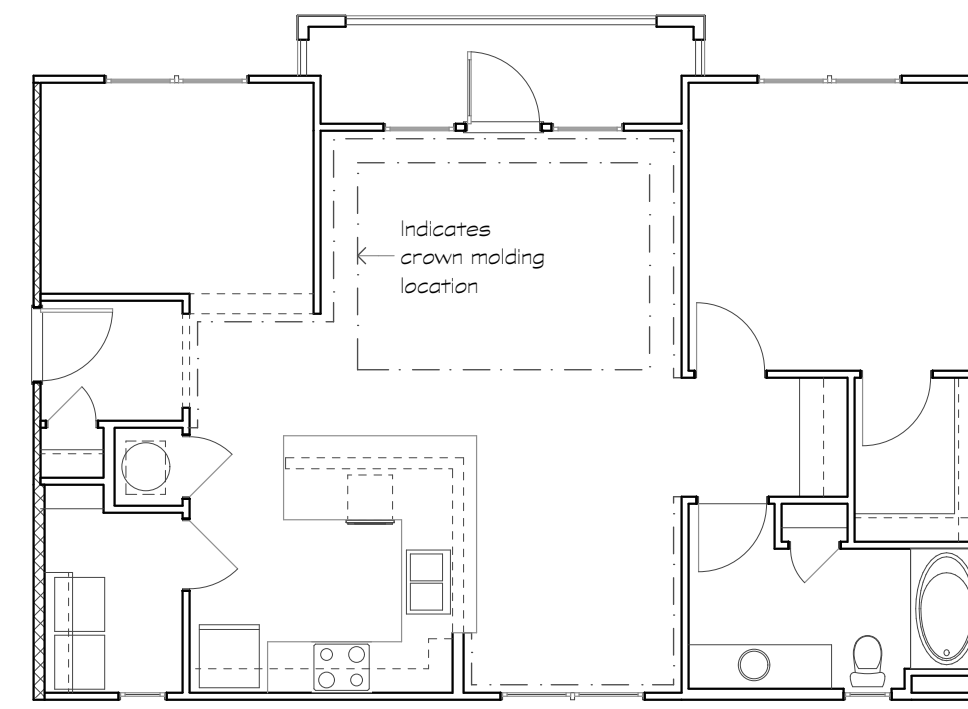
A4.14



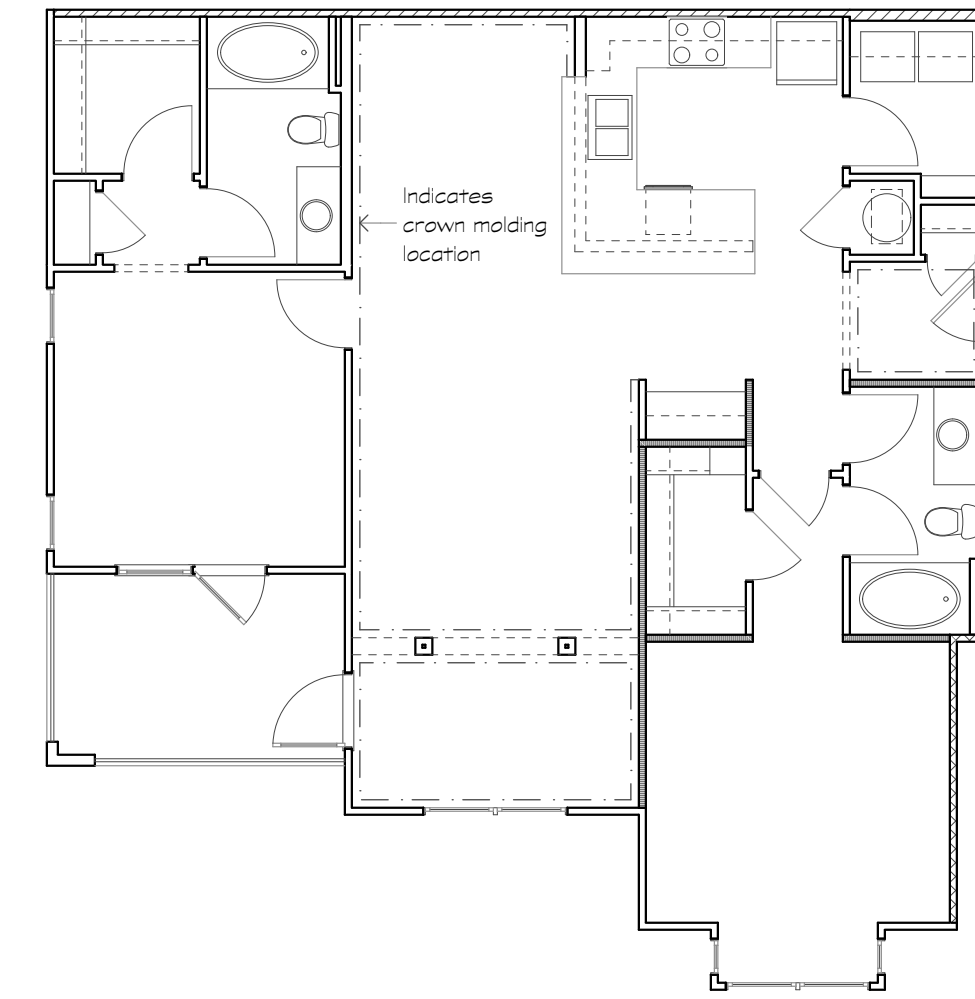
1 Unit A1
Scale: 1/8" = 1'-0"



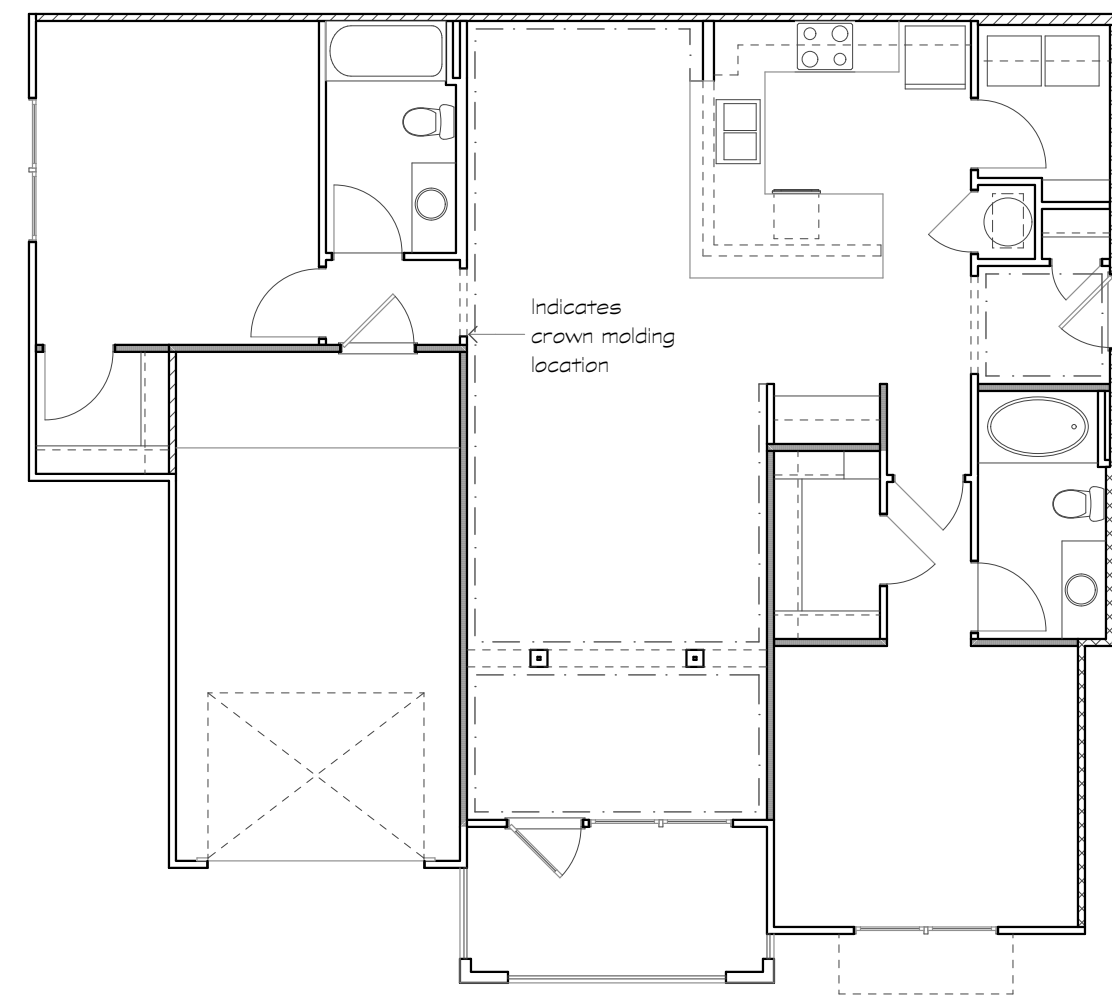
2 Unit A2
Scale: 1/8" = 1'-0"



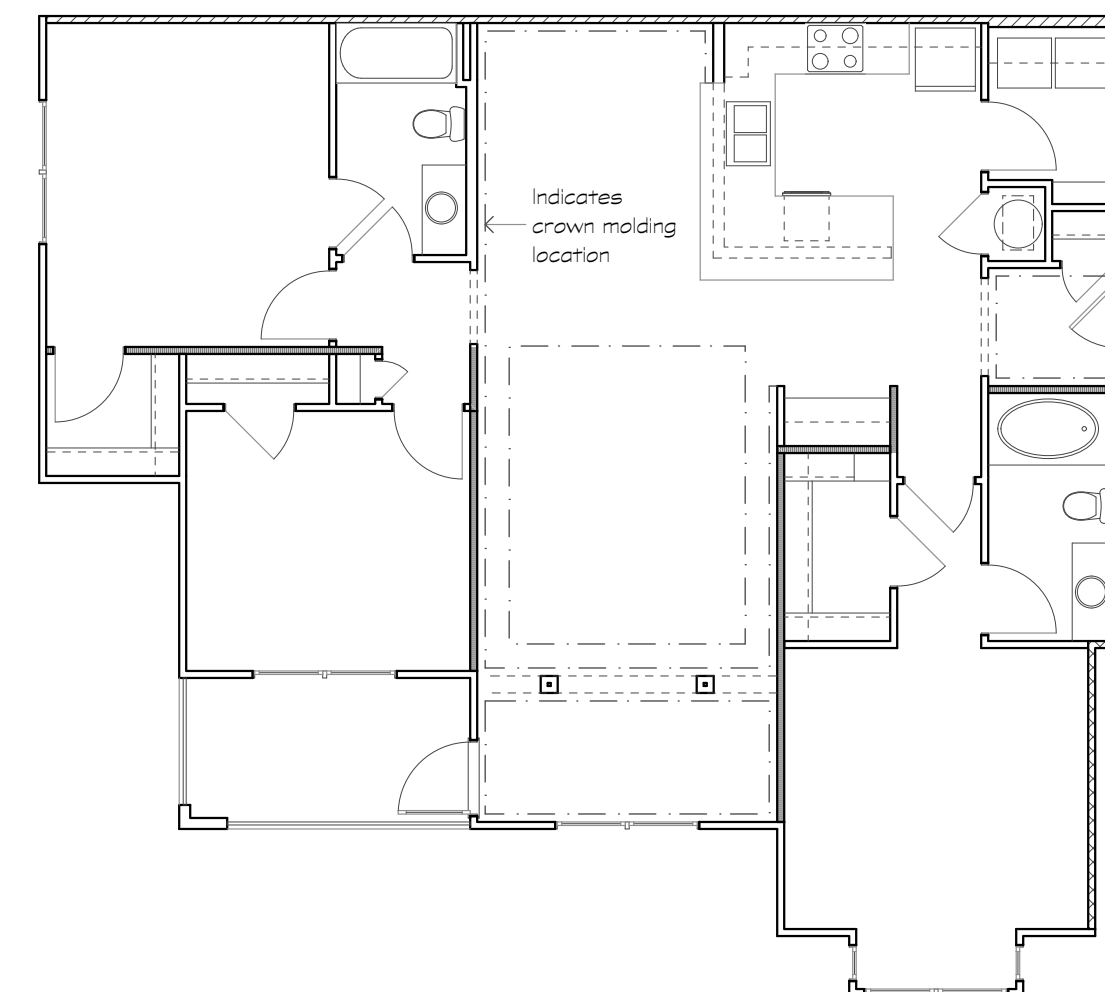
3 Unit A3
Scale: 1/8" = 1'-0"



4 Unit B1
Scale: 1/8" = 1'-0"



5 Unit B2
Scale: 1/8" = 1'-0"



6 Unit C1
Scale: 1/8" = 1'-0"

Revisions:

Date: Description:

Date	Description

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Unit Plans, Crown Molding Locations

Date:
September 30, 2022

Sheet Number:

A4.15

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

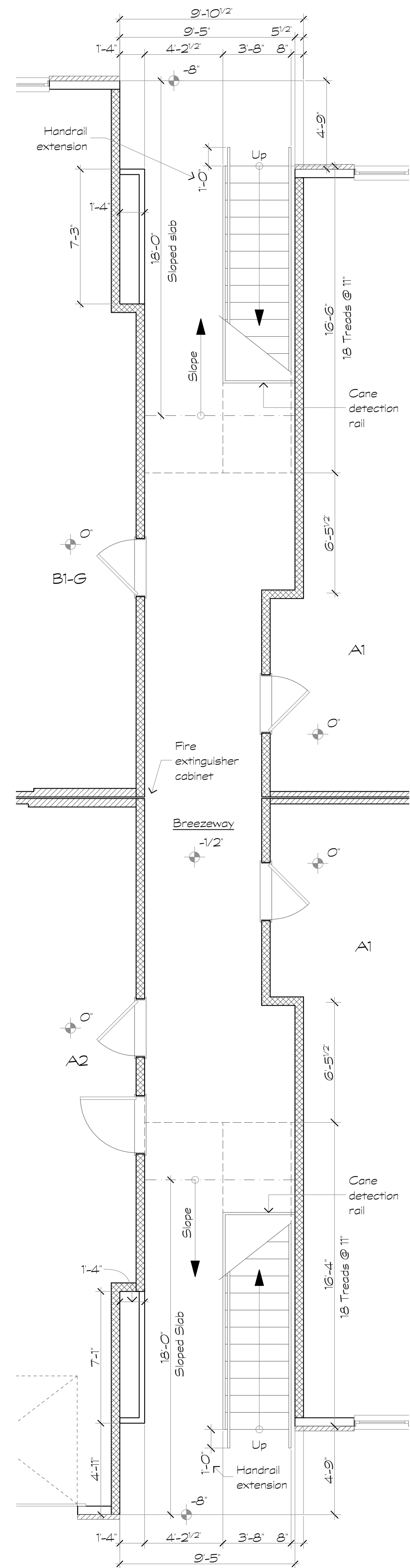
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Breezeway Plans,
Building Type I

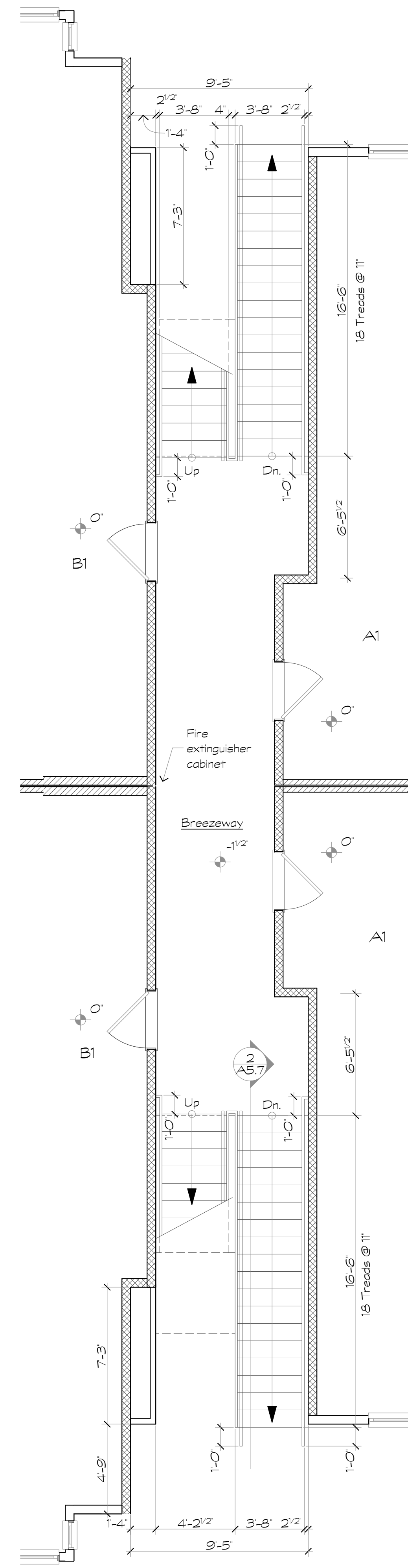
Date:
September 30, 2022

Sheet Number:

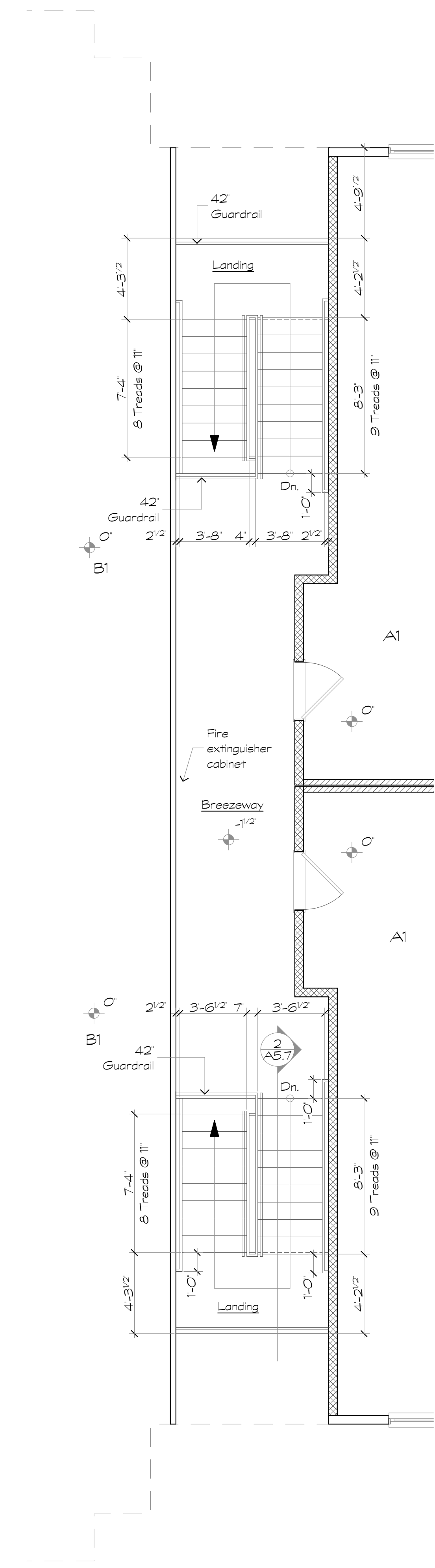
A5.1



1 Bldg. Type I - Breezeway Plan
Scale: 1/4" = 1'-0"
First Level



2 Bldg. Type I - Breezeway Plan
Scale: 1/4" = 1'-0"
Second Level



3 Bldg. Type I - Breezeway Plan
Scale: 1/4" = 1'-0"
Third Level

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

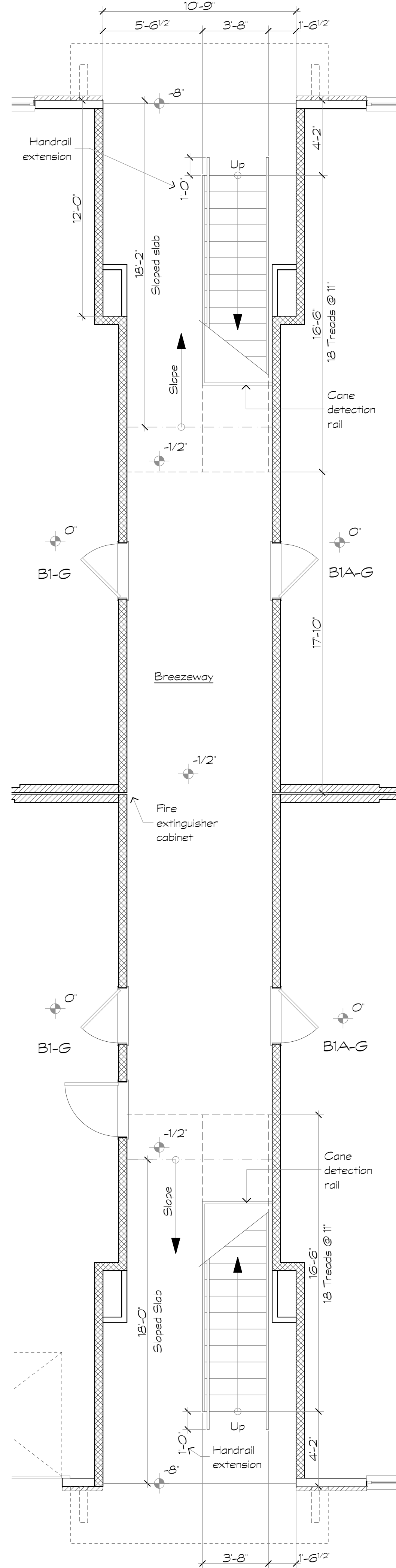
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Breezeway Plans,
Building Types II

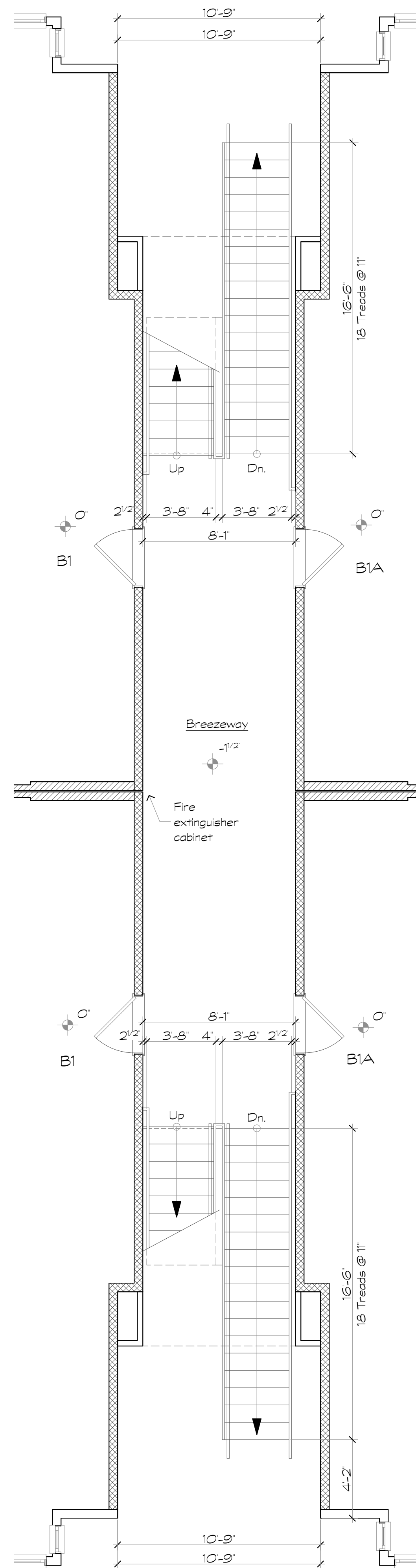
Date:
September 30, 2022

Sheet Number:

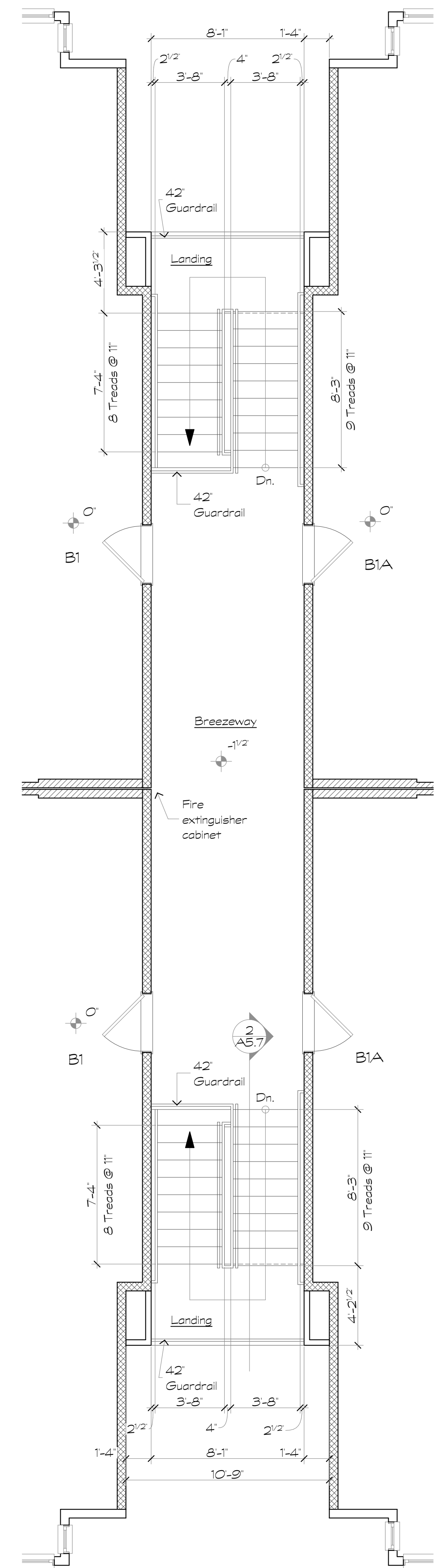
A5.2



1 Bldg. Type II - Breezeway Plan
Scale: 1/4" = 1'-0"
First Level



2 Bldg. Type II - Breezeway Plan
Scale: 1/4" = 1'-0"
Second Level



3 Bldg. Type II - Breezeway Plan
Scale: 1/4" = 1'-0"
Third Level

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

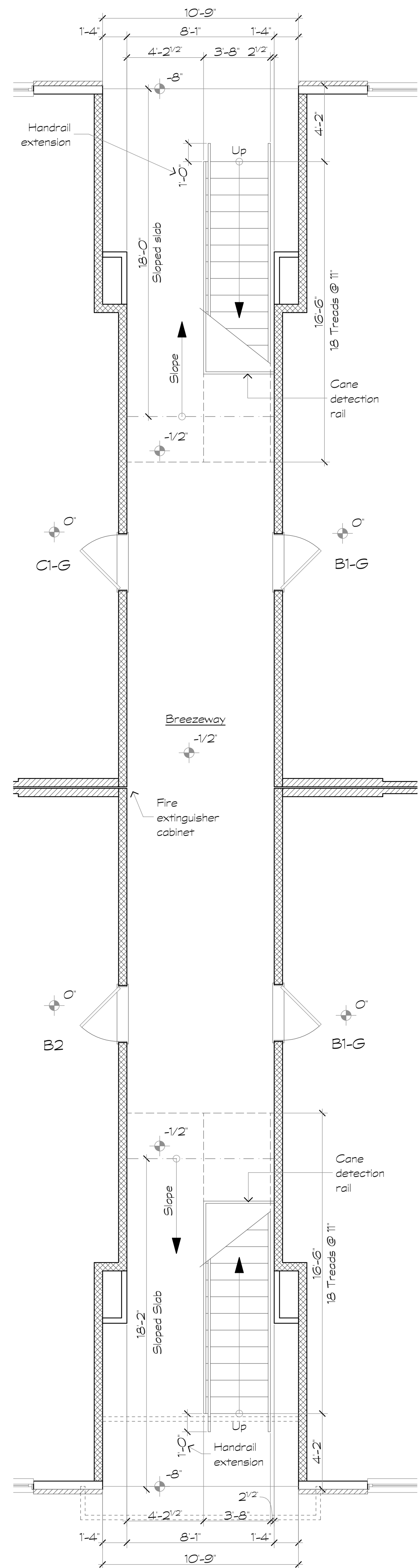
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Breezeway Plans,
Building Type III

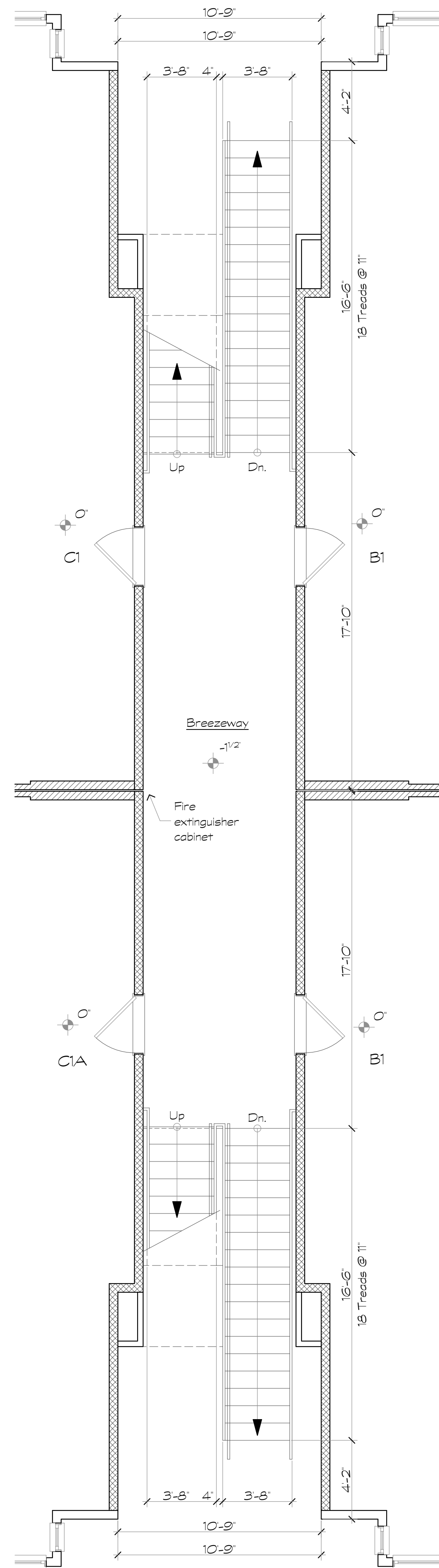
Date:
September 30, 2022

Sheet Number:

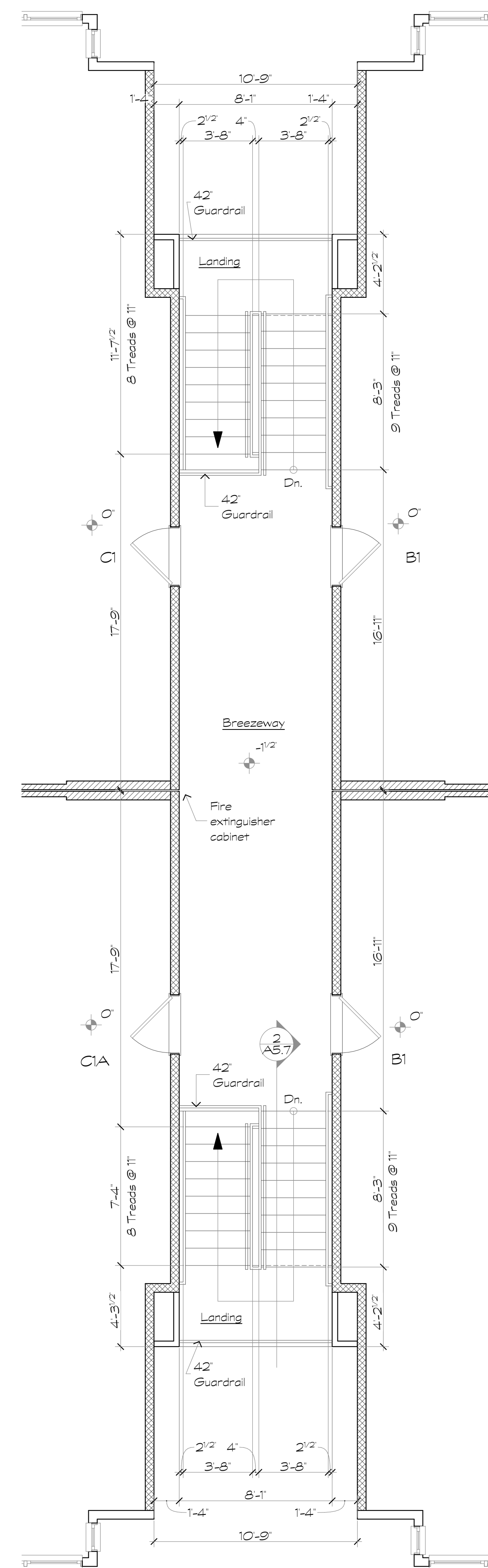
A5.3



1 Bldg. Type III - Breezeway Plan
Scale: 1/4" = 1'-0" First Level



2 Bldg. Type III - Breezeway Plan
Scale: 1/4" = 1'-0" Second Level



3 Bldg. Type III - Breezeway Plan
Scale: 1/4" = 1'-0" Third Level

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

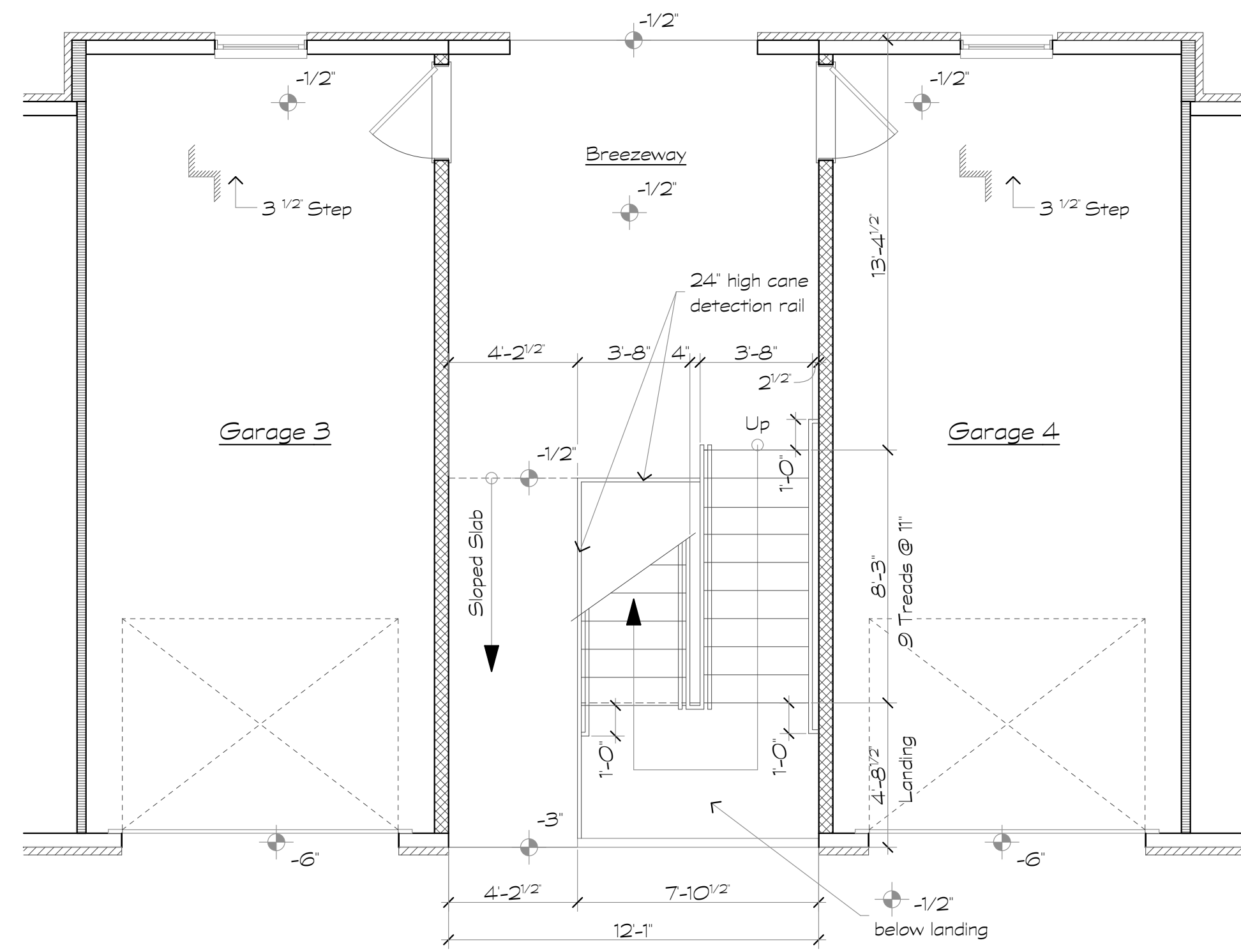
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Breezeway Plans,
Building Type IV

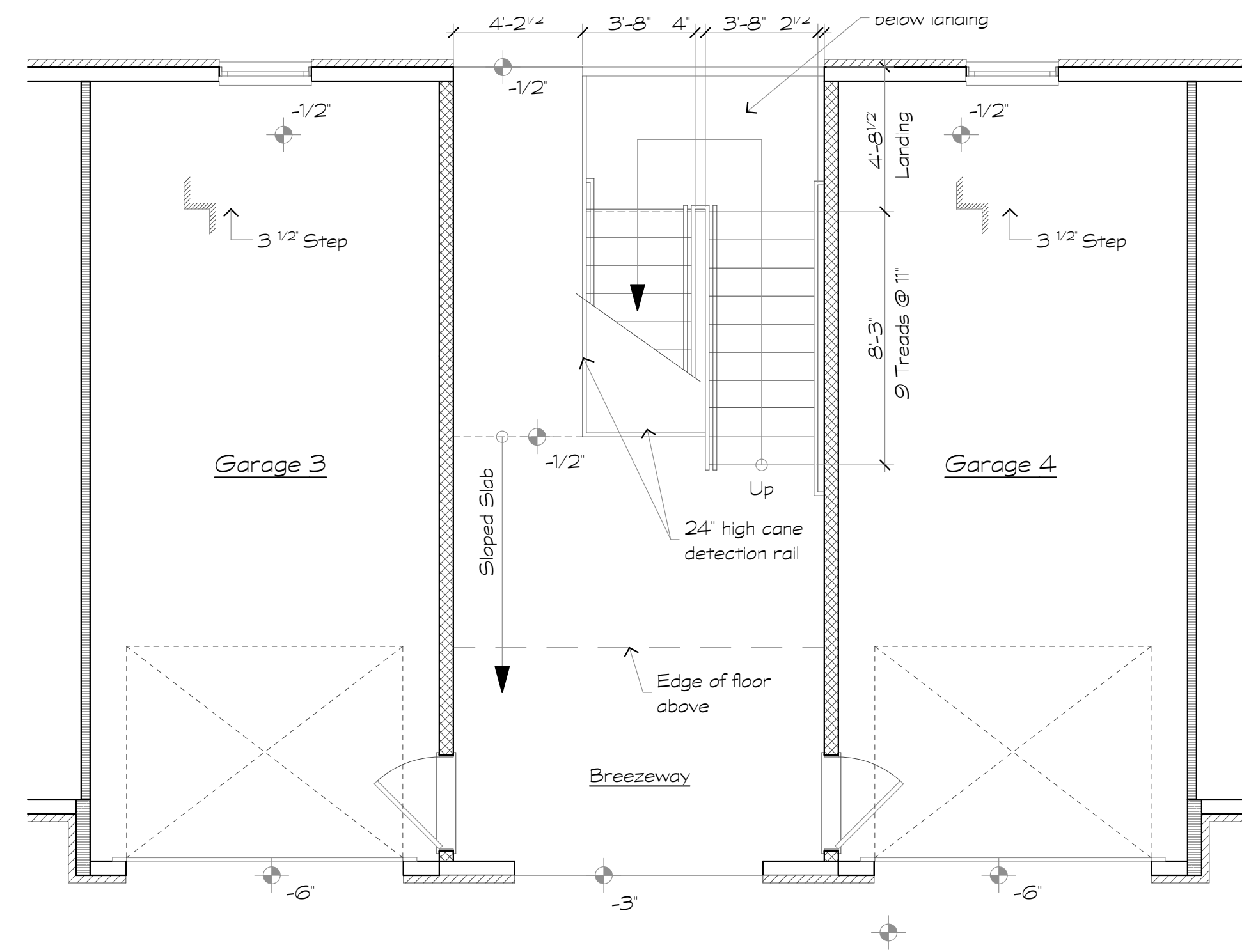
Date:
September 30, 2022

Sheet Number:

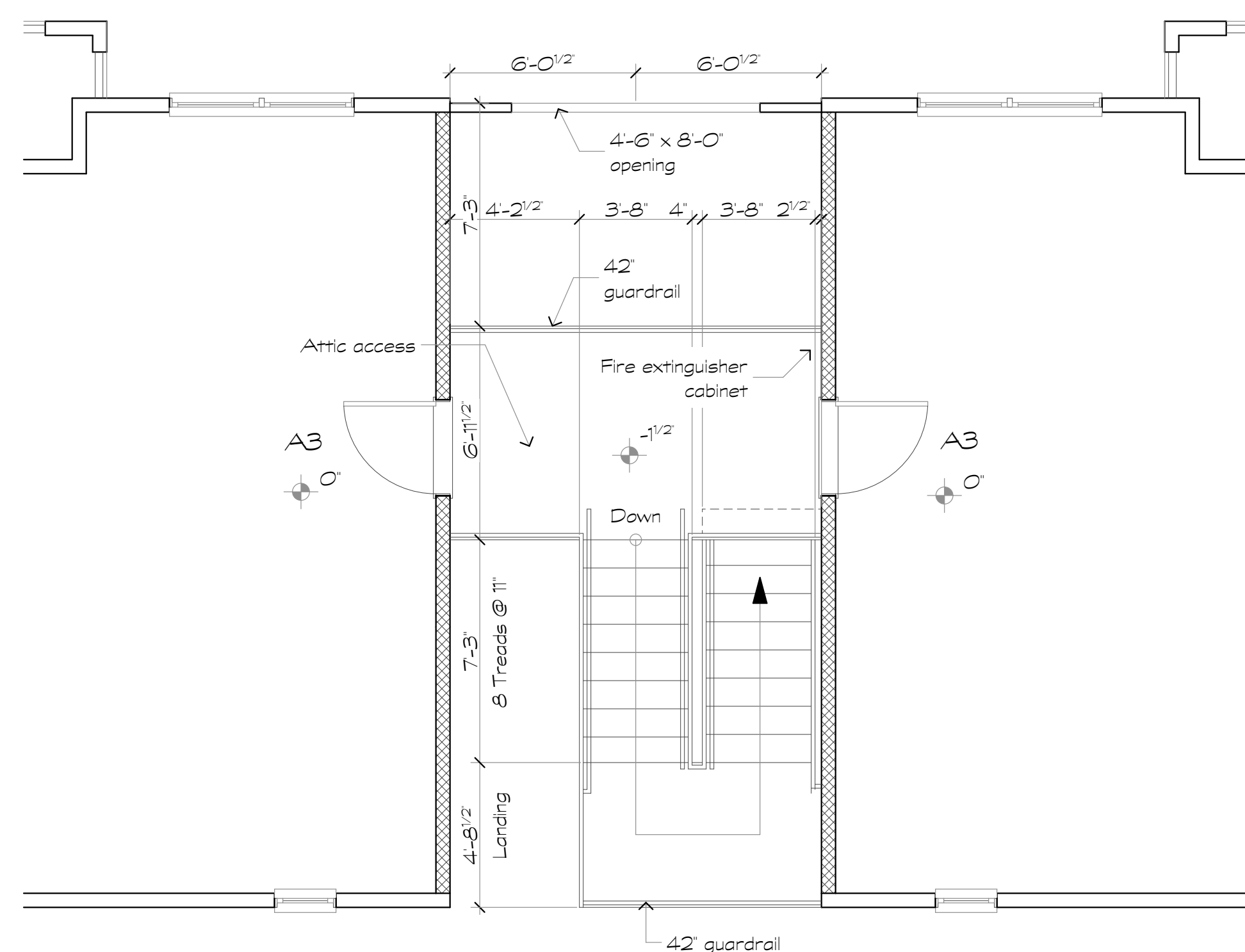
A5.4



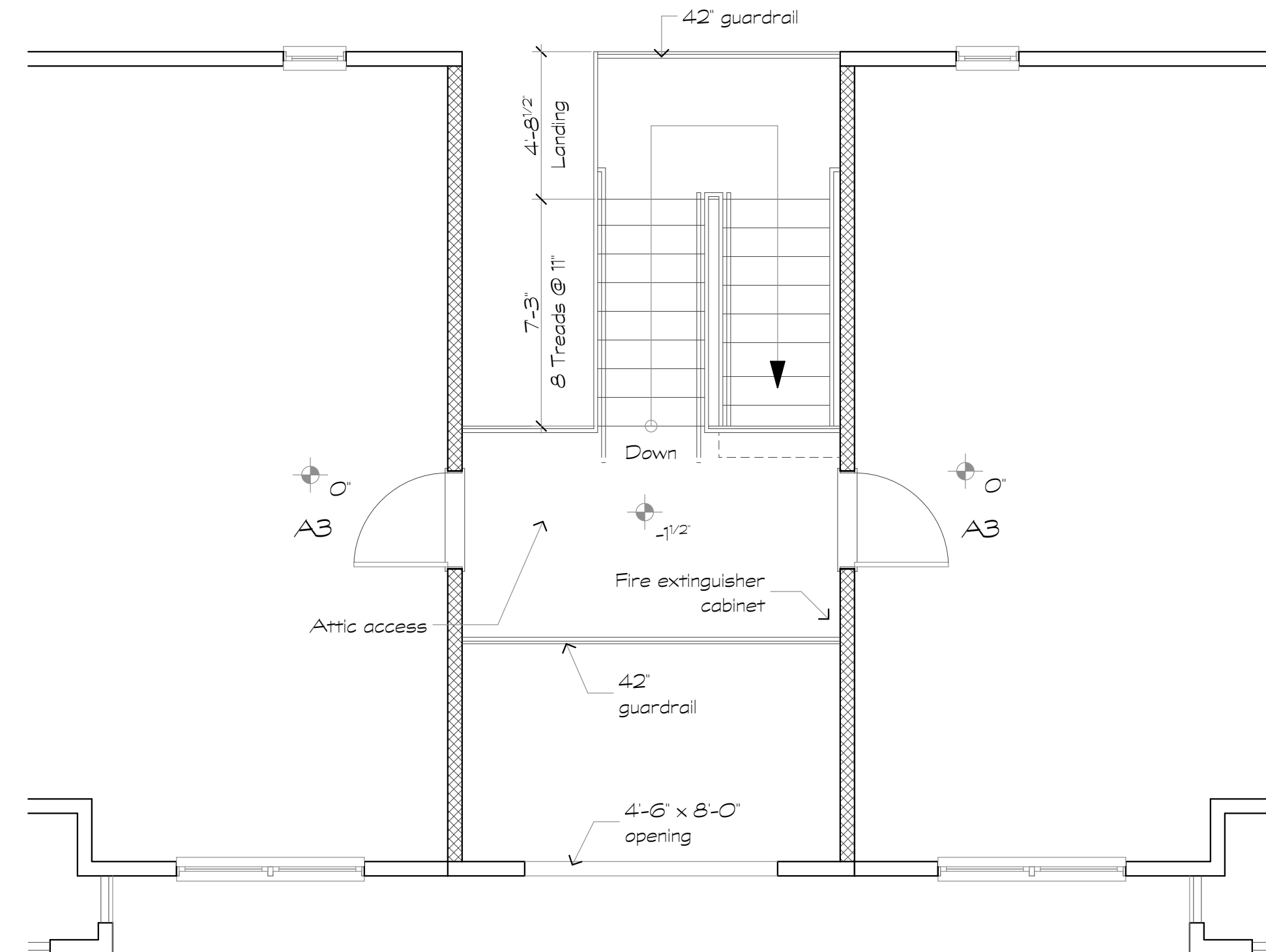
1 Bldg. Type IV - Breezeway Plan
Scale: 1/4" = 1'-0"
First Level



3 Bldg. Type IVa - Breezeway Plan
Scale: 1/4" = 1'-0"
First Level



2 Bldg. Type IV - Breezeway Plan
Scale: 1/4" = 1'-0"
Second Level



4 Bldg. Type IVa - Breezeway Plan
Scale: 1/4" = 1'-0"
First Level

Revisions:

Date: Description:

Construction Documents

Lullwater at
Ft. Clarke
Apartments

Ft. Clarke, Florida

A Residential
Development by: Ft.
Clarke Apartments
Residences, LLC

This drawing as an instrument of
services, is and shall remain the
property of SGN+A and shall not
be reproduced, published or used
in any way without permission of
SGN+A, Inc.

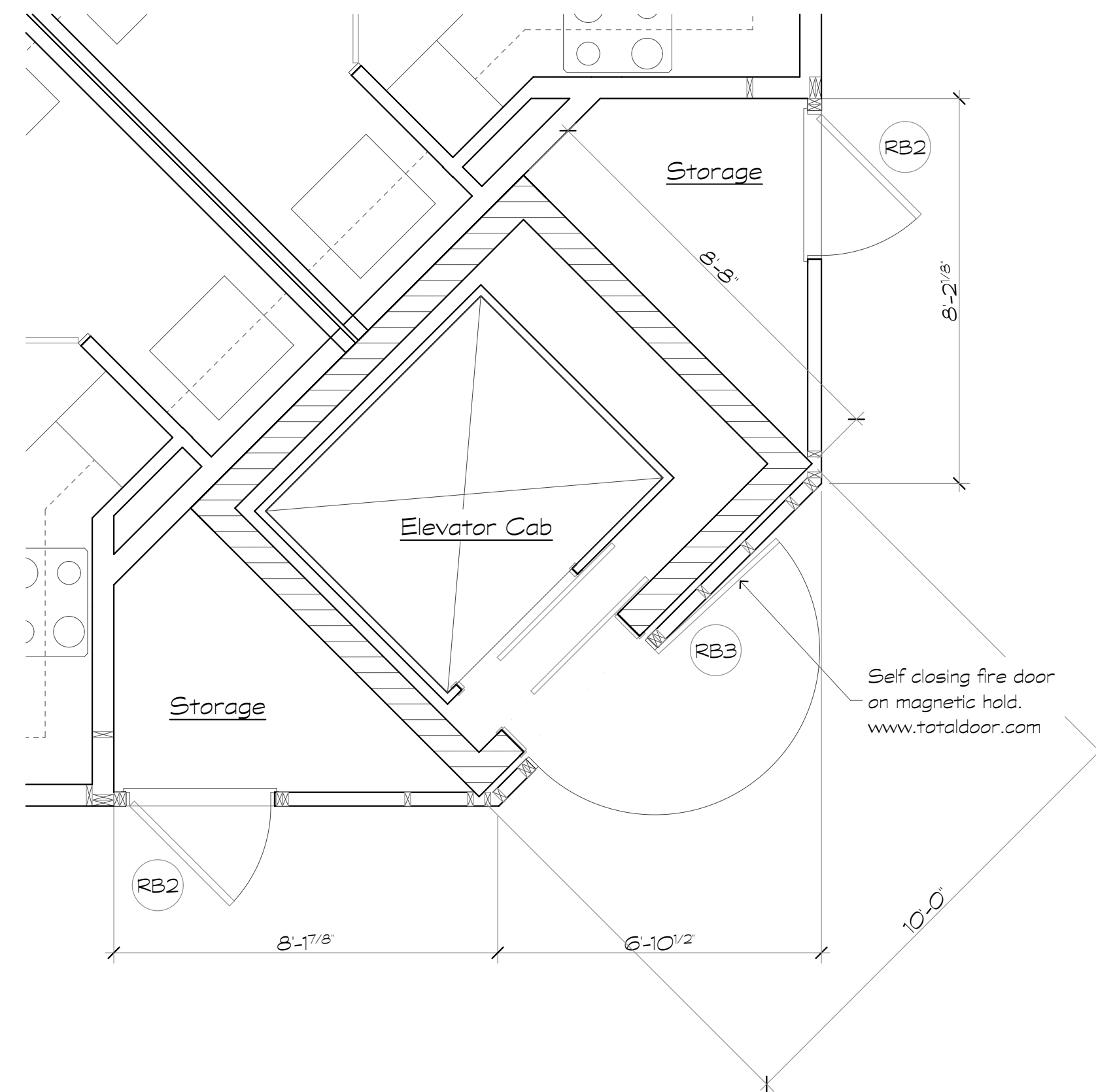
Sheet Title:
Breezeway Plans,
Building Type V

Date:
September 30, 2022

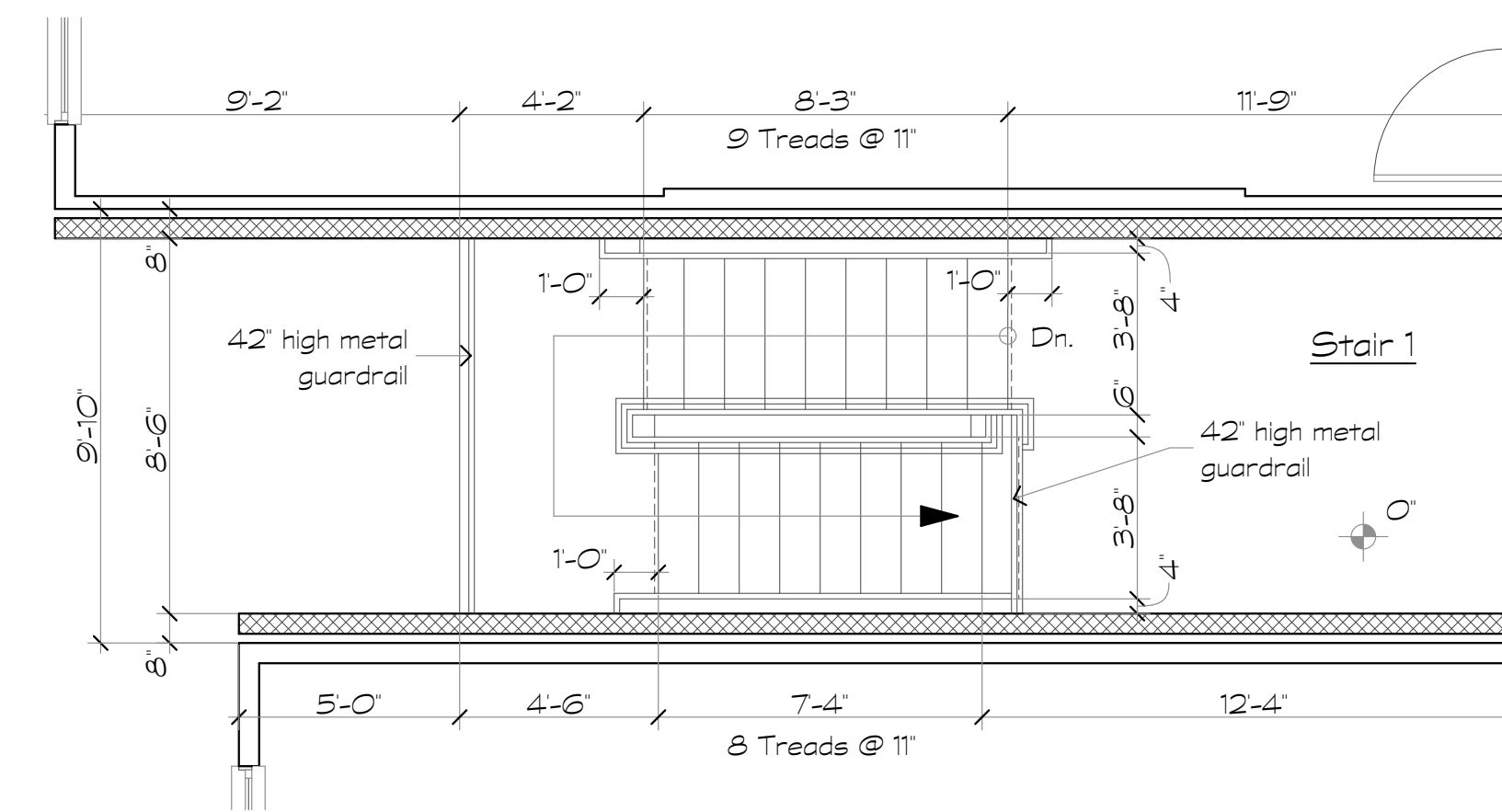
Sheet Number:

A5.5

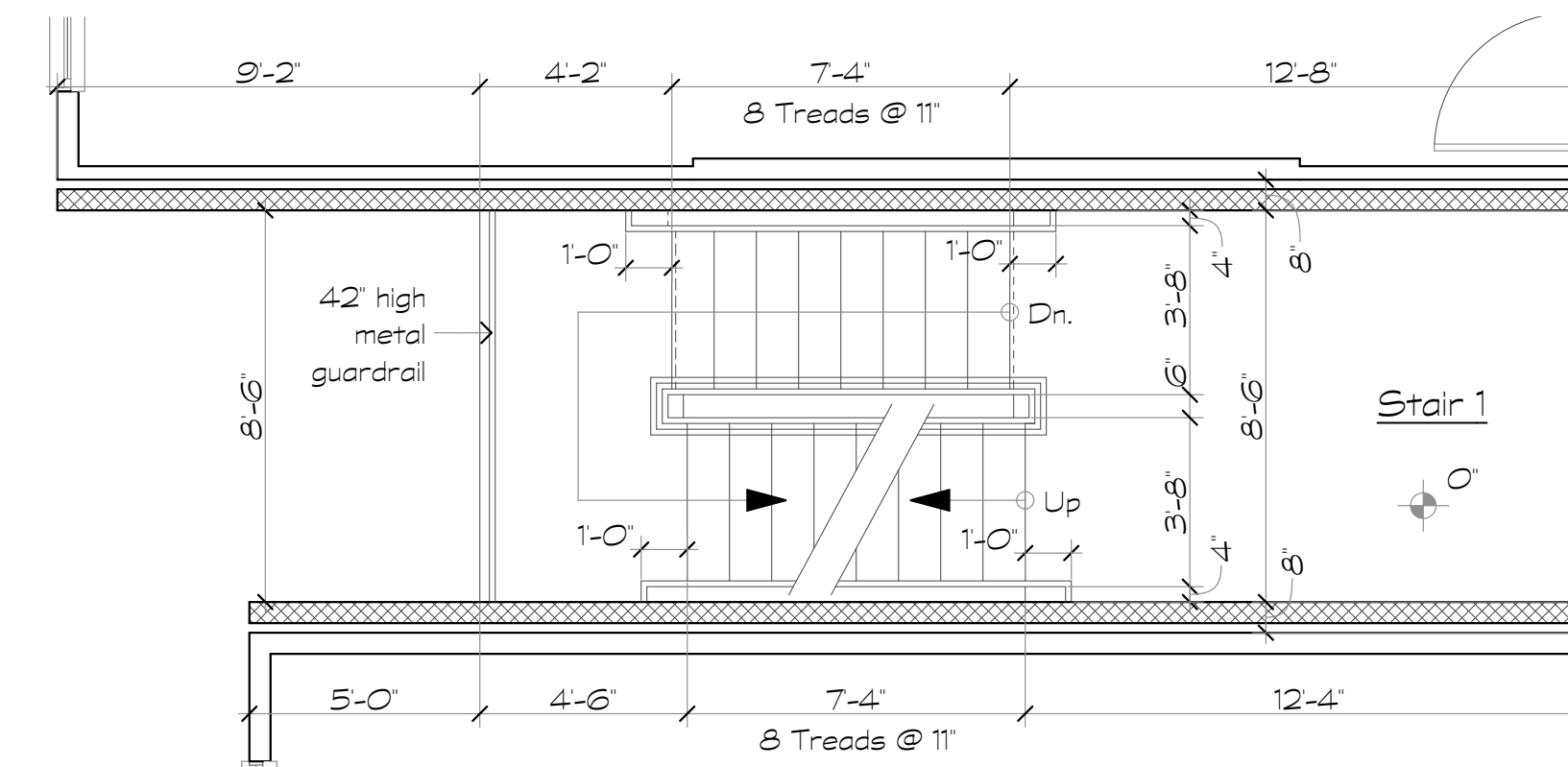
Not Released for Construction



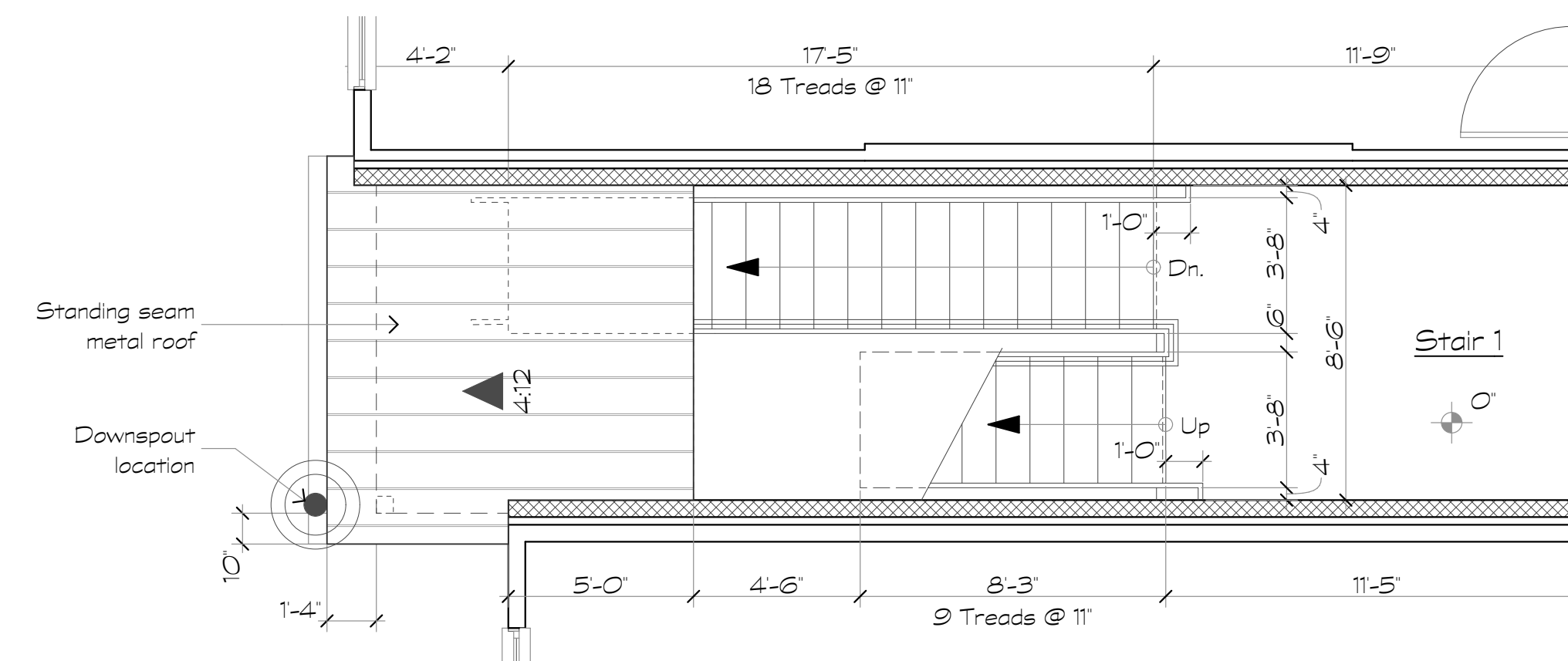
5 Elevator Plan View
Scale: 3/8" = 1'-0"



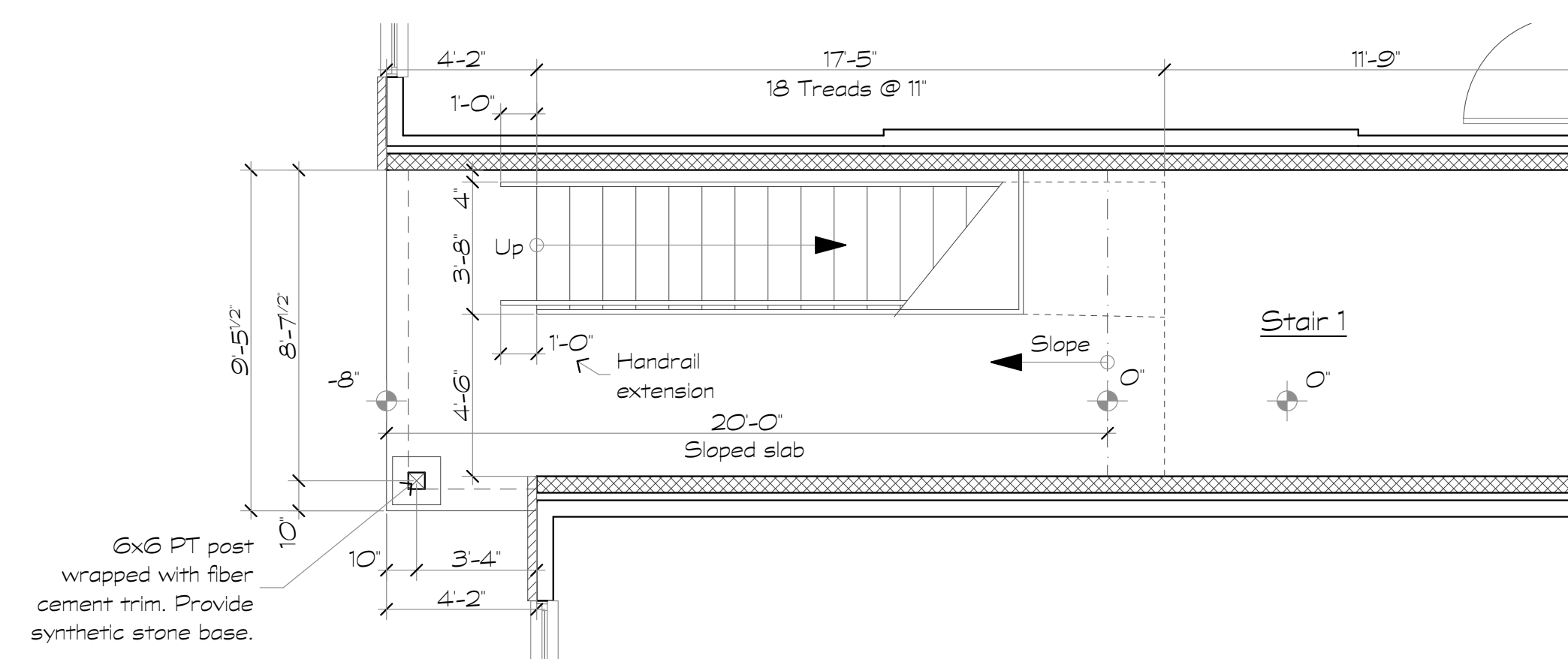
4 Bldg. Type V - Stair 1
Scale: 1/4" = 1'-0" Fourth Level



3 Bldg. Type V - Stair 1
Scale: 1/4" = 1'-0" Third Level



2 Bldg. Type V - Stair 1
Scale: 1/4" = 1'-0" Second Level



1 Bldg. Type V - Stair 1
Scale: 1/4" = 1'-0" First Level

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

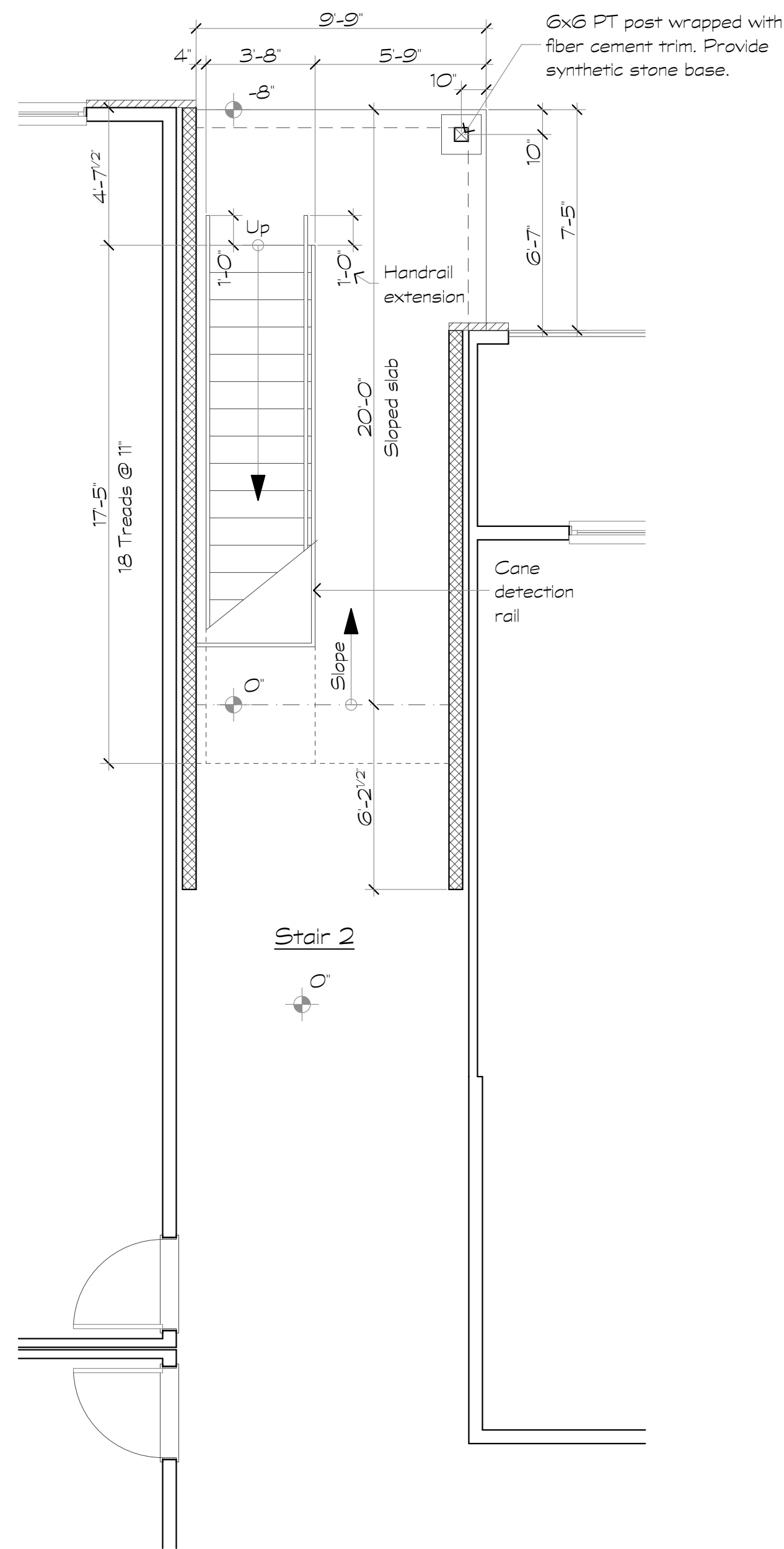
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Breezeway Plans,
Building Type V

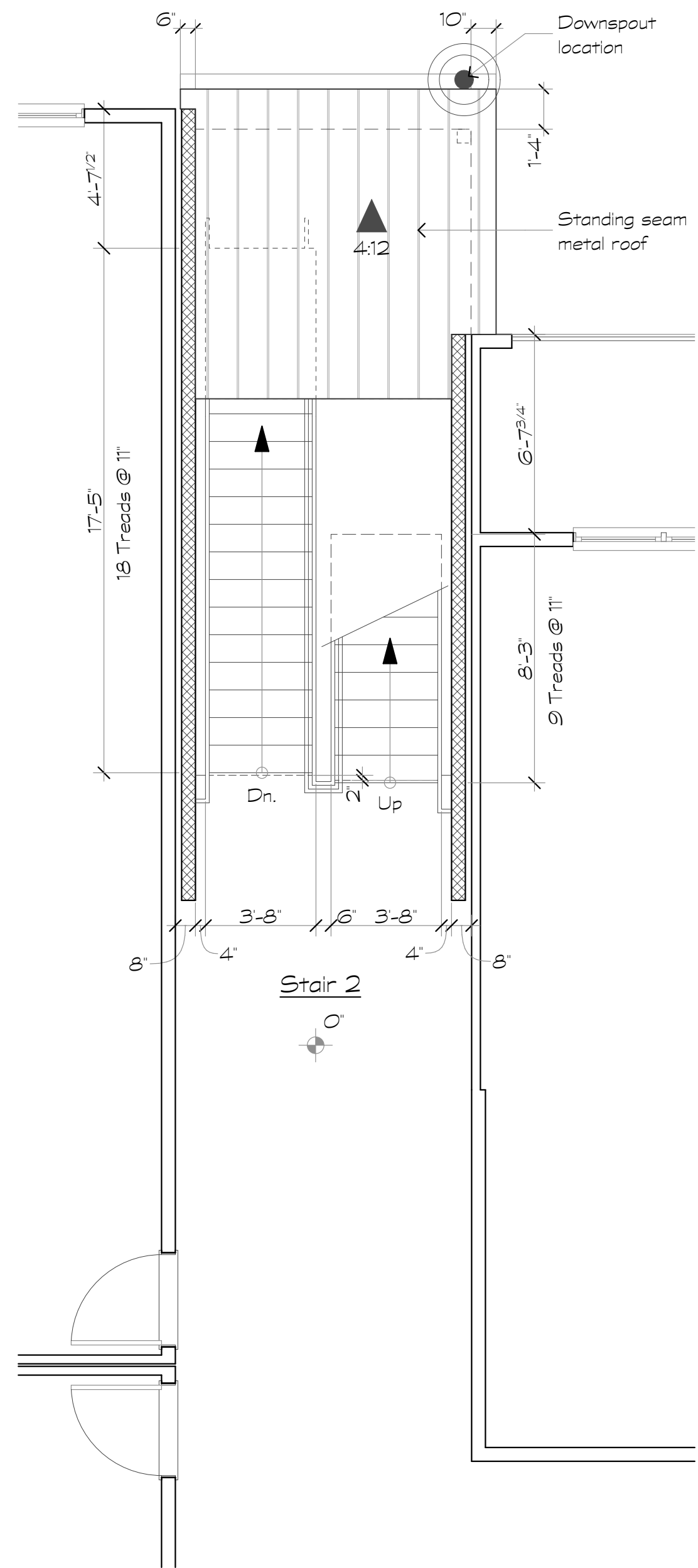
Date:
September 30, 2022

Sheet Number:

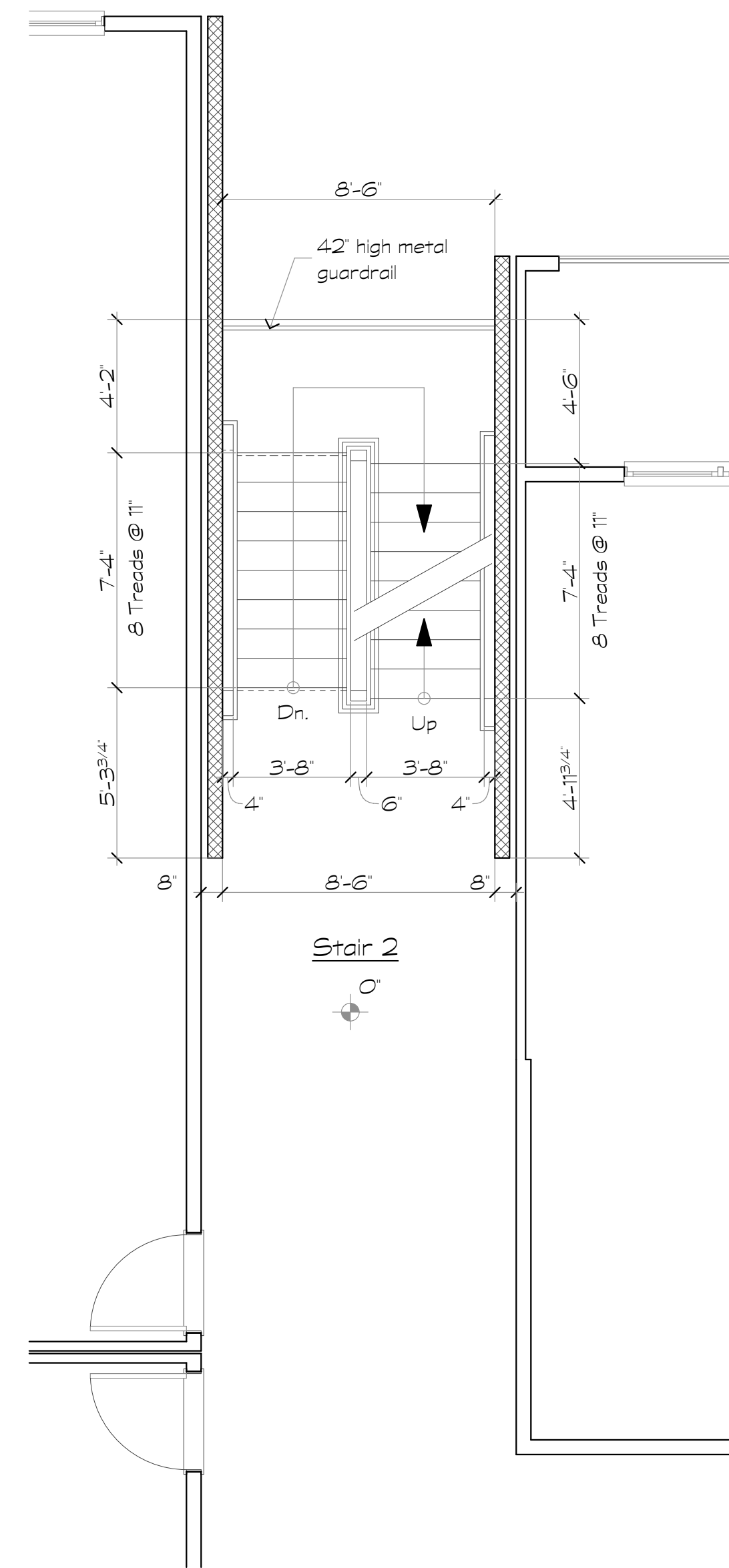
A5.6



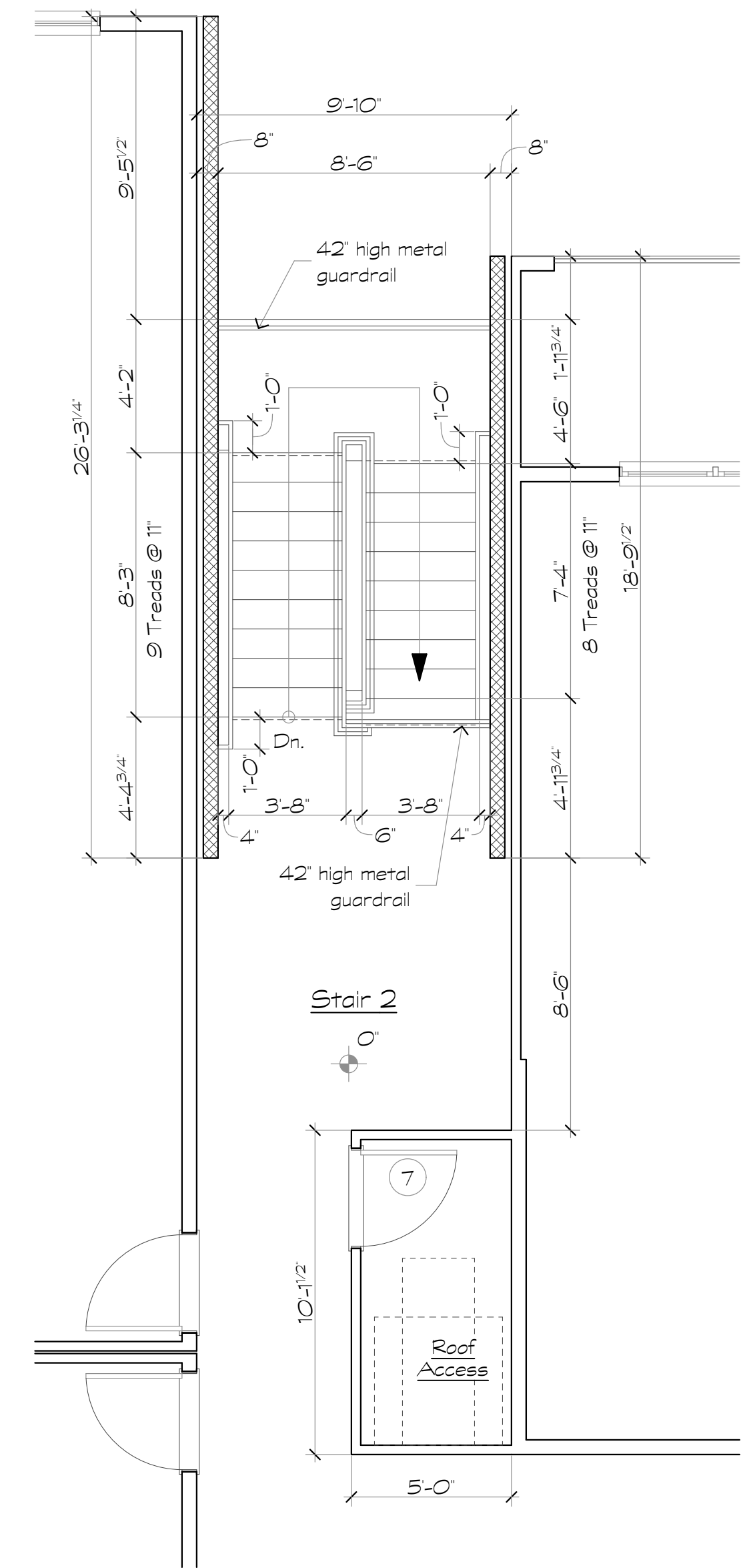
1 Bldg. Type V - Stair 2
Scale: 1/4" = 1'-0" First Level



2 Bldg. Type V - Stair 2
Scale: 1/4" = 1'-0" Second Level



3 Bldg. Type V - Stair 2
Scale: 1/4" = 1'-0" Third Level



4 Bldg. Type V - Stair 2
Scale: 1/4" = 1'-0" Fourth Level

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

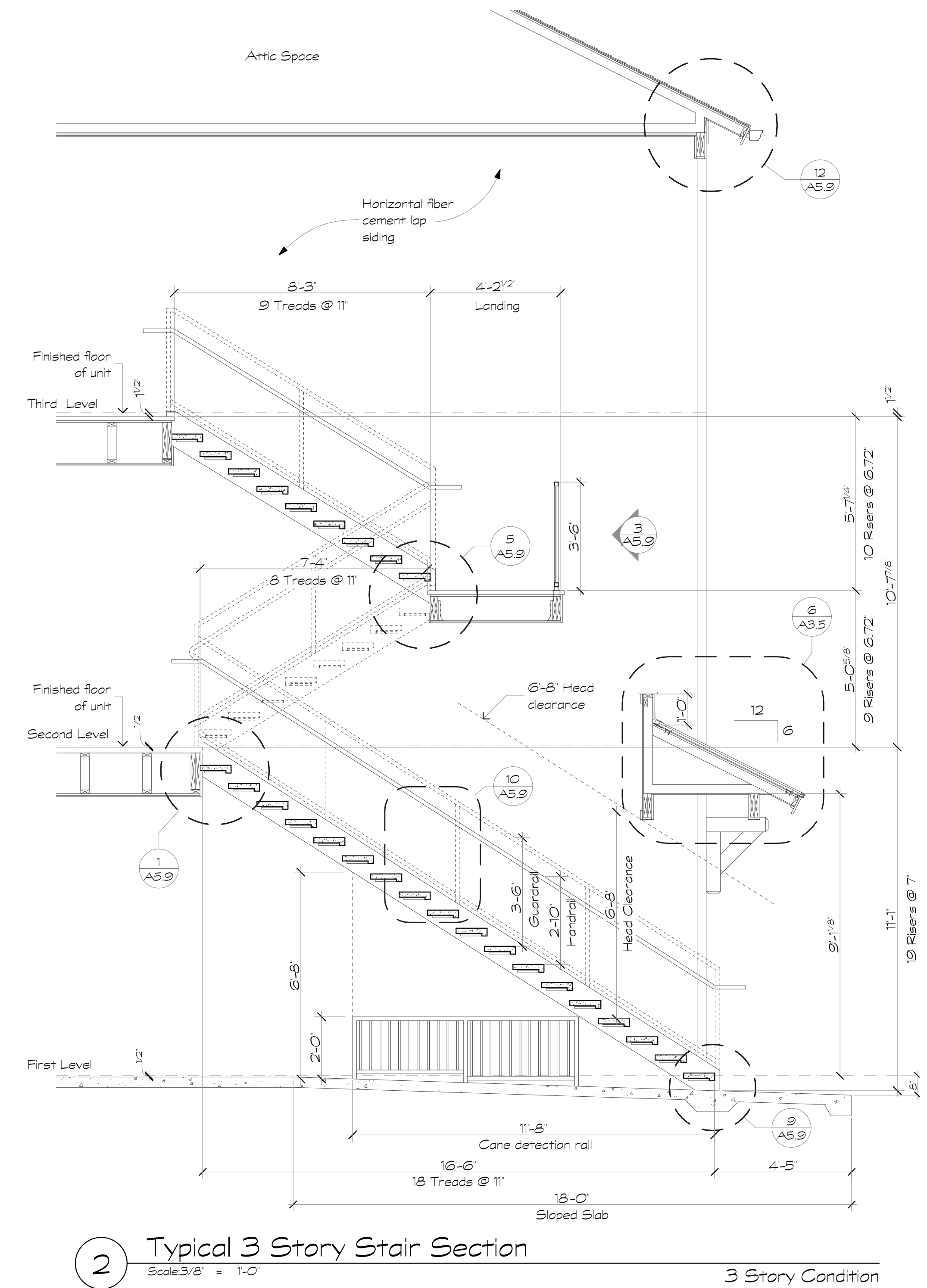
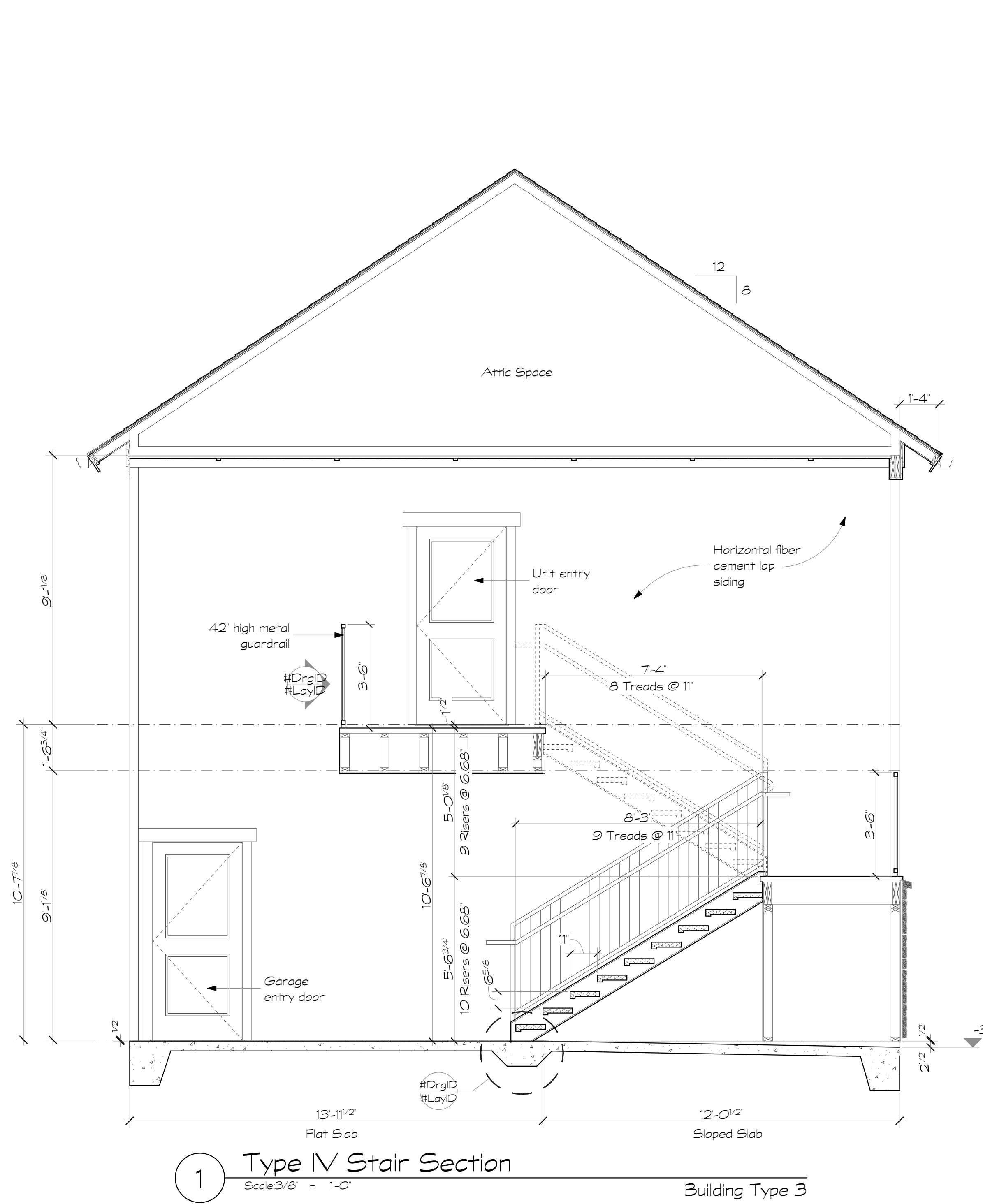
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Stair Sections

Date:
September 30, 2022

Sheet Number:

A5.7



Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

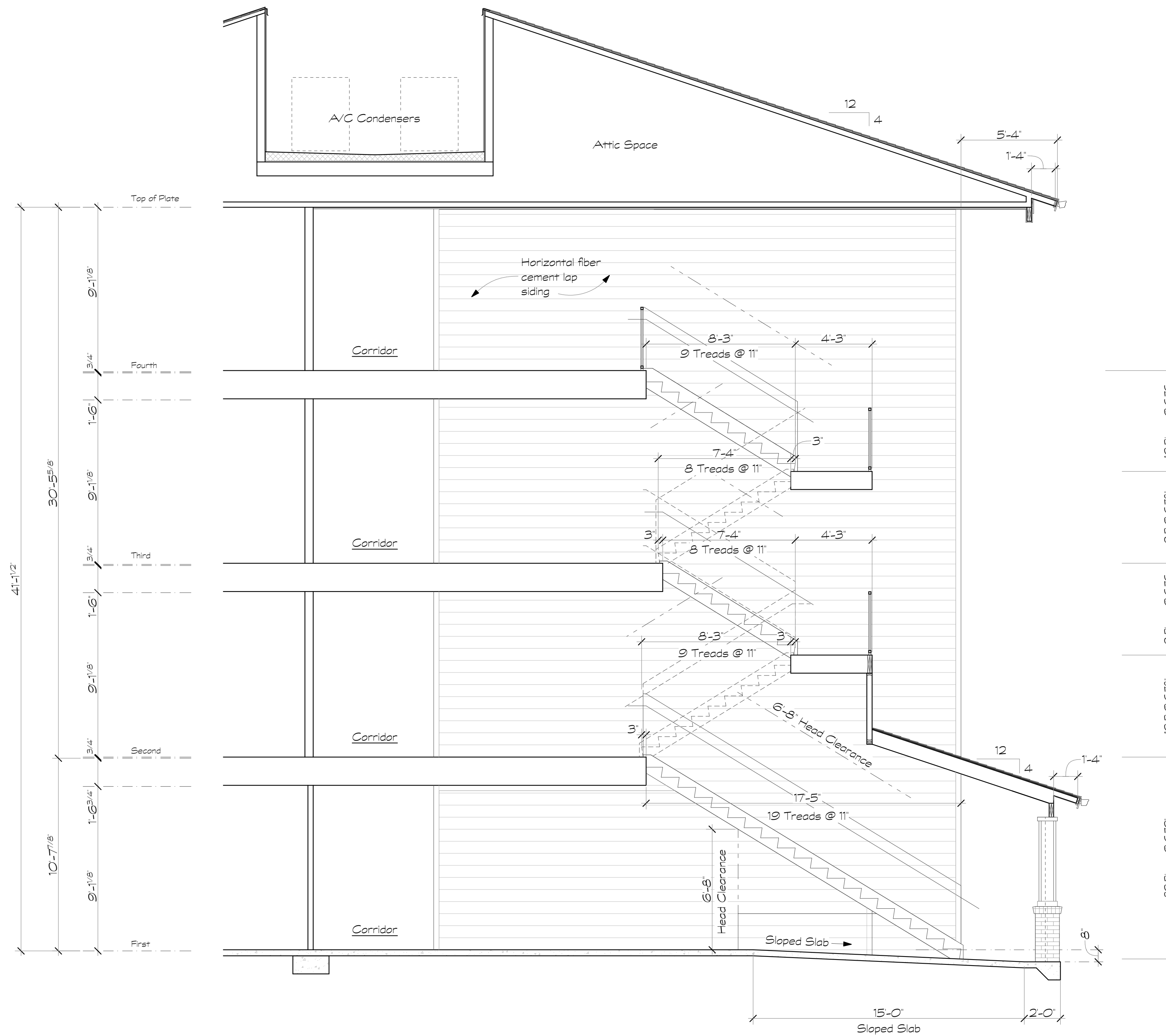
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Stair Sections

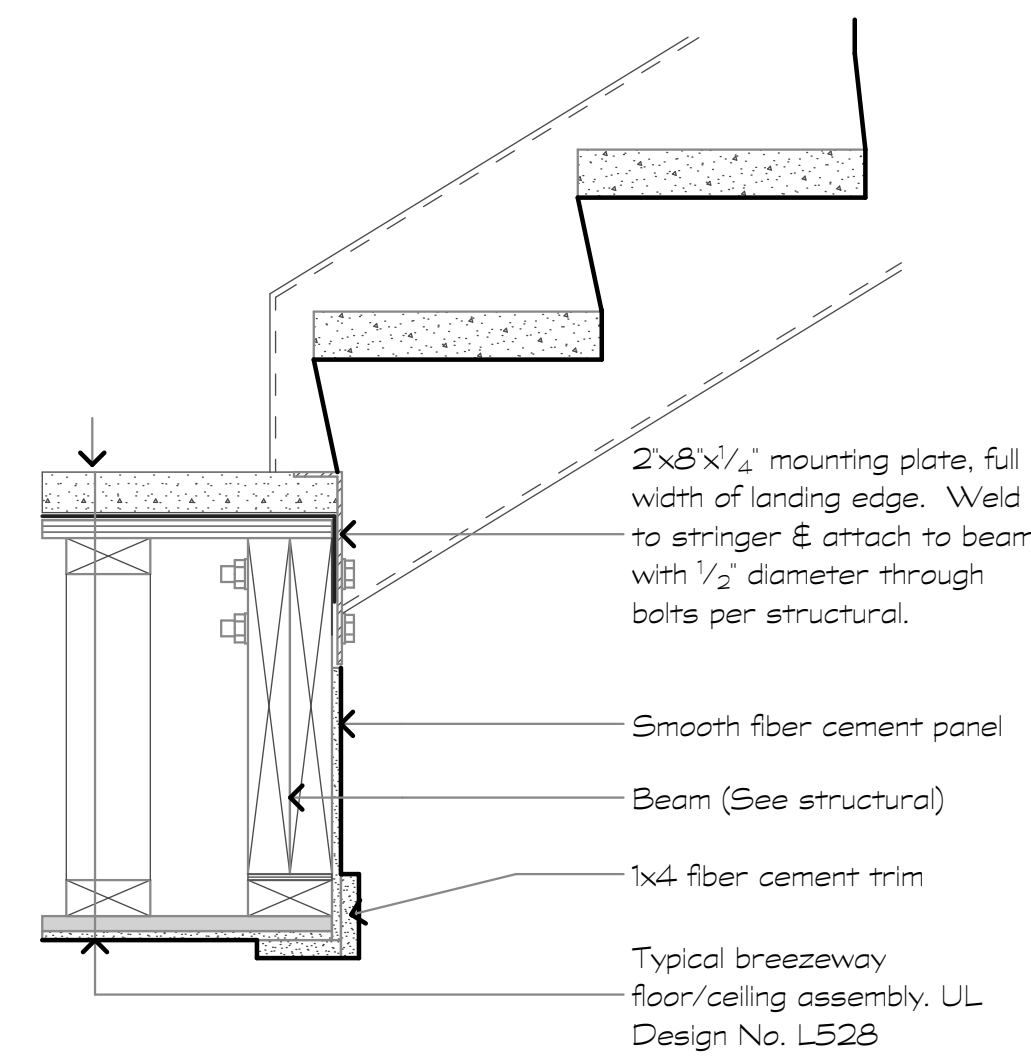
Date:
September 30, 2022

Sheet Number:

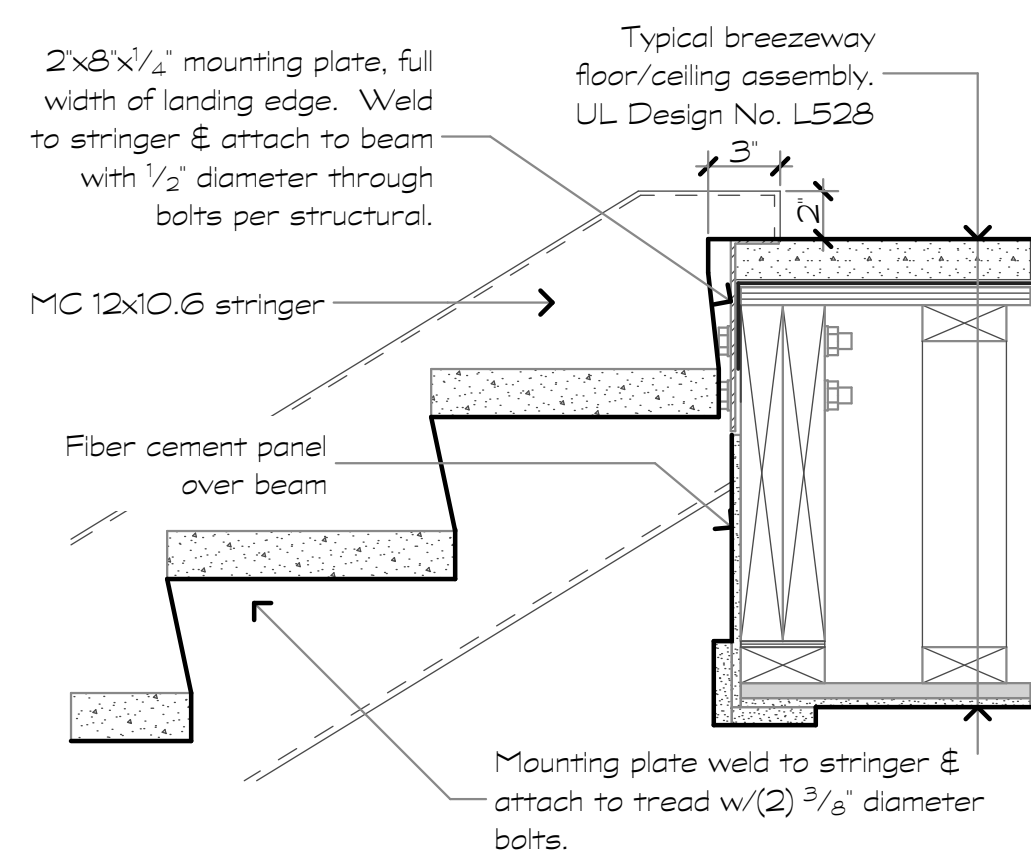
A5.8



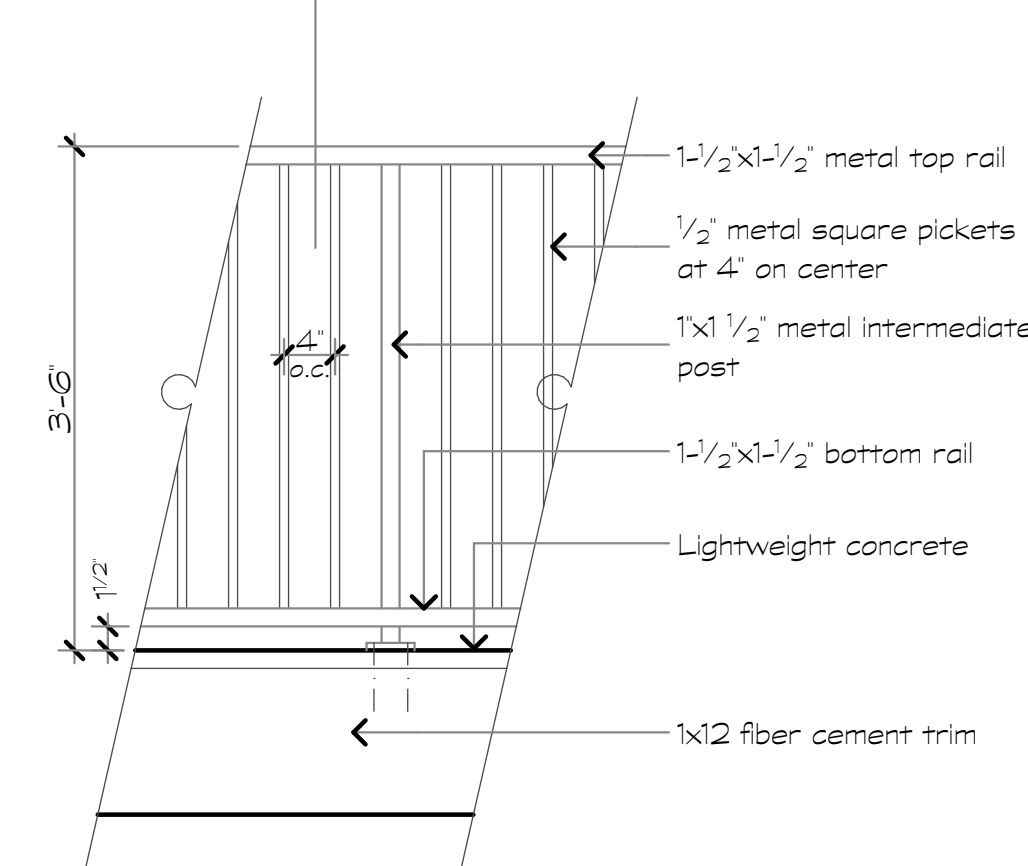
1 Type V Stair Section
Scale: 1/4" = 1'-0"



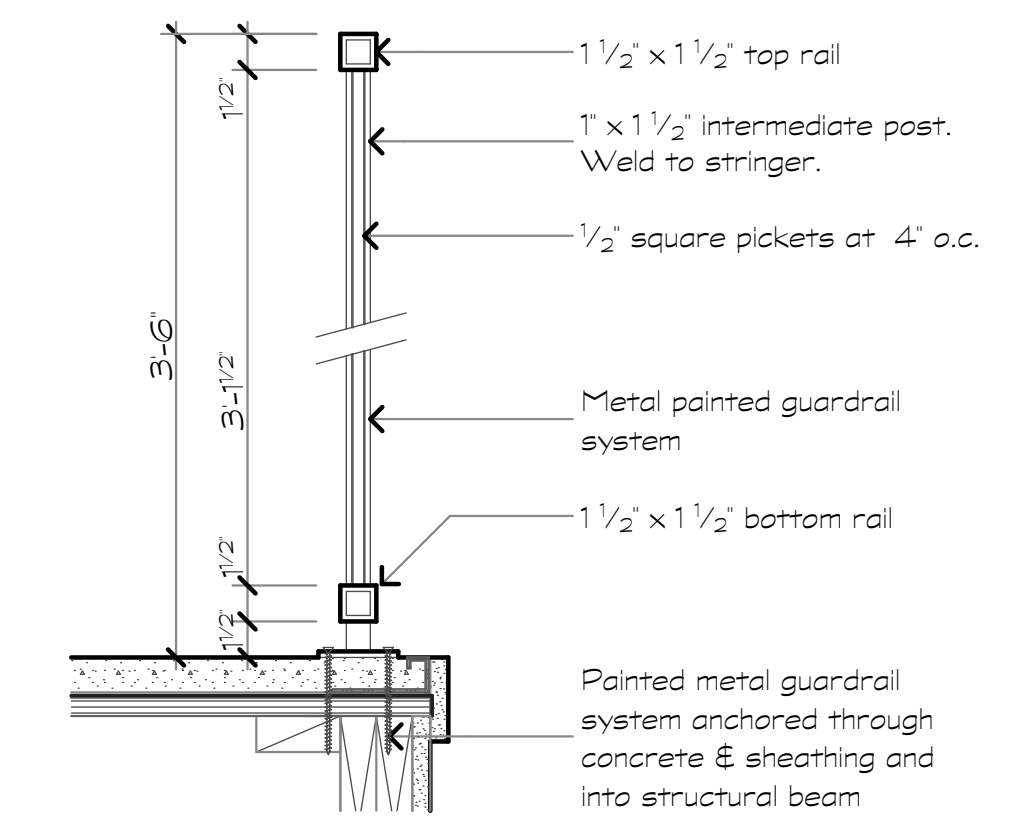
1 Landing at Breezeway
1 1/2" = 1'-0"



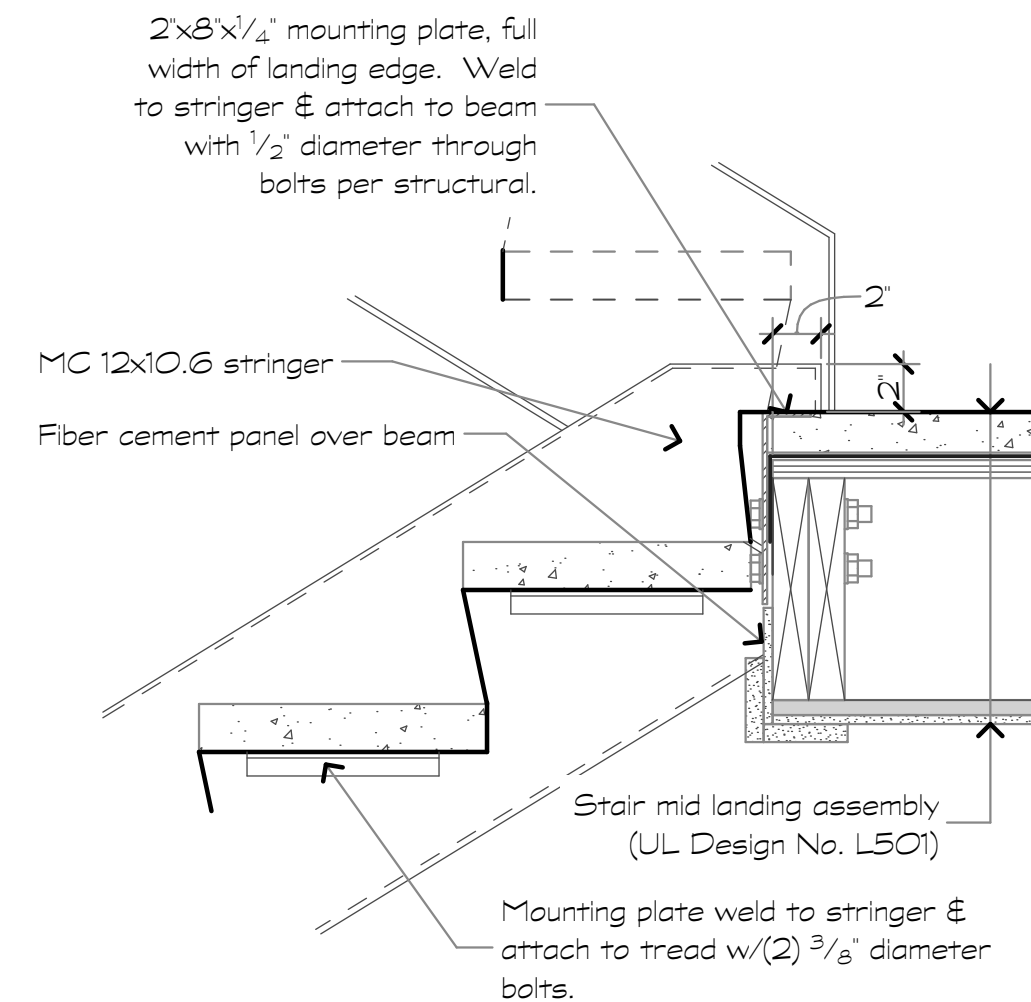
2 Landing at Breezeway
1 1/2" = 1'-0"



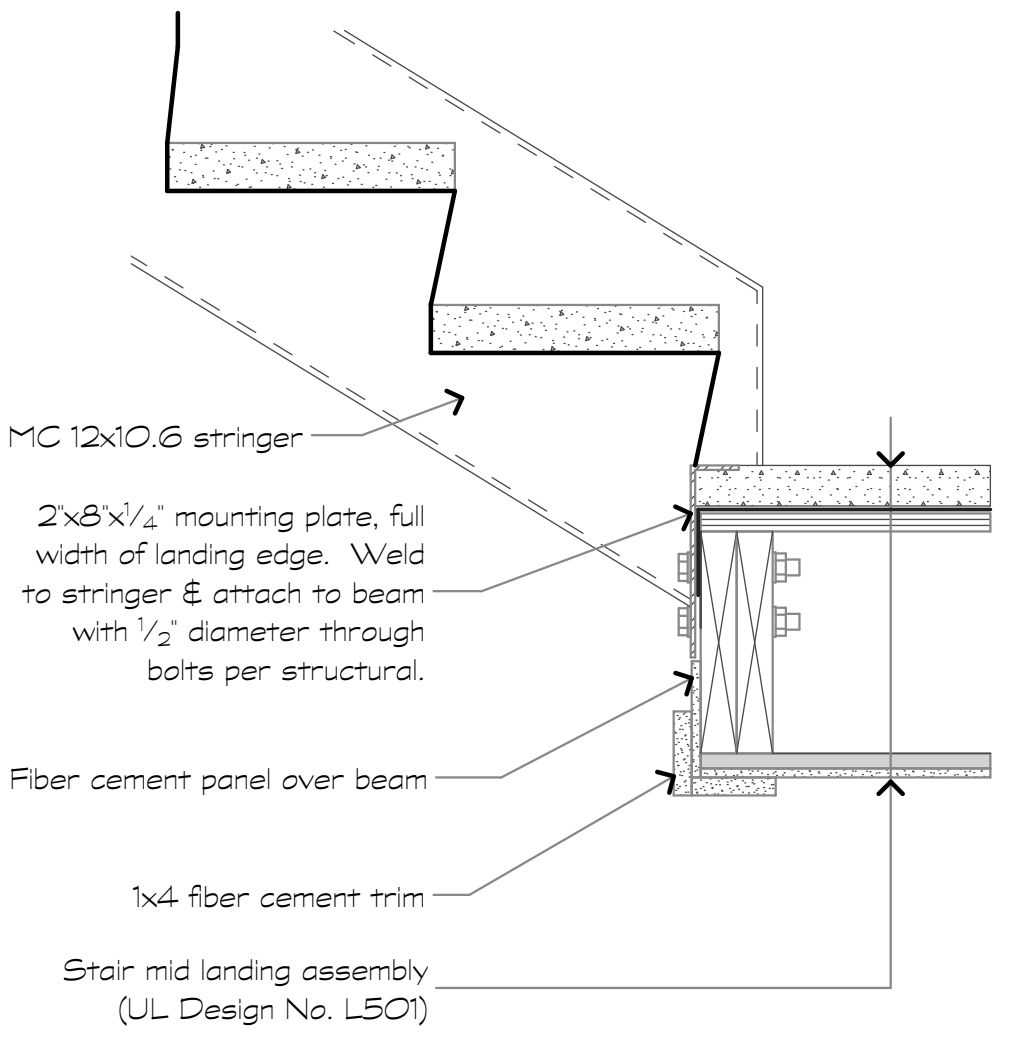
3 Guardrail Elevation
3/4" = 1'-0"



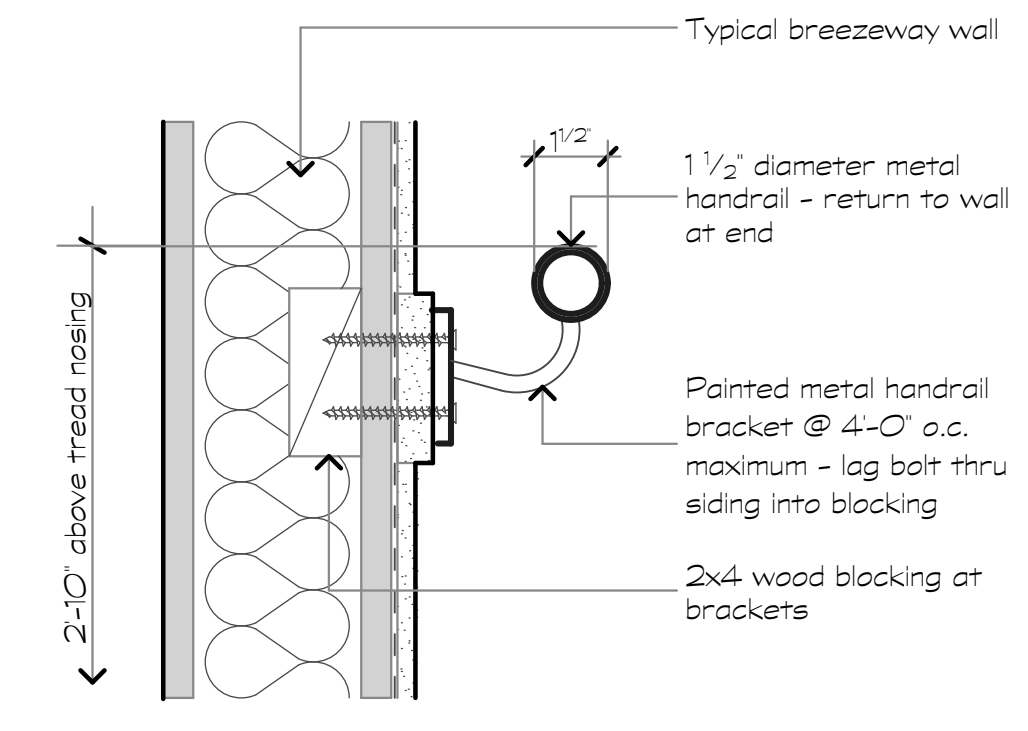
4 Guardrail Section
1 1/2" = 1'-0"



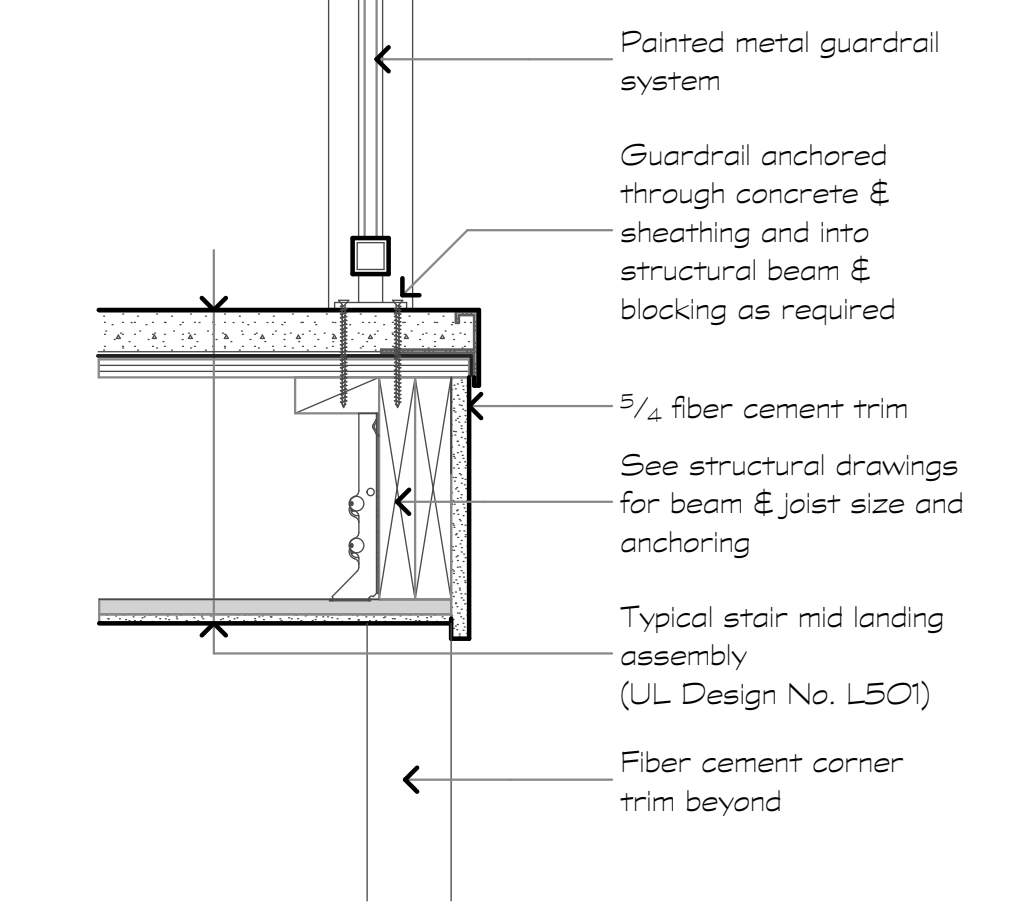
5 Intermediate Landing
1 1/2" = 1'-0"



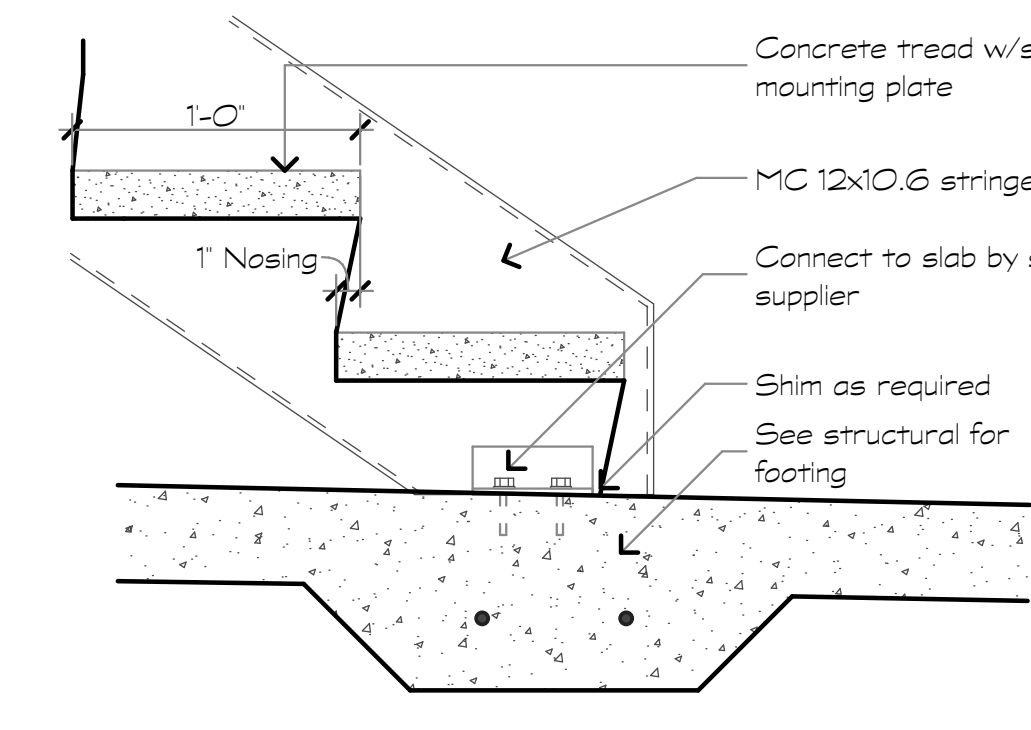
6 Intermediate Landing 2
1 1/2" = 1'-0"



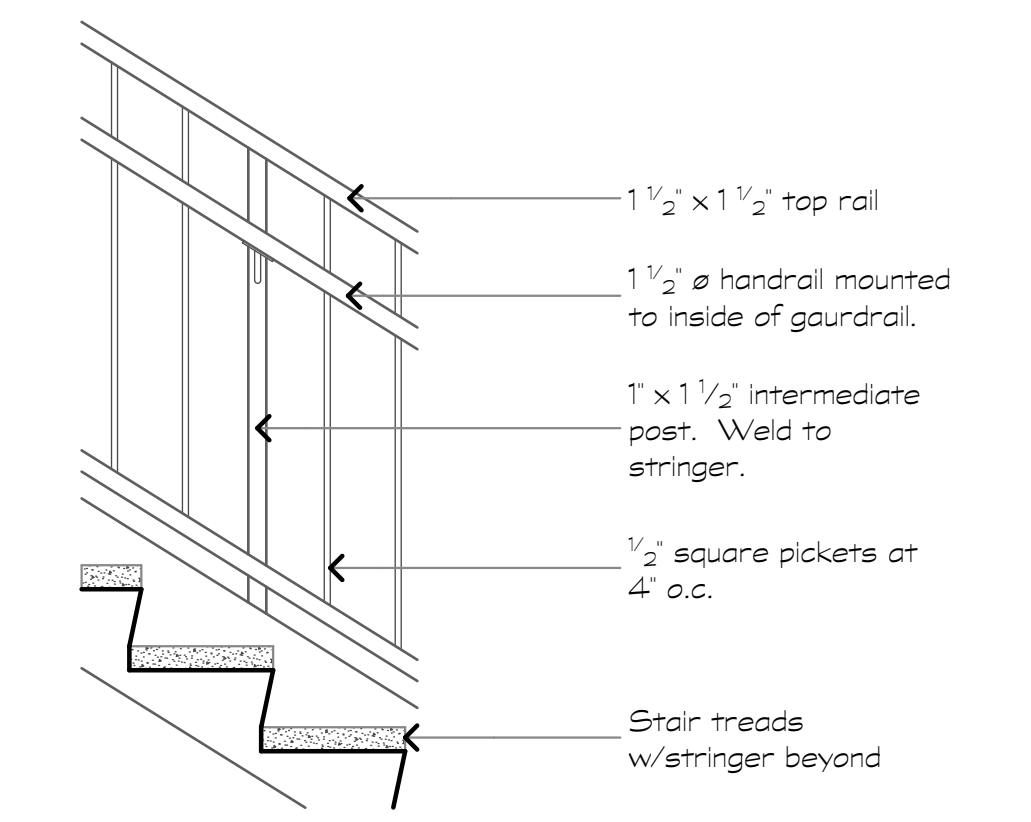
7 Handrail at Board & Batten
3" = 1'-0"



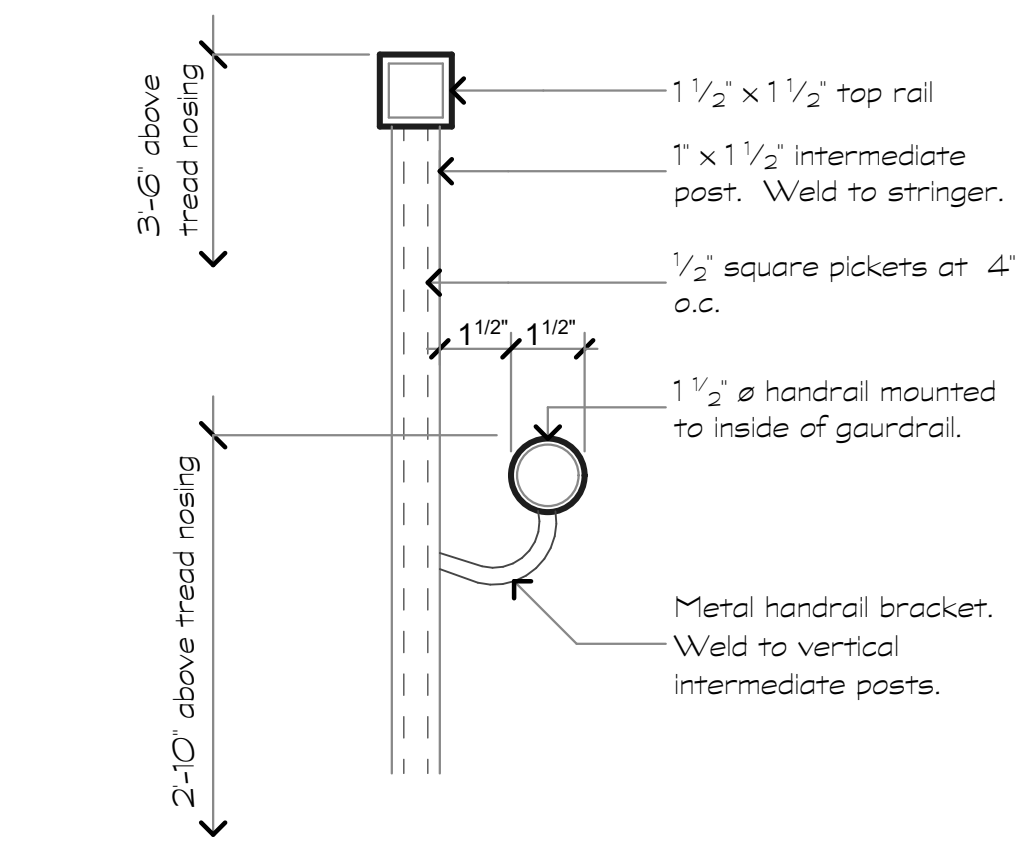
8 Landing Edge
1 1/2" = 1'-0"



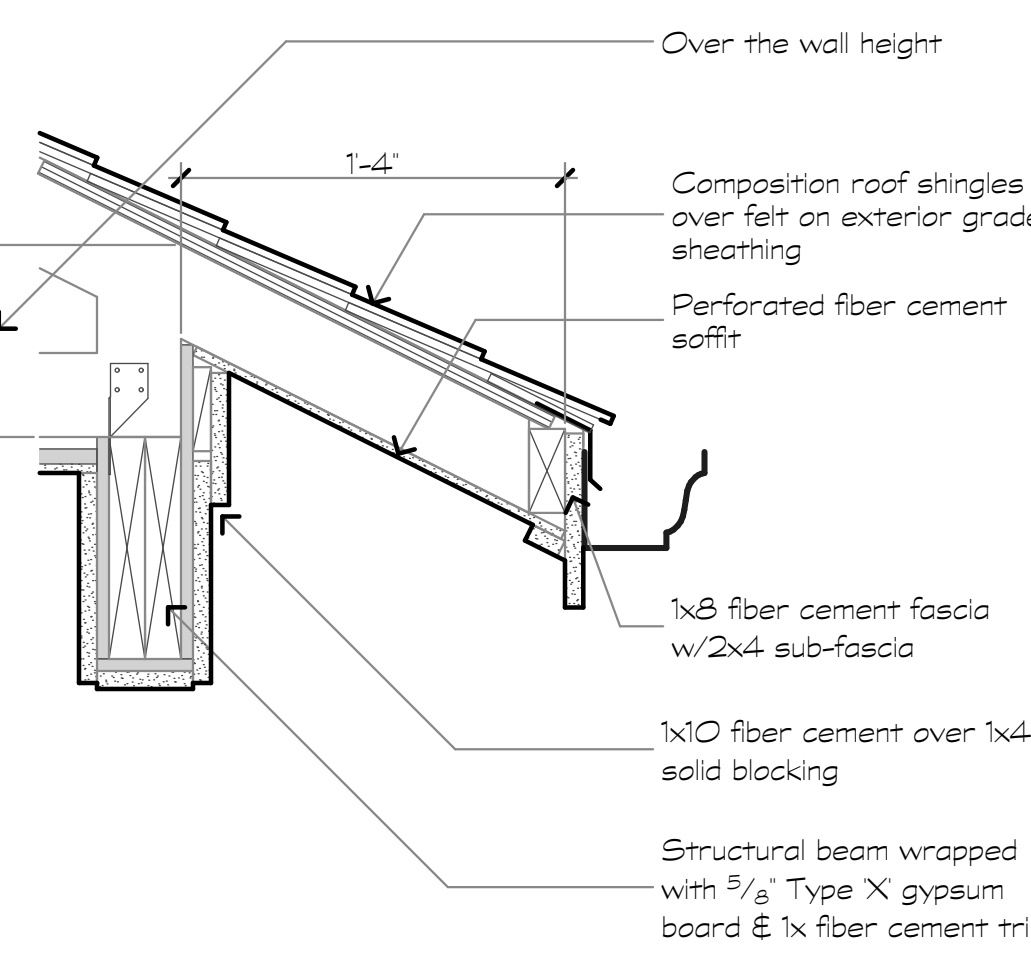
9 Stair Bottom @ Grade
1 1/2" = 1'-0"



10 Guardrail Elev Sloped
3/4" = 1'-0"



11 Handrail at Guardrail
3" = 1'-0"



12 Main Roof Edge at Breezeway
1 1/2" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Stair Details

Date:
September 30, 2022

Sheet Number:

A5.9

Revisions:

Date:	Description:
09.24.19	A. ASI #2: Waterproofing

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

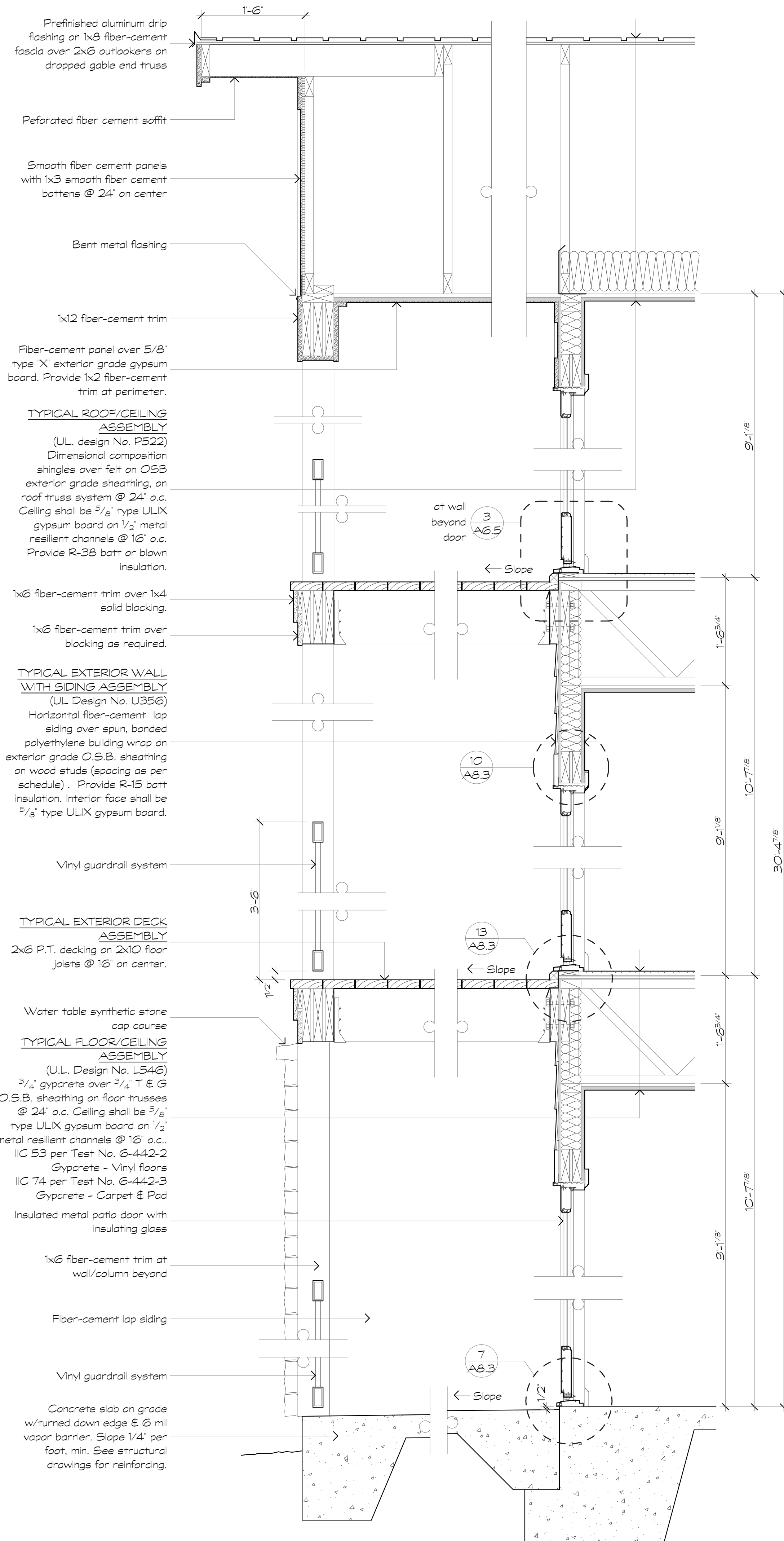
Sheet Title:
Sections

Date:
September 30, 2022

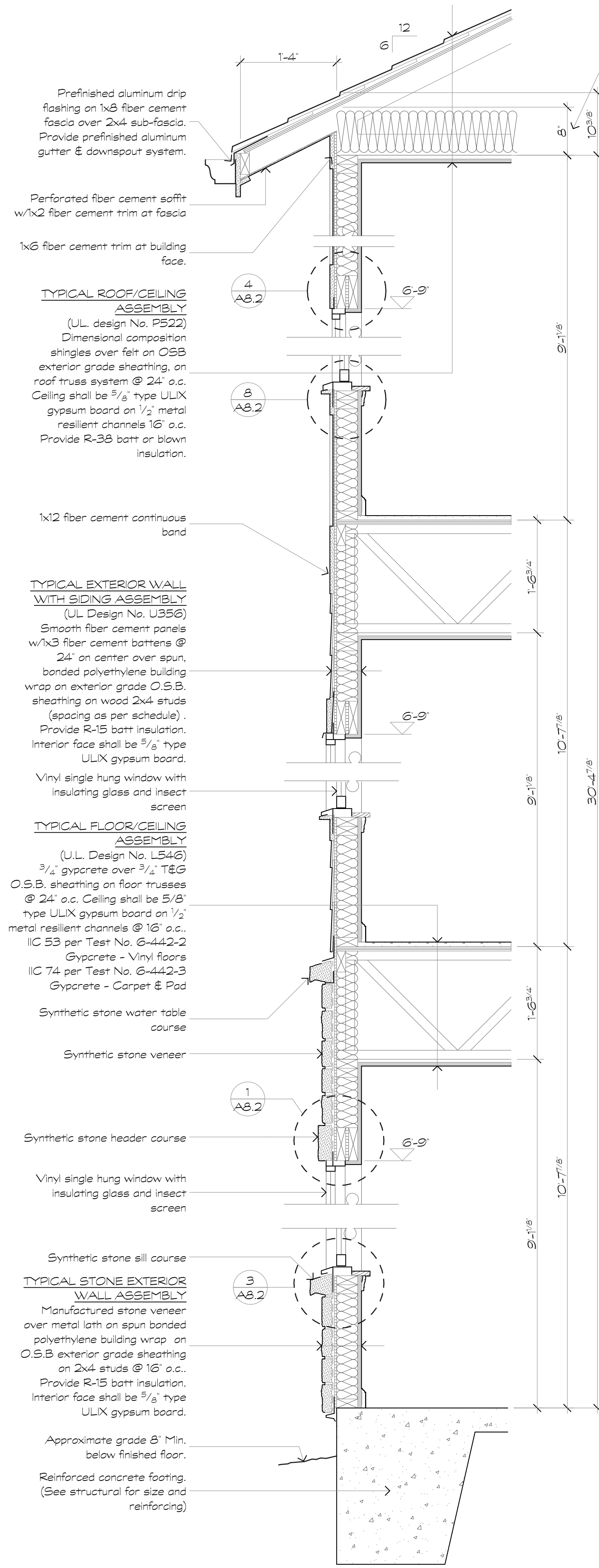
Sheet Number:

A6.1

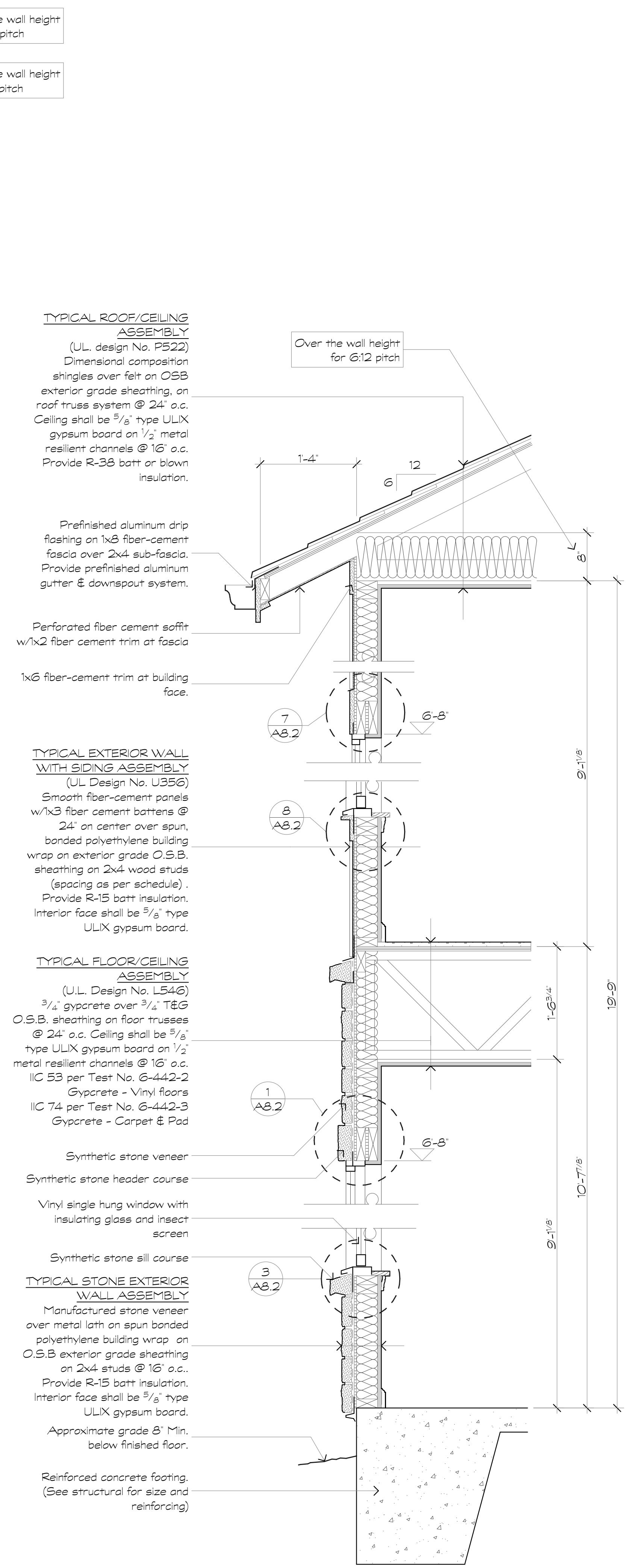
Not Released for Construction



1 Section at Deck
Scale: 1" = 1'-0"
3 Story, Gable End Condition



2 Typical Exterior Wall Section
Scale: 1" = 1'-0"
3 Story Condition/Stone-Siding



3 Typical Exterior Wall Section
Scale: 1" = 1'-0"
2 Story Condition

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

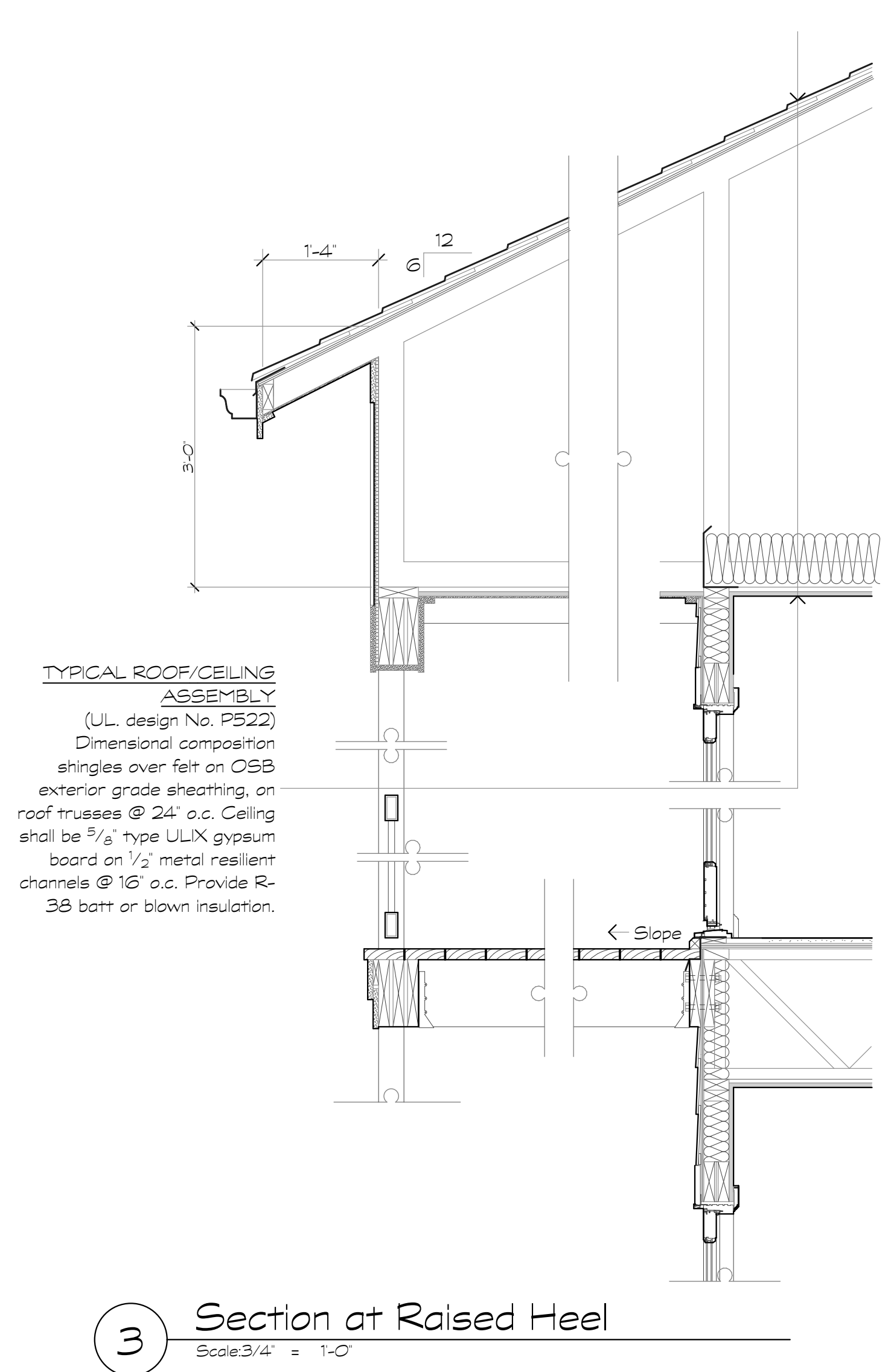
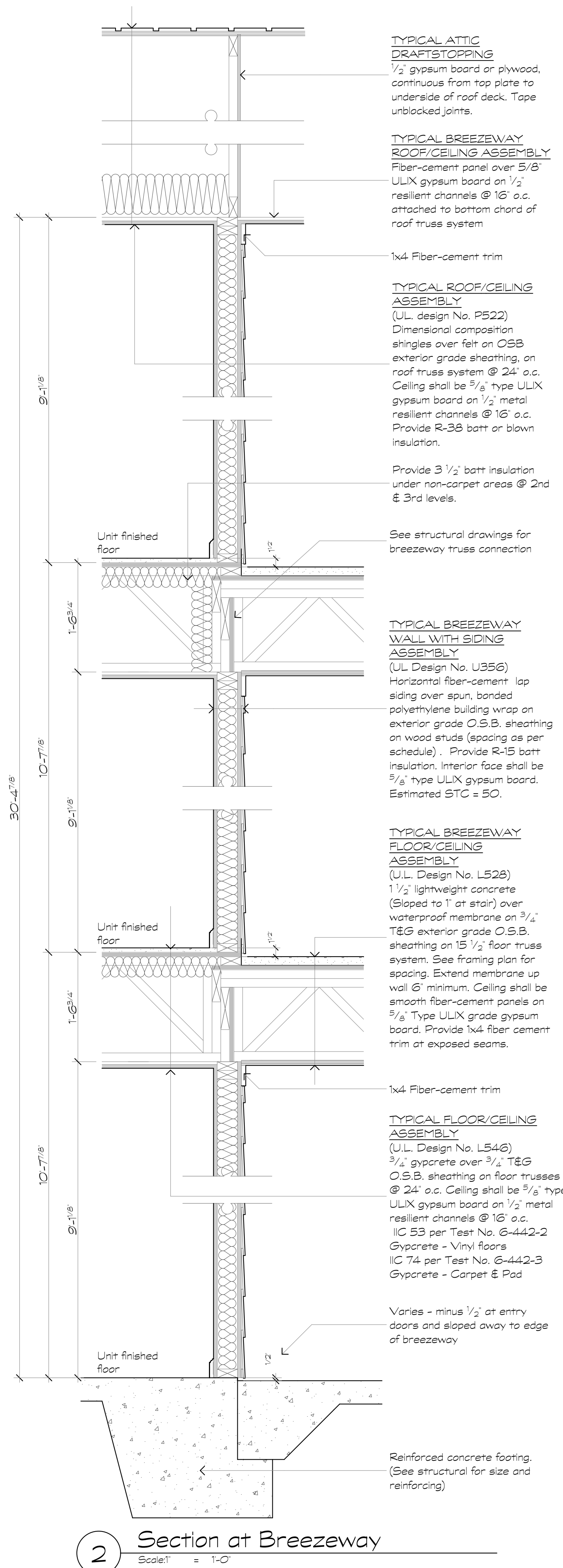
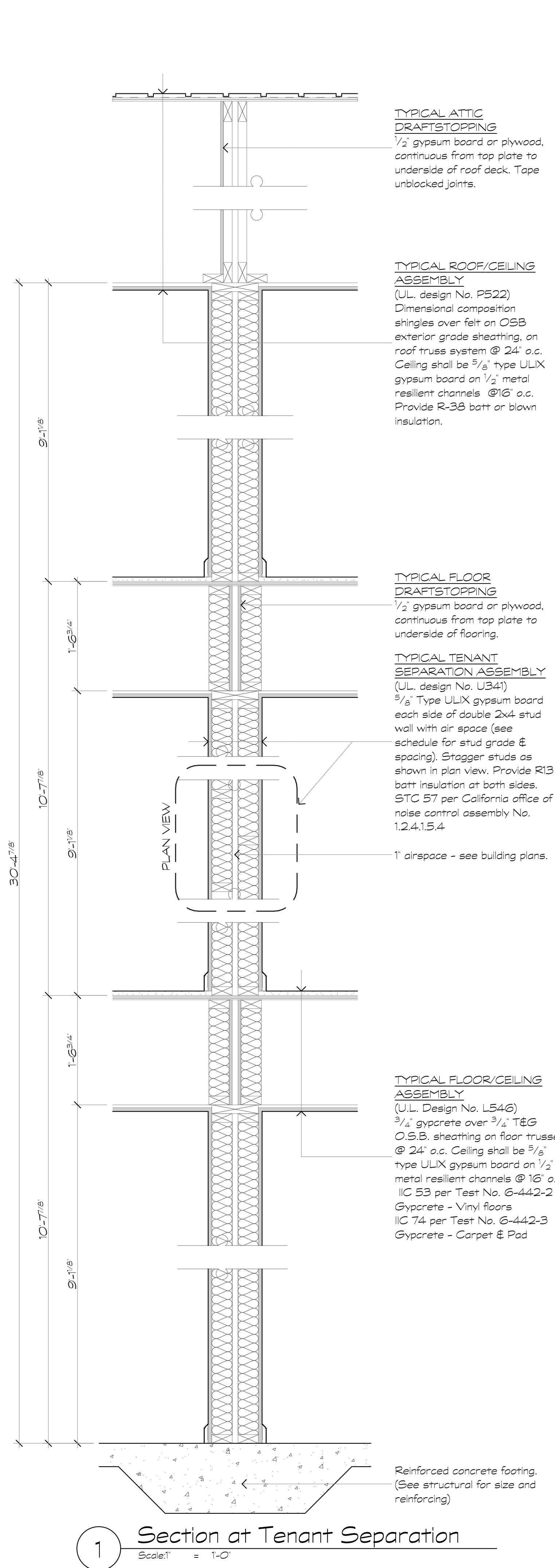
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Sections

Date:
September 30, 2022

Sheet Number:

A6.2



Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

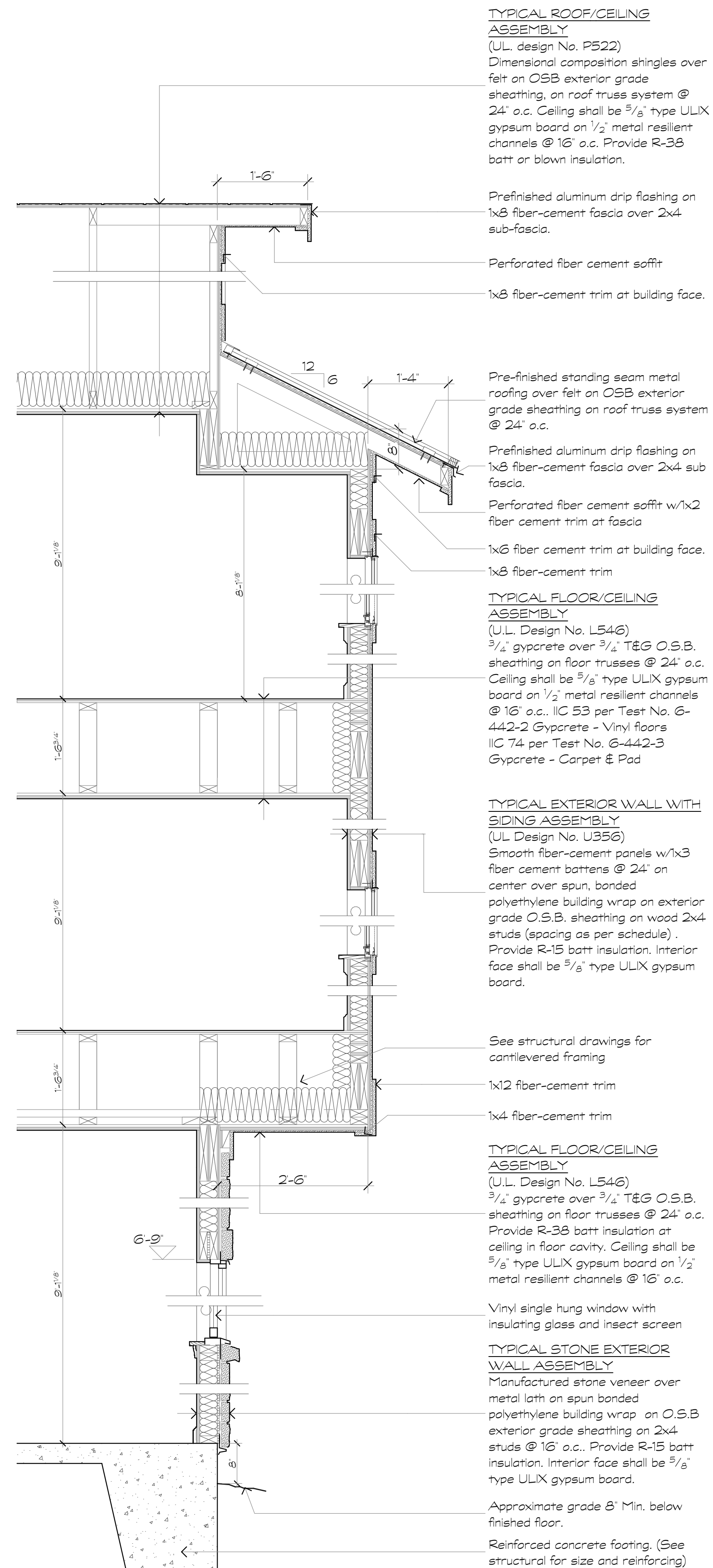
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Sections

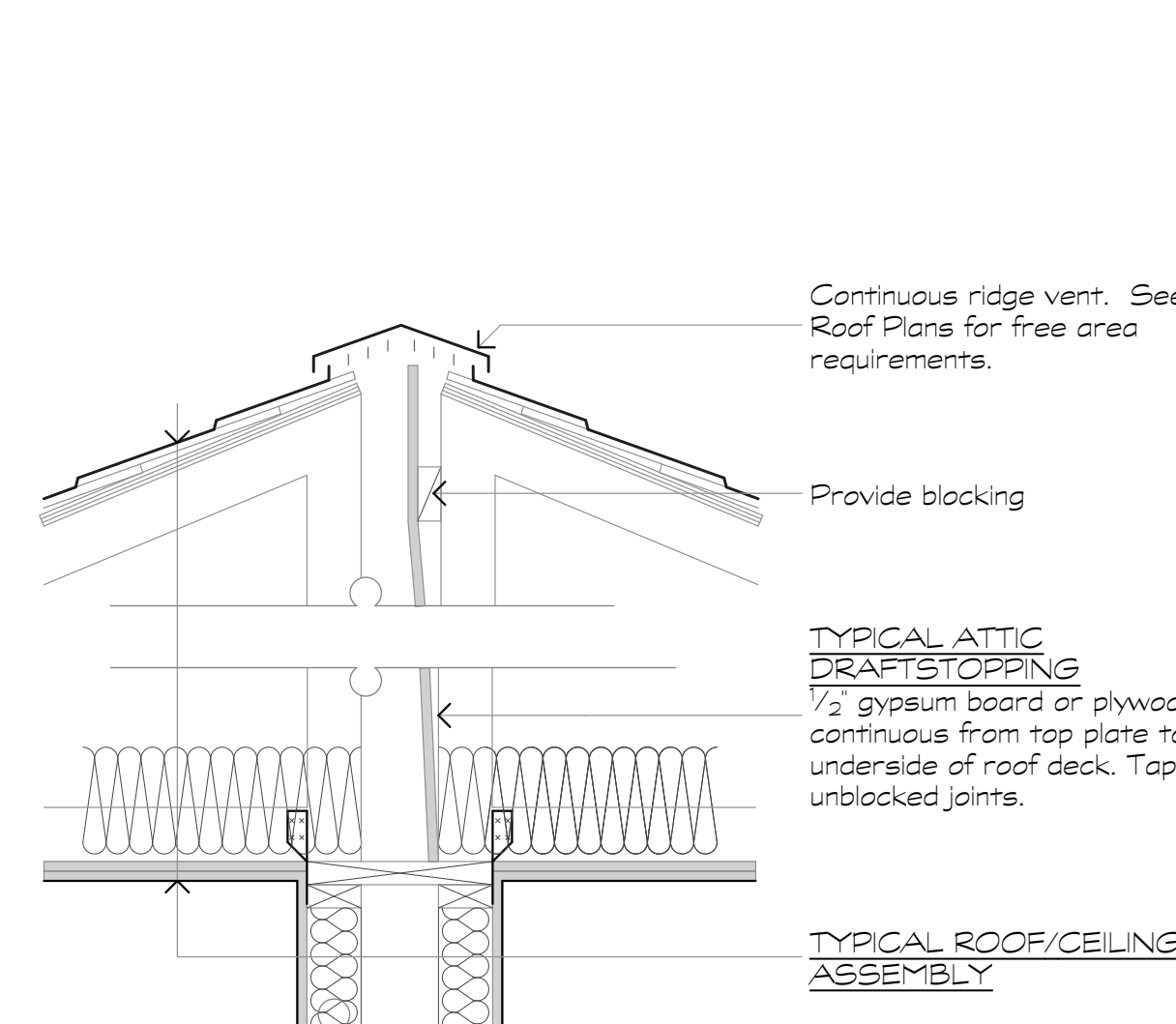
Date:
September 30, 2022

Sheet Number:

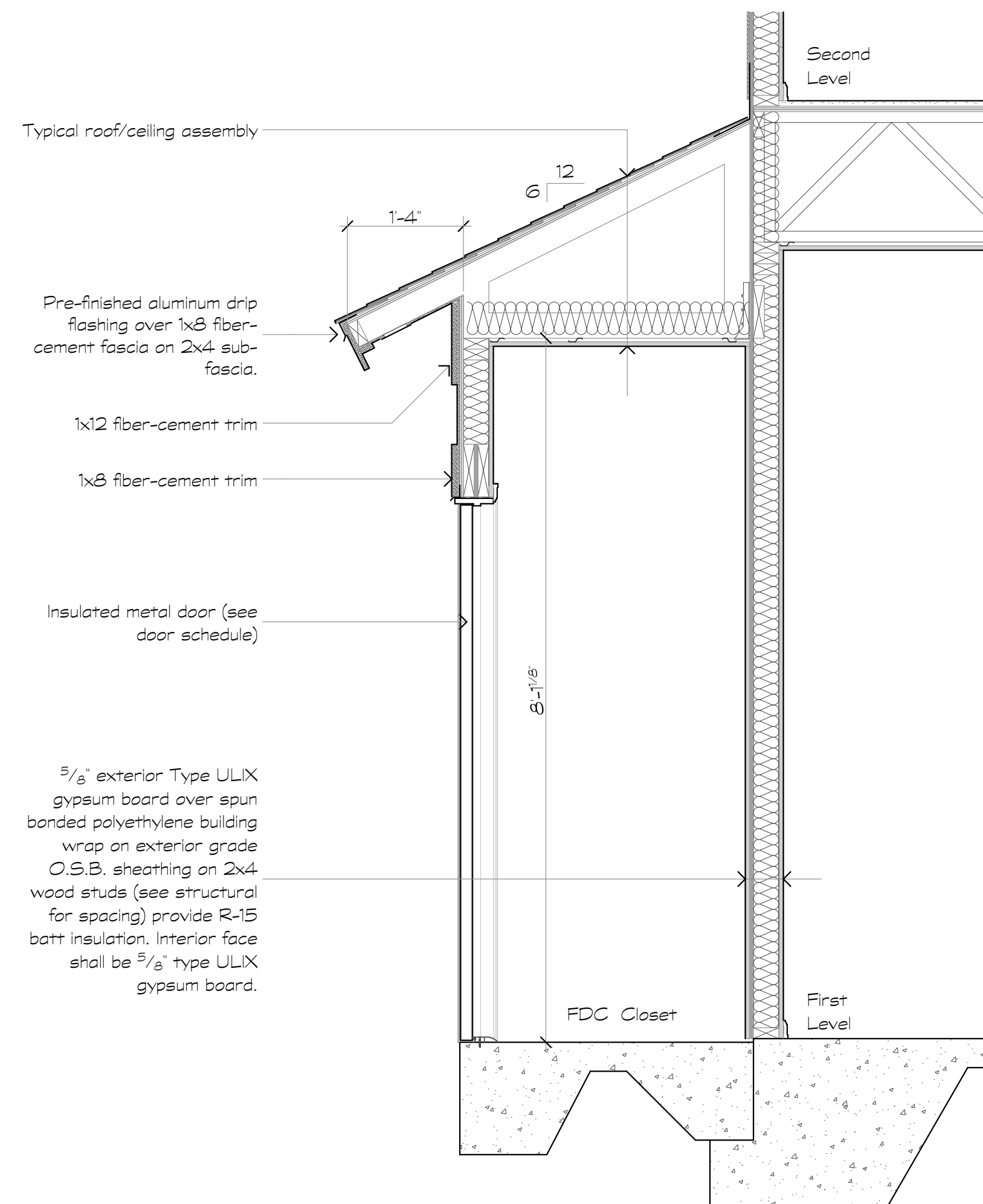
A6.3



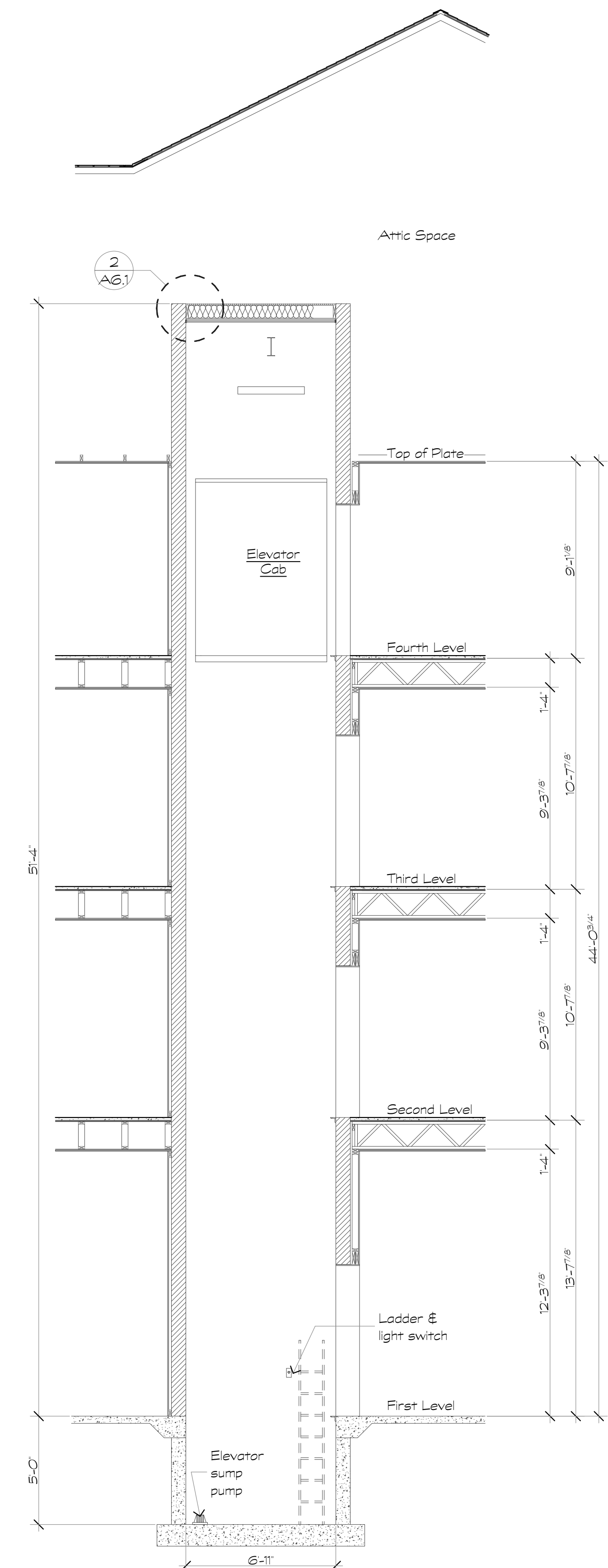
1 Section at Bay
Scale: 3/4" = 1'-0"



2 Tenant Separation at Ridge
Scale: 1" = 1'-0"



3 Section at FDC Closet
Scale: 3/4" = 1'-0"



4 Section at Elevator
Scale: 1/4" = 1'-0"

Revisions:

Date:	Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

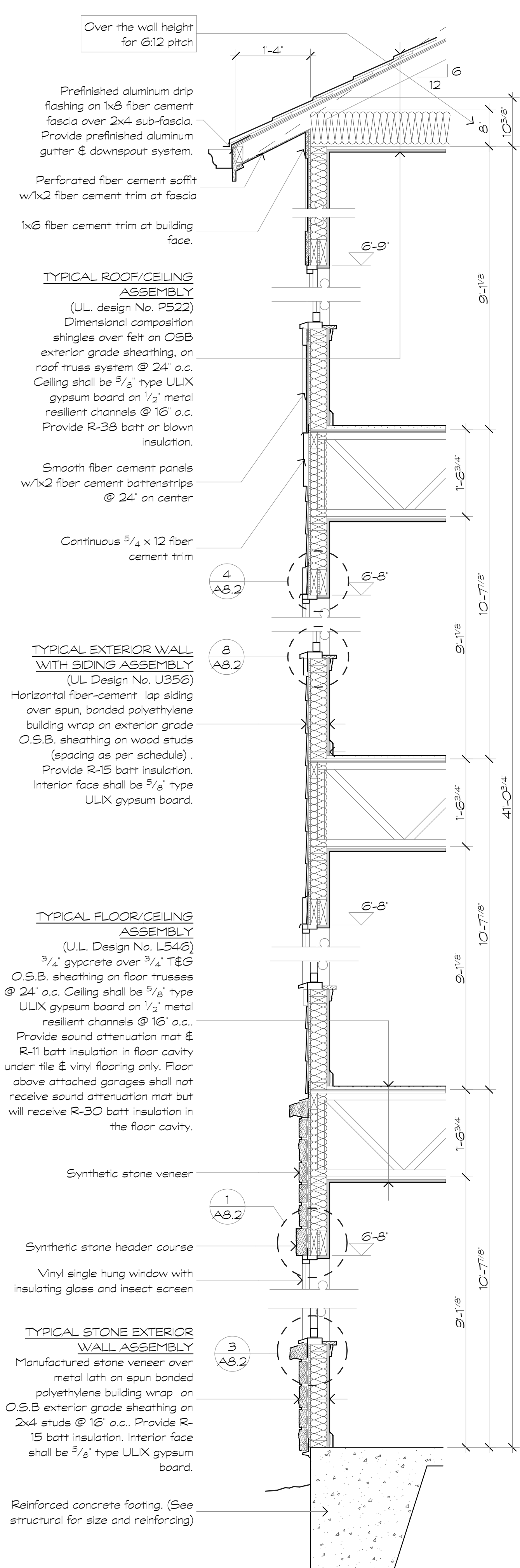
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Sections

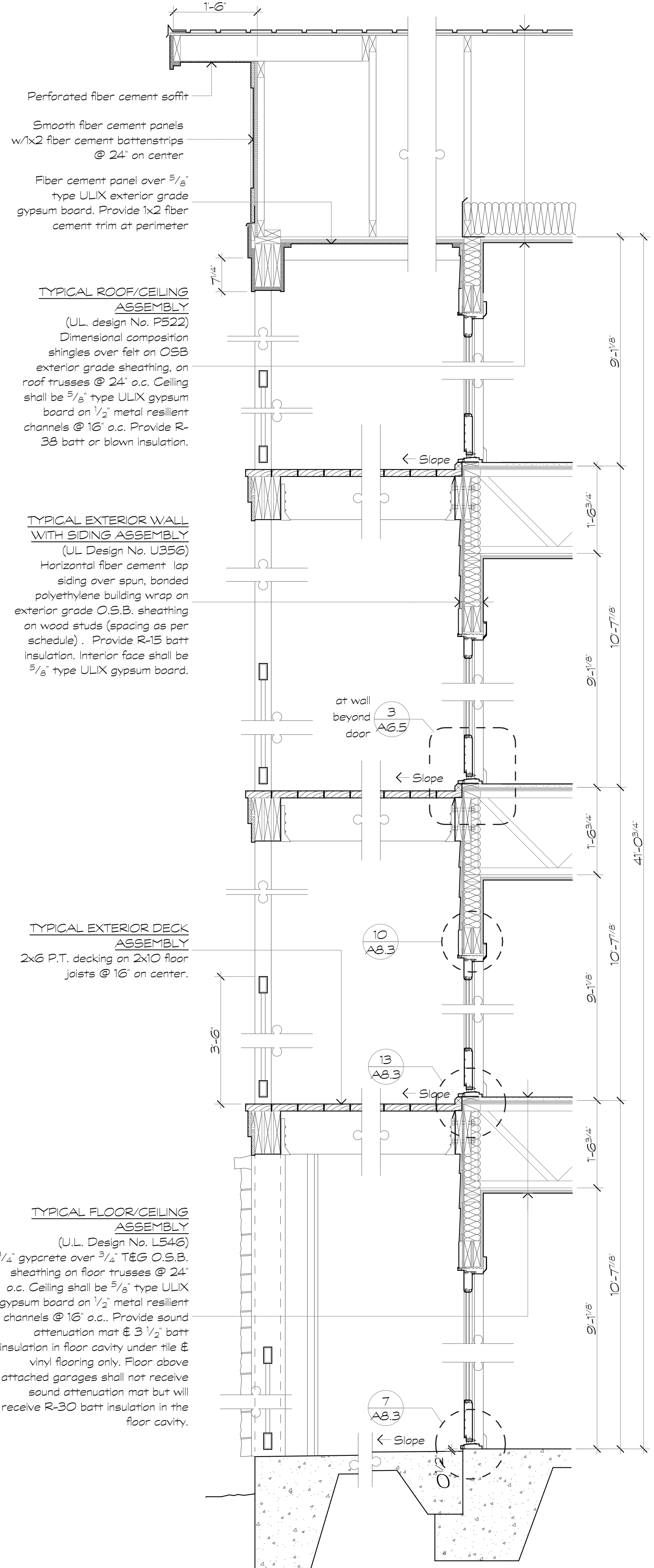
Date:
September 30, 2022

Sheet Number:

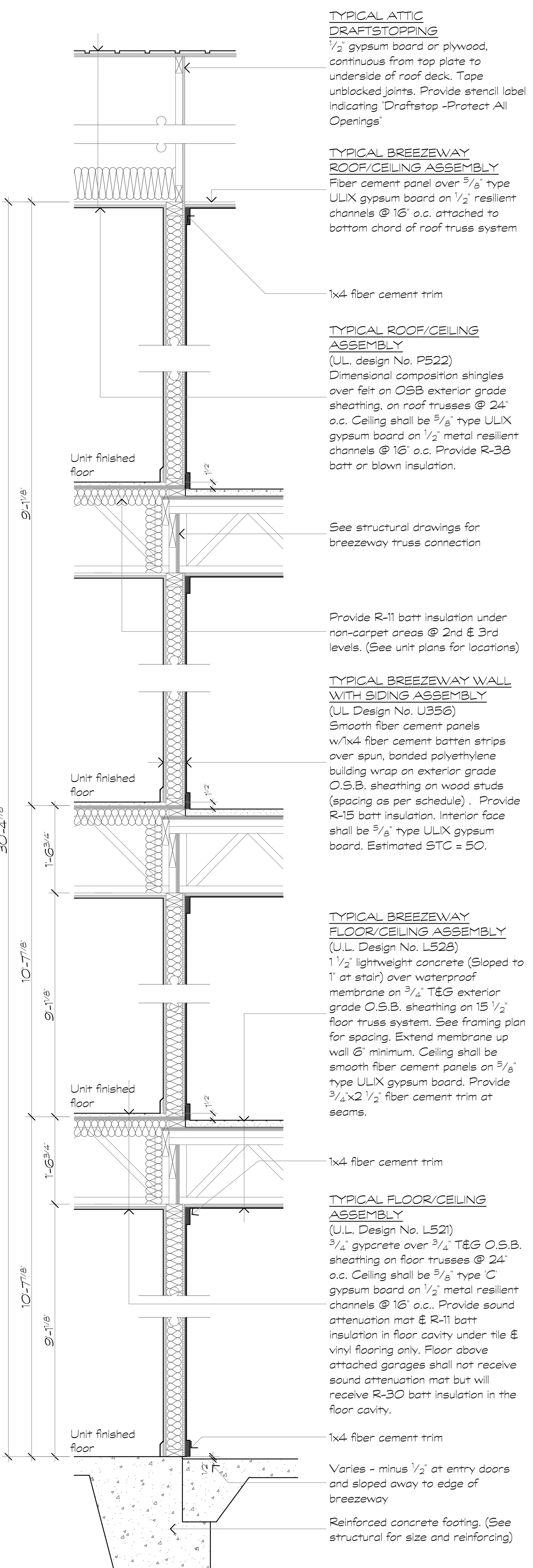
A6.4



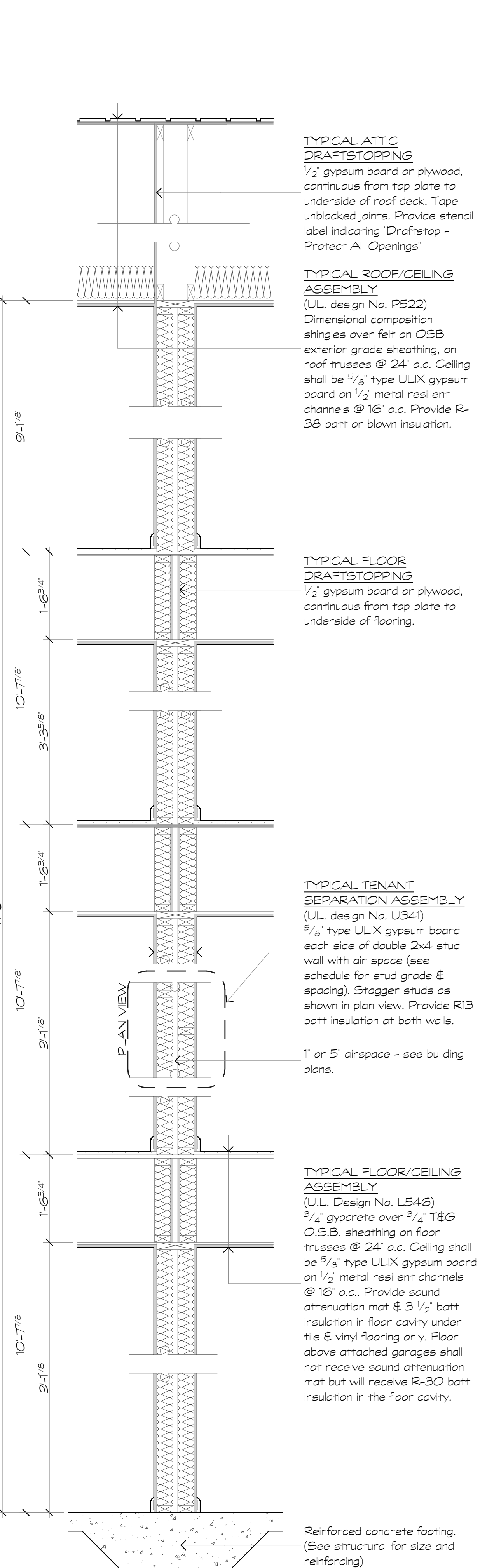
1 Typical 4 Story Section
Scale: 3/4" = 1'-0"



2 4 Story Deck Section
Scale: 3/4" = 1'-0"



3 4 Story Breezeway Section
Scale: 3/4" = 1'-0"



4 Tenant Separation - 4 Story
Scale: 3/4" = 1'-0"

TYPICAL ROOF/CEILING ASSEMBLY
(U.L. design No. P522)
Dimensional composition shingles over felt on OSB exterior grade sheathing, on roof truss system @ 24' o.c. Ceiling shall be 5/8" type ULIX gypsum board on 1/2" metal resilient channels @ 16' o.c. Provide R-38 batt or blown insulation.

Smooth fiber cement panels w/1x2 fiber cement battenstrips @ 24' on center

Continuous 5/4 x 12 fiber cement trim

TYPICAL EXTERIOR WALL WITH SIDING ASSEMBLY
(U.L. Design No. U356)
Horizontal fiber-cement lap siding over spun, bonded polyethylene building wrap on exterior grade O.S.B. sheathing on wood studs (spacing as per schedule). Provide R-15 batt insulation. Interior face shall be 5/8" type ULIX gypsum board.

TYPICAL FLOOR/CEILING ASSEMBLY
(U.L. Design No. L546)
3/4" gypcrete over 3/4" T&G O.S.B. sheathing on floor trusses @ 24' o.c. Ceiling shall be 5/8" type ULIX gypsum board on 1/2" metal resilient channels @ 16' o.c. Provide sound attenuation mat & R-11 batt insulation in floor cavity under tile & vinyl flooring only. Floor above attached garages shall not receive sound attenuation mat but will receive R-30 batt insulation in the floor cavity.

Synthetic stone veneer
Synthetic stone header course
Vinyl single hung window with insulating glass and insect screen

TYPICAL STONE EXTERIOR WALL ASSEMBLY
Manufactured stone veneer over metal lath on spun bonded polyethylene building wrap on O.S.B. exterior grade sheathing on 2x4 studs @ 16' o.c. Provide R-15 batt insulation. Interior face shall be 5/8" type ULIX gypsum board.

Reinforced concrete footing. (See structural for size and reinforcing)

TYPICAL ROOF/CEILING ASSEMBLY
(U.L. design No. P522)
Dimensional composition shingles over felt on OSB exterior grade sheathing, on roof trusses @ 24' o.c. Ceiling shall be 5/8" type ULIX gypsum board on 1/2" metal resilient channels @ 16' o.c. Provide R-38 batt or blown insulation.

TYPICAL EXTERIOR WALL WITH SIDING ASSEMBLY
(U.L. Design No. U356)
Horizontal fiber cement lap siding over spun, bonded polyethylene building wrap on exterior grade O.S.B. sheathing on wood studs (spacing as per schedule). Provide R-15 batt insulation. Interior face shall be 5/8" type ULIX gypsum board.

TYPICAL EXTERIOR DECK ASSEMBLY
2x6 P.T. decking on 2x10 floor joists @ 16' on center.

TYPICAL FLOOR/CEILING ASSEMBLY
(U.L. Design No. L546)
3/4" gypcrete over 3/4" T&G O.S.B. sheathing on floor trusses @ 24' o.c. Ceiling shall be 5/8" type ULIX gypsum board on 1/2" metal resilient channels @ 16' o.c. Provide sound attenuation mat & 3 1/2" batt insulation in floor cavity under tile & vinyl flooring only. Floor above attached garages shall not receive sound attenuation mat but will receive R-30 batt insulation in the floor cavity.

Reinforced concrete footing. (See structural for size and reinforcing)

TYPICAL ATTIC DRAFTSTOPPING
1/2" gypsum board or plywood, continuous from top plate to underside of roof deck. Tape unblocked joints. Provide stencil label indicating 'Draftstop - Protect All Openings'

TYPICAL BREEZEWAY ROOF/CEILING ASSEMBLY
Fiber cement panel over 5/8" type ULIX gypsum board on 1/2" metal resilient channels @ 16' o.c. attached to bottom chord of roof truss system

TYPICAL ROOF/CEILING ASSEMBLY
(U.L. design No. P522)
Dimensional composition shingles over felt on OSB exterior grade sheathing, on roof trusses @ 24' o.c. Ceiling shall be 5/8" type ULIX gypsum board on 1/2" metal resilient channels @ 16' o.c. Provide R-38 batt or blown insulation.

See structural drawings for breezeway truss connection

TYPICAL BREEZEWAY WALL WITH SIDING ASSEMBLY
(U.L. Design No. U356)
Smooth fiber cement panels w/1x4 fiber cement battenstrips over spun, bonded polyethylene building wrap on exterior grade O.S.B. sheathing on wood studs (spacing as per schedule). Provide R-15 batt insulation. Interior face shall be 5/8" type ULIX gypsum board. Estimated STC = 50.

TYPICAL BREEZEWAY FLOOR/CEILING ASSEMBLY
(U.L. Design No. L528)
1 1/2" lightweight concrete (Sloped to 1" at stair) over waterproof membrane on 3/4" T&G exterior grade O.S.B. sheathing on 15 1/2" floor truss system. See framing plan for spacing. Extend membrane up wall 6" minimum. Ceiling shall be smooth fiber cement panels on 5/8" type ULIX gypsum board. Provide 3/4" x 2 1/2" fiber cement trim at seams.

TYPICAL FLOOR/CEILING ASSEMBLY
(U.L. Design No. L521)
3/4" gypcrete over 3/4" T&G O.S.B. sheathing on floor trusses @ 24' o.c. Ceiling shall be 5/8" type ULIX gypsum board on 1/2" metal resilient channels @ 16' o.c. Provide sound attenuation mat & R-11 batt insulation in floor cavity under tile & vinyl flooring only. Floor above attached garages shall not receive sound attenuation mat but will receive R-30 batt insulation in the floor cavity.

Varies - minus 1/2" at entry doors and sloped away to edge of breezeway

Reinforced concrete footing. (See structural for size and reinforcing)

TYPICAL ATTIC DRAFTSTOPPING
1/2" gypsum board or plywood, continuous from top plate to underside of roof deck. Tape unblocked joints. Provide stencil label indicating 'Draftstop - Protect All Openings'

TYPICAL ROOF/CEILING ASSEMBLY
(U.L. design No. P522)
Dimensional composition shingles over felt on OSB exterior grade sheathing, on roof trusses @ 24' o.c. Ceiling shall be 5/8" type ULIX gypsum board on 1/2" metal resilient channels @ 16' o.c. Provide R-38 batt or blown insulation.

TYPICAL FLOOR DRAFTSTOPPING
1/2" gypsum board or plywood, continuous from top plate to underside of flooring.

TYPICAL TENANT SEPARATION ASSEMBLY
(U.L. design No. U341)
5/8" type ULIX gypsum board each side of double 2x4 stud wall with air space (see schedule for stud grade & spacing). Stagger studs as shown in plan view. Provide R13 batt insulation at both walls.

1' or 5" airspace - see building plans.

TYPICAL FLOOR/CEILING ASSEMBLY
(U.L. Design No. L546)
3/4" gypcrete over 3/4" T&G O.S.B. sheathing on floor trusses @ 24' o.c. Ceiling shall be 5/8" type ULIX gypsum board on 1/2" metal resilient channels @ 16' o.c. Provide sound attenuation mat & 3 1/2" batt insulation in floor cavity under tile & vinyl flooring only. Floor above attached garages shall not receive sound attenuation mat but will receive R-30 batt insulation in the floor cavity.

Reinforced concrete footing. (See structural for size and reinforcing)

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

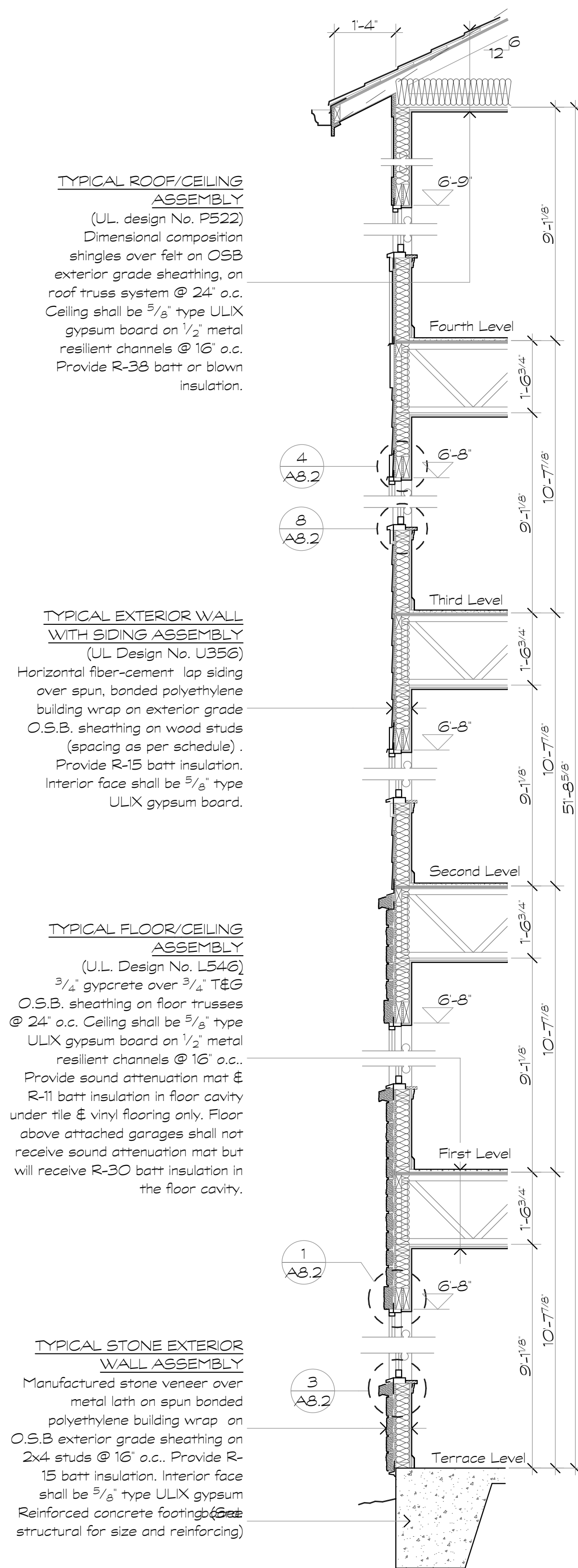
A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

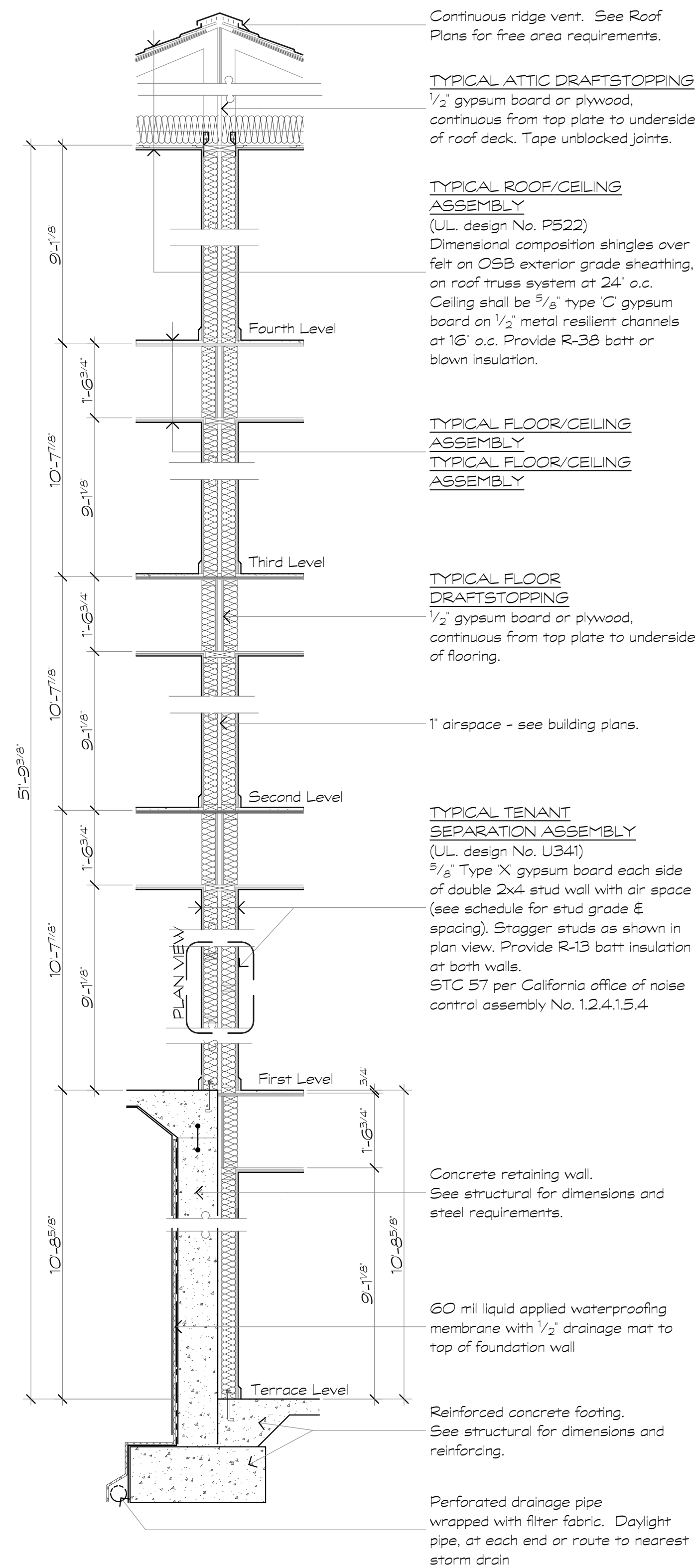
Sheet Title:
Sections

Date:
September 30, 2022

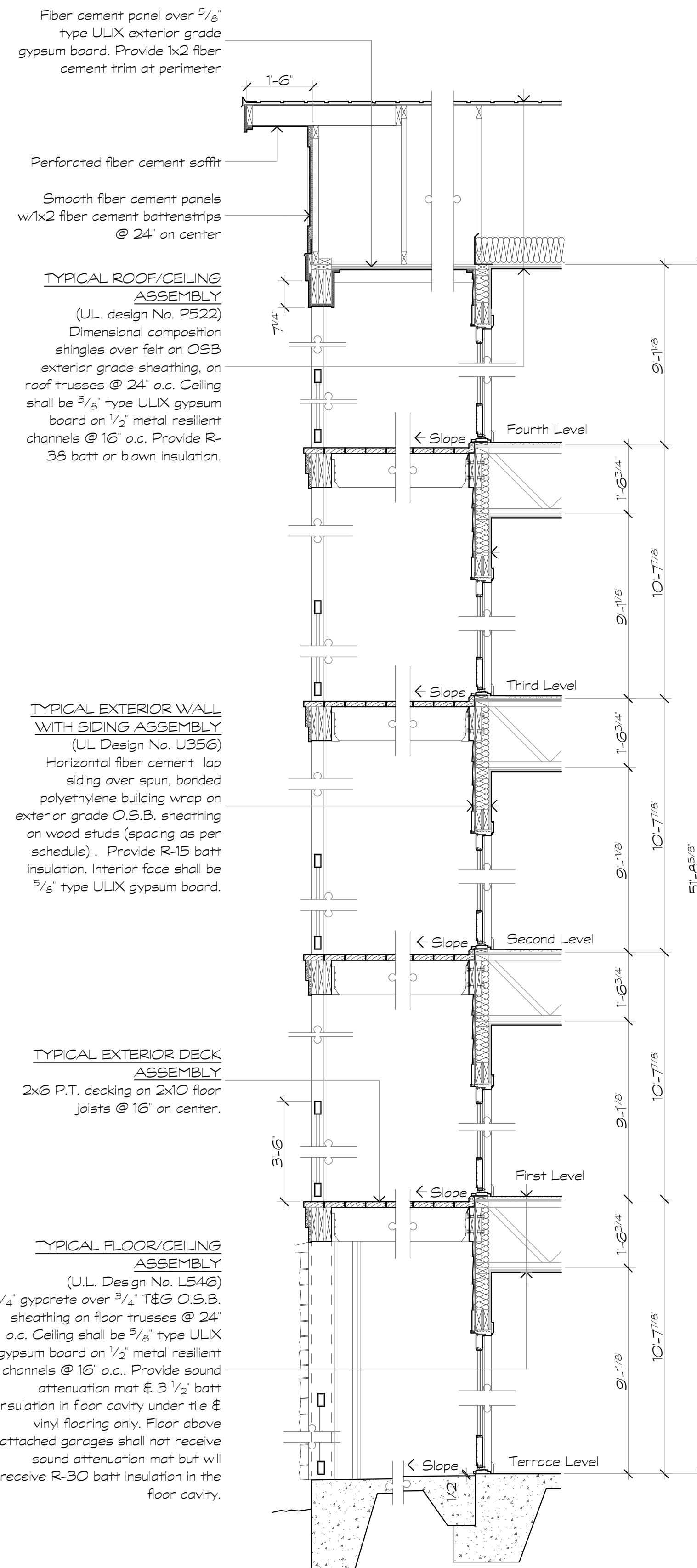
Sheet Number:



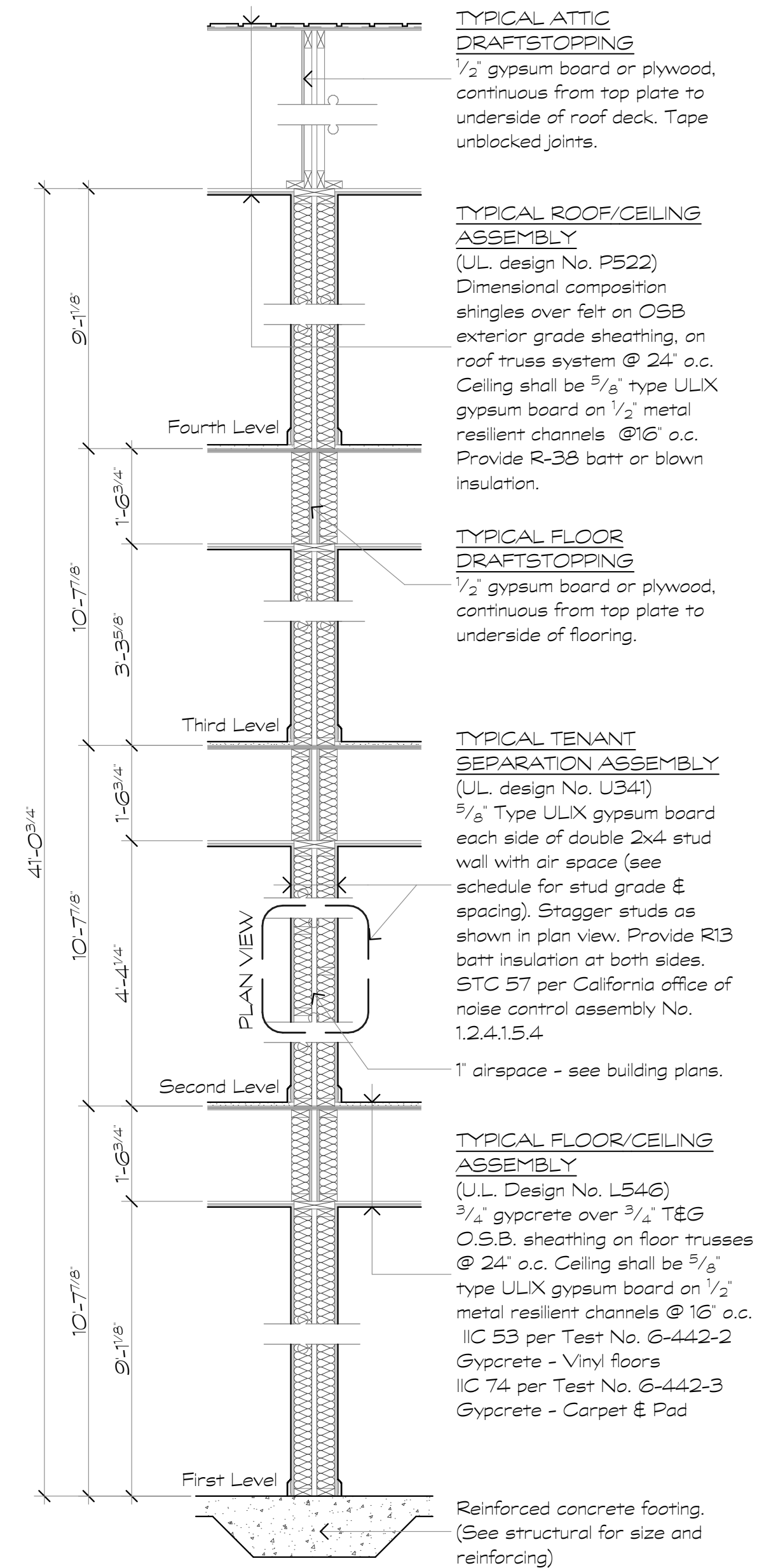
1 Typical 5 Story Section
Scale: 1/2" = 1'-0"



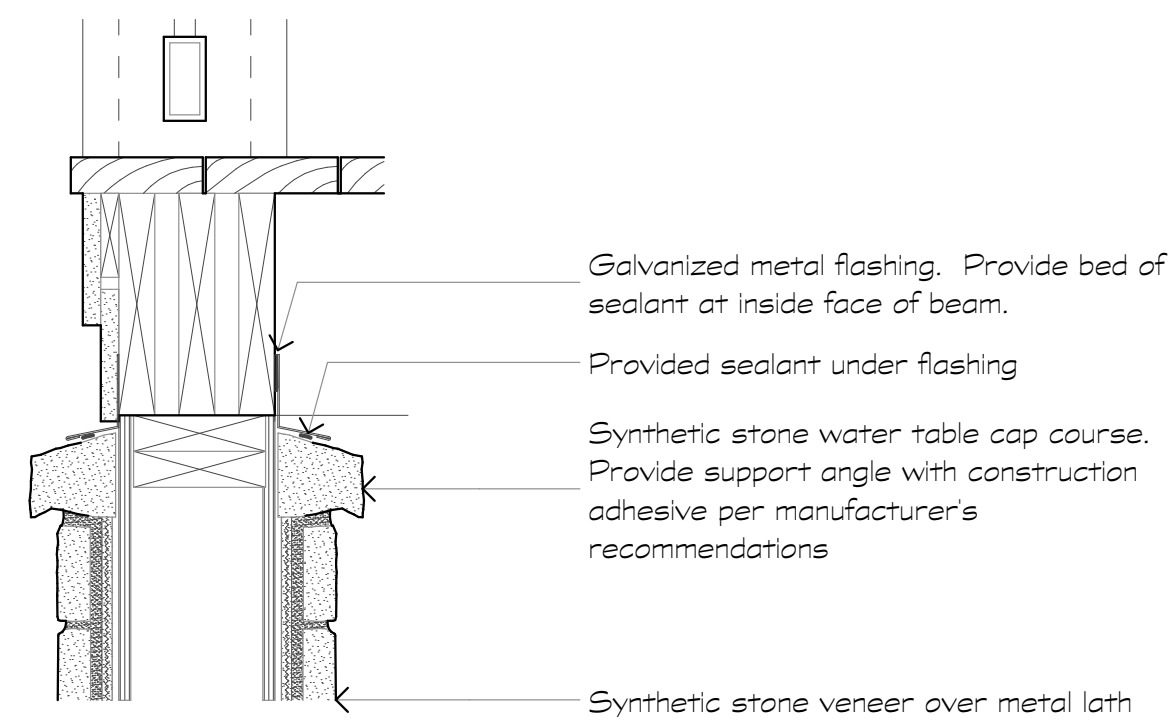
2 Split Tenant Separation 5 Story
Scale: 1/2" = 1'-0"



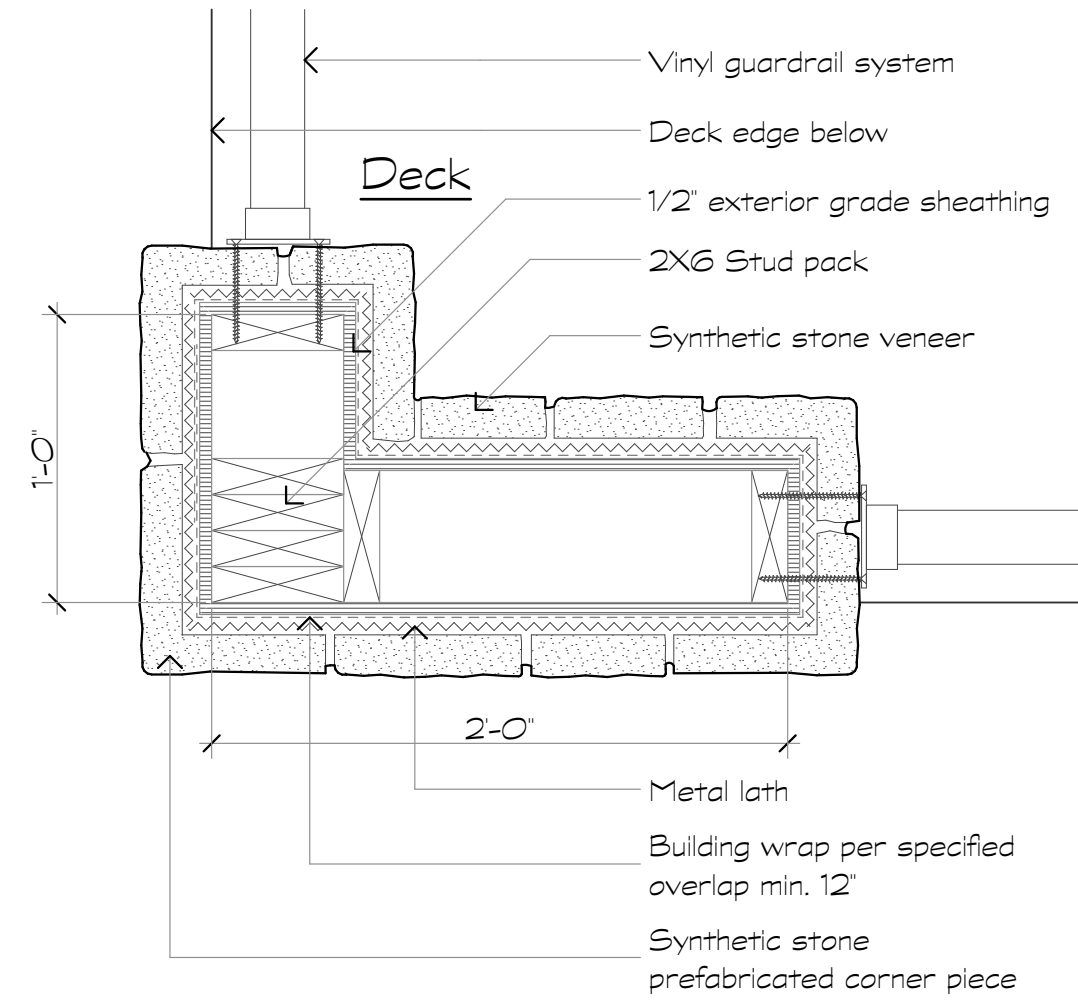
3 Section at Deck 5 Story
Scale: 1/2" = 1'-0"



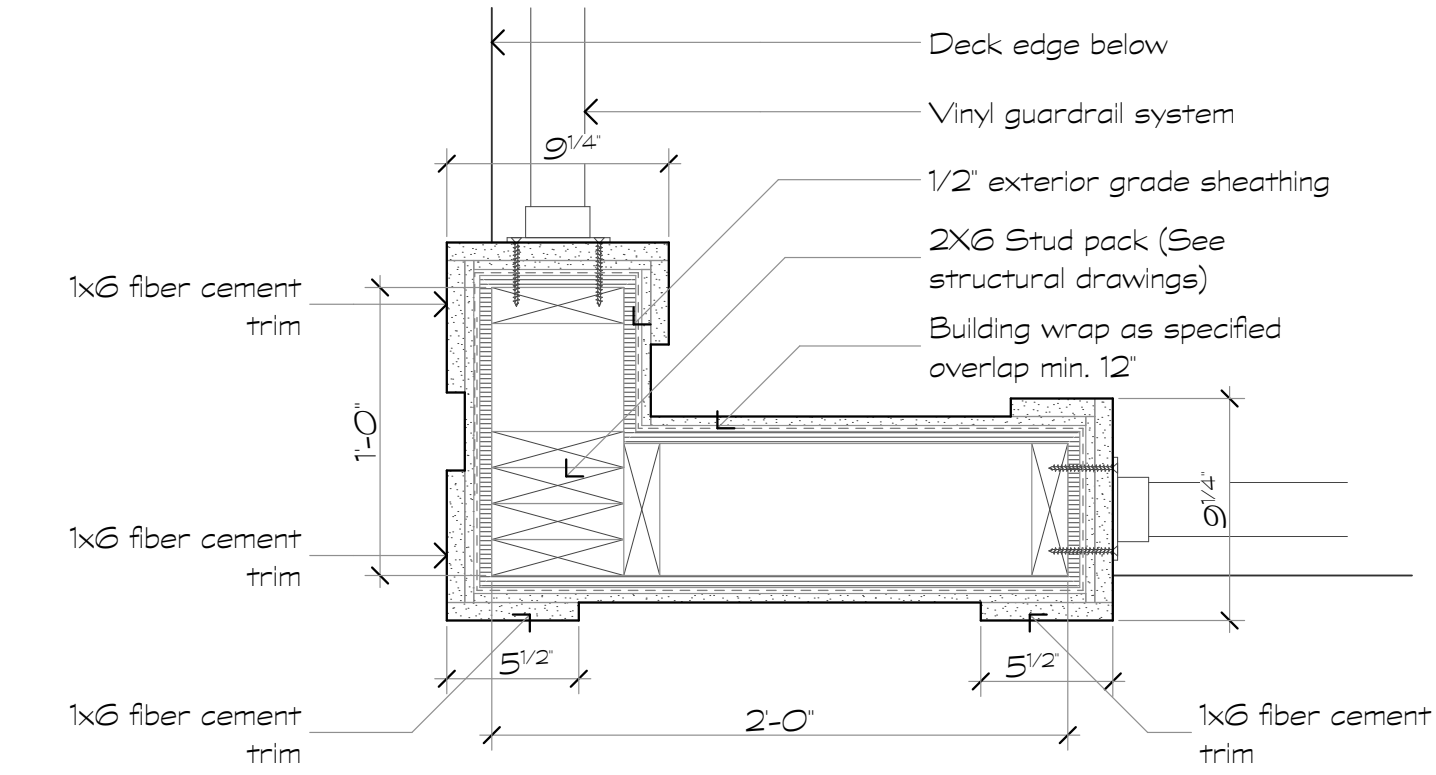
4 Tenant Separation 4 story
Scale: 1/2" = 1'-0"



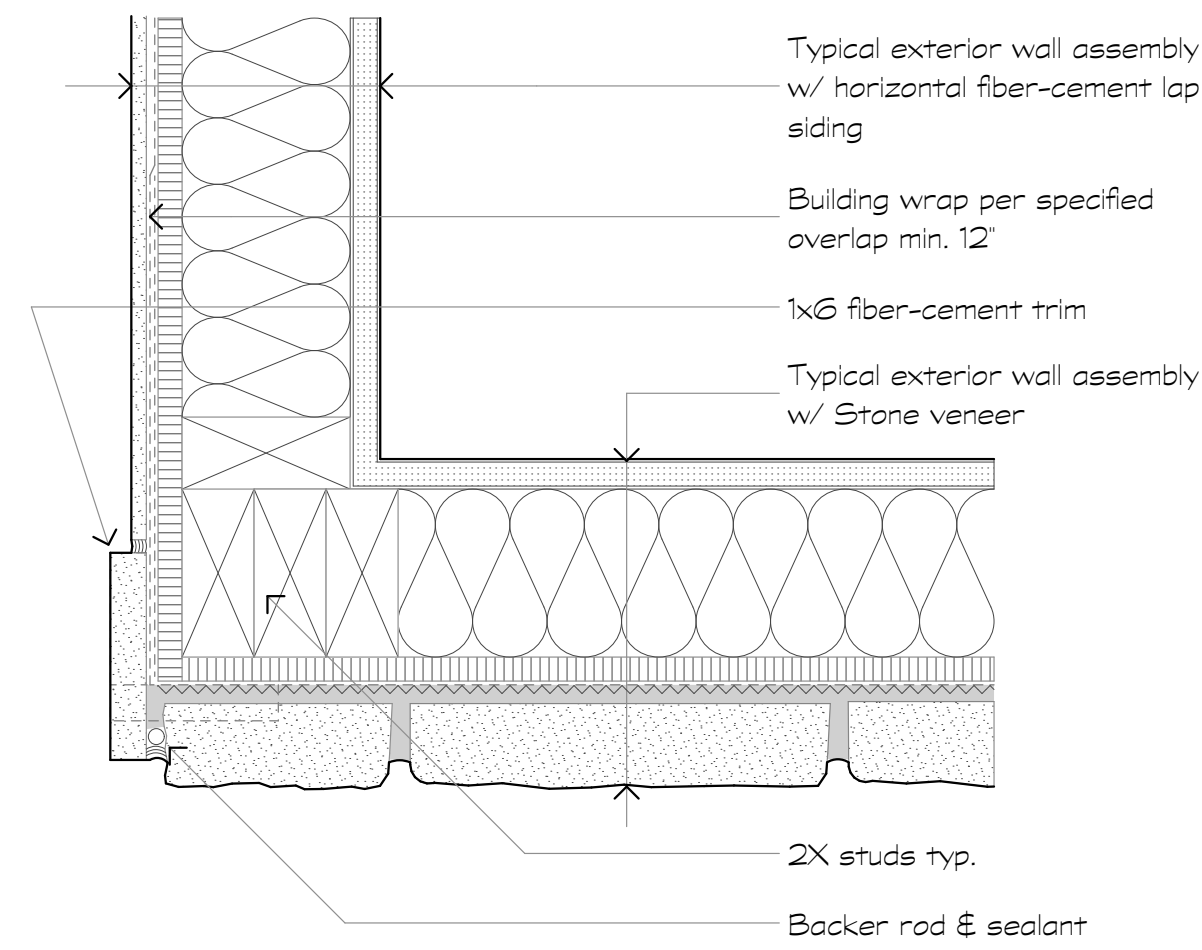
1 Stone Cap at Deck Column
Scale: 1/2" = 1'-0"



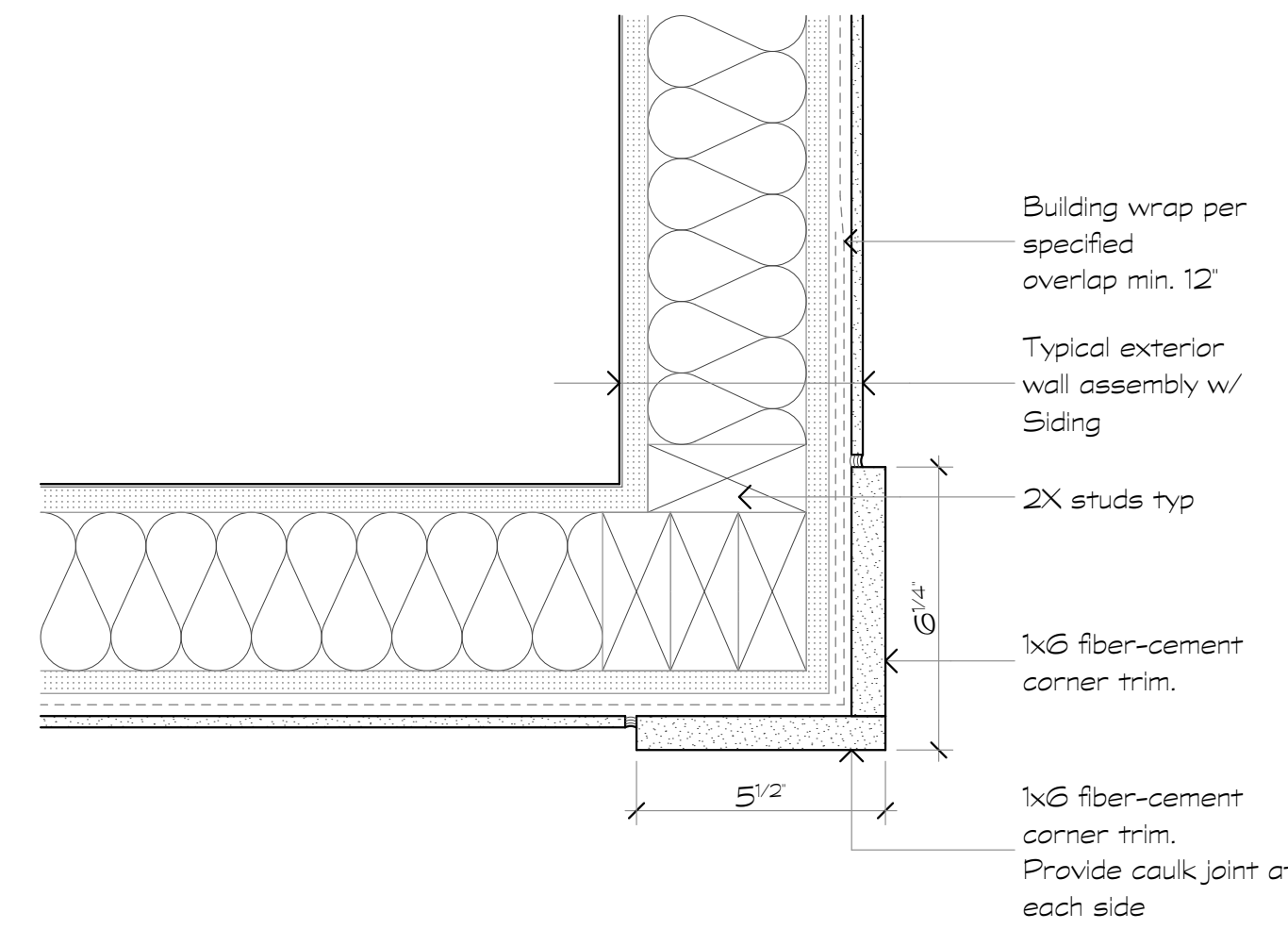
4 Deck Column at First Level
Scale: 1/2" = 1'-0"



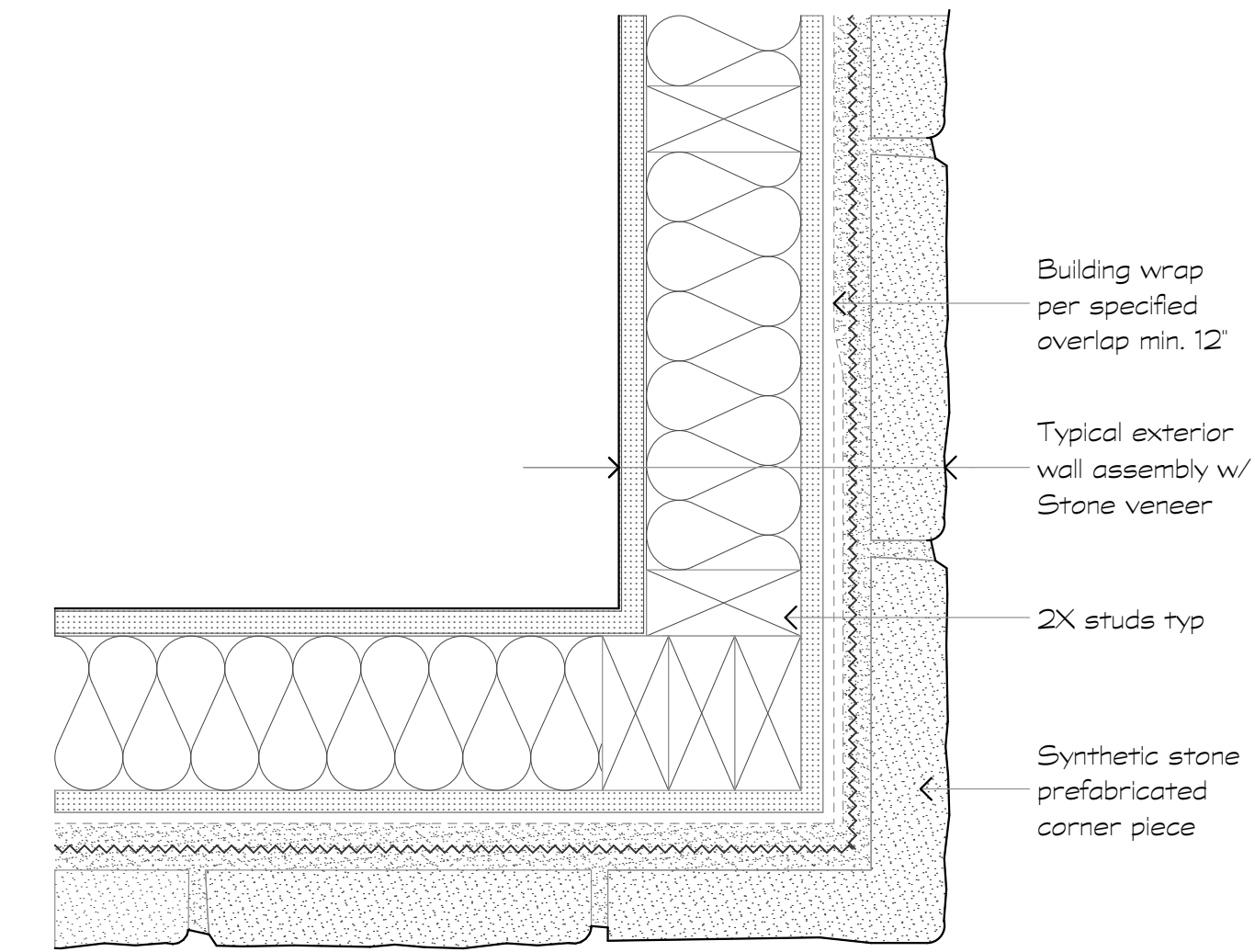
7 Deck Column at Upper Levels
Scale: 1/2" = 1'-0"



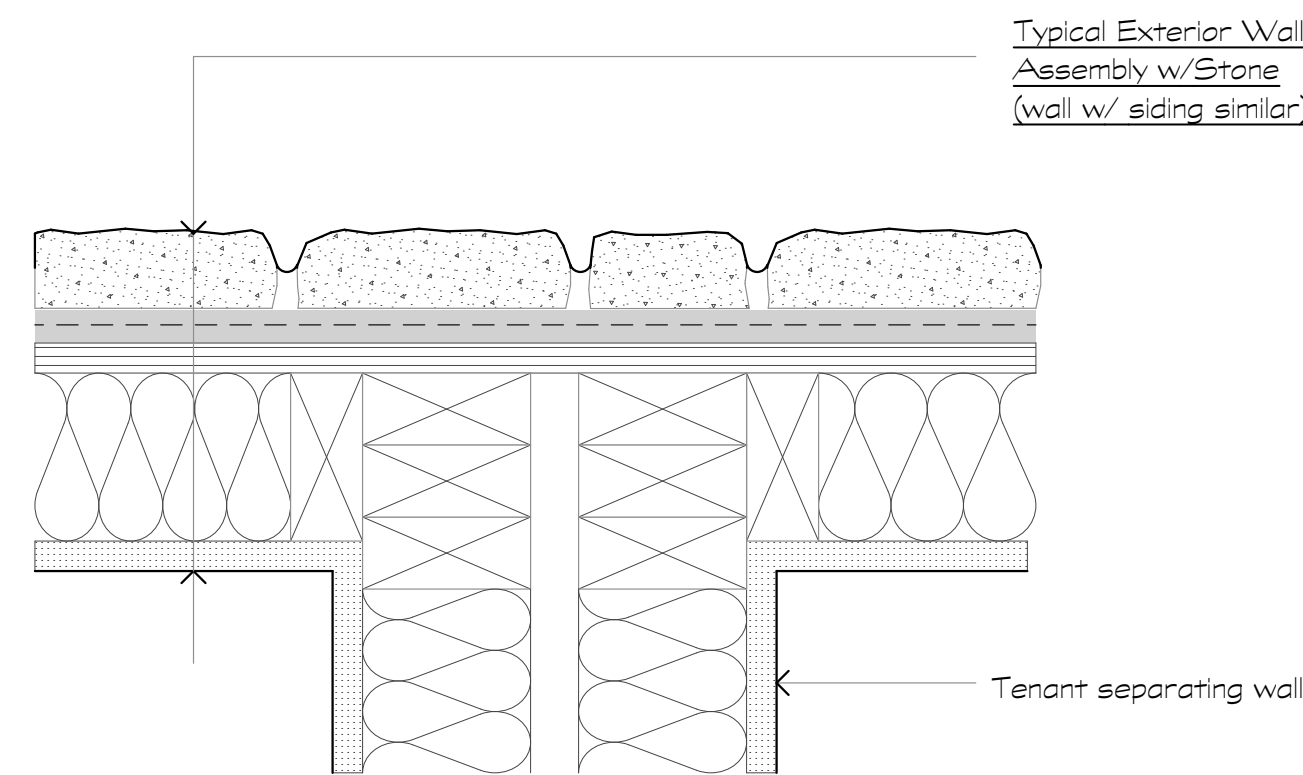
2 Breezeway Corner
Scale: 3/8" = 1'-0"



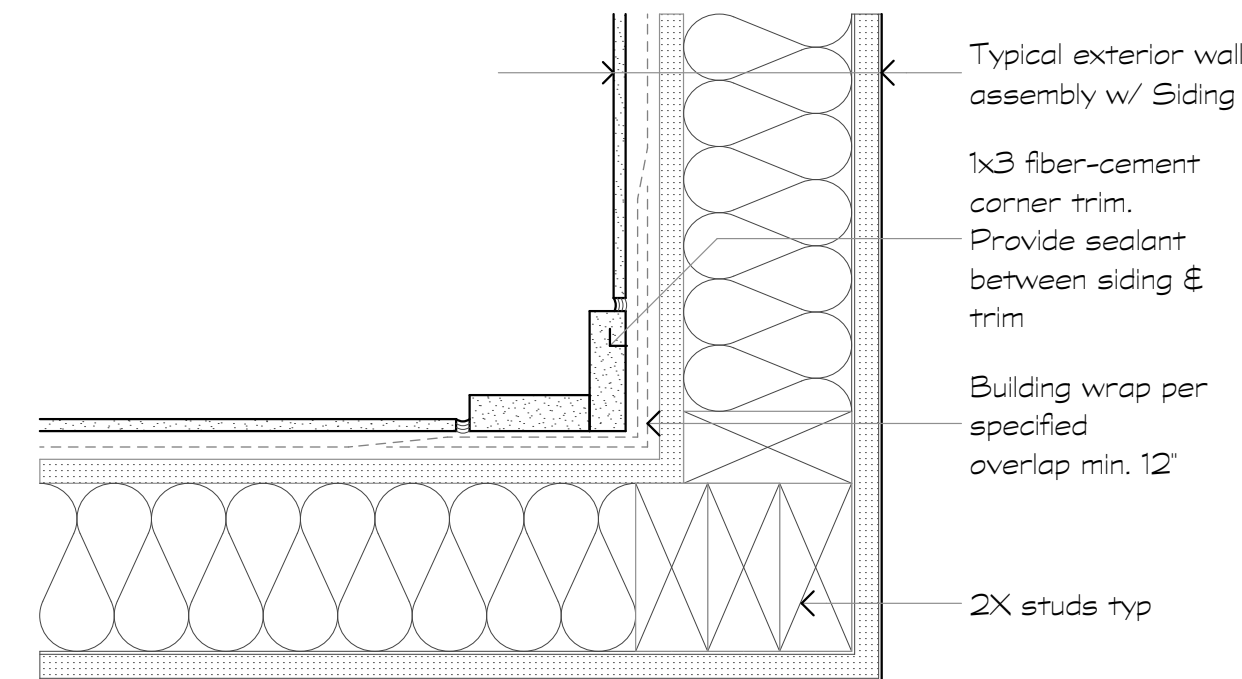
5 Outside Corner at Siding
Scale: 3/8" = 1'-0"



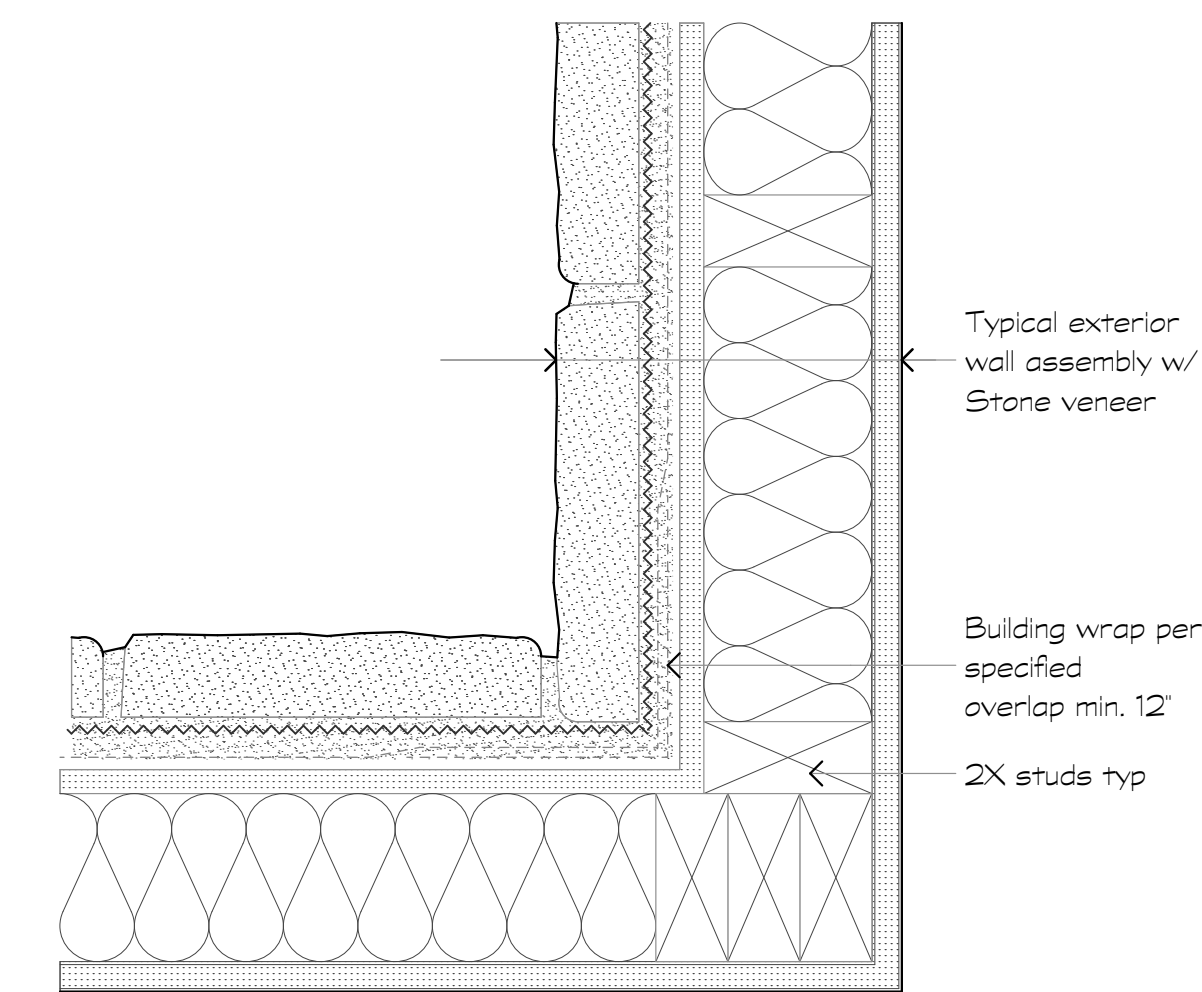
8 Outside Corner at Stone
Scale: 3/8" = 1'-0"



3 Stone at Tenant Separation
Scale: 3/8" = 1'-0"



6 Inside Corner at Siding
Scale: 3/8" = 1'-0"



9 Inside Corner Stone
Scale: 3/8" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Details

Date:
September 30, 2022

Sheet Number:

A6.6

Revisions:

Date: Description:

09.24.19 A. ASI #2: Waterproofing

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

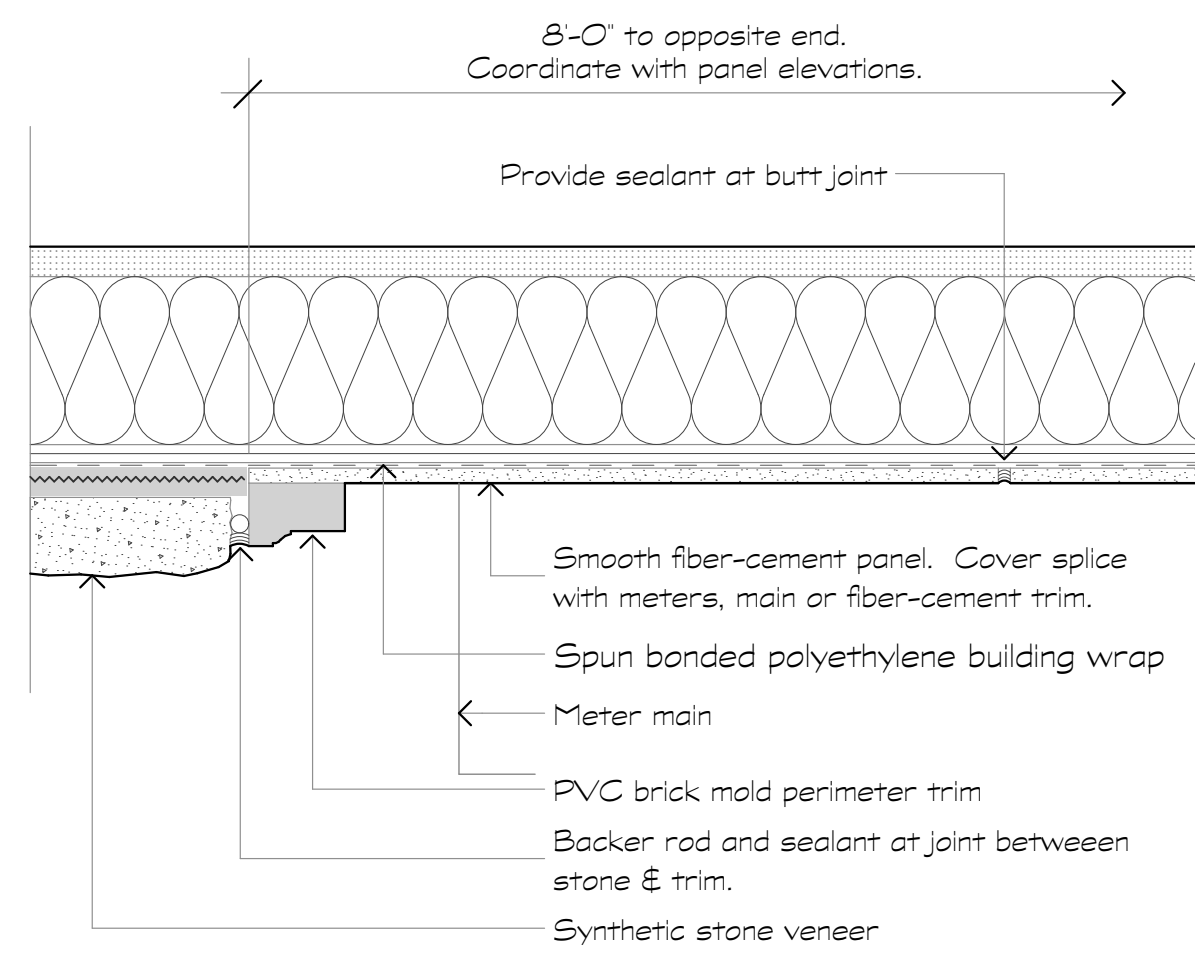
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title: Details

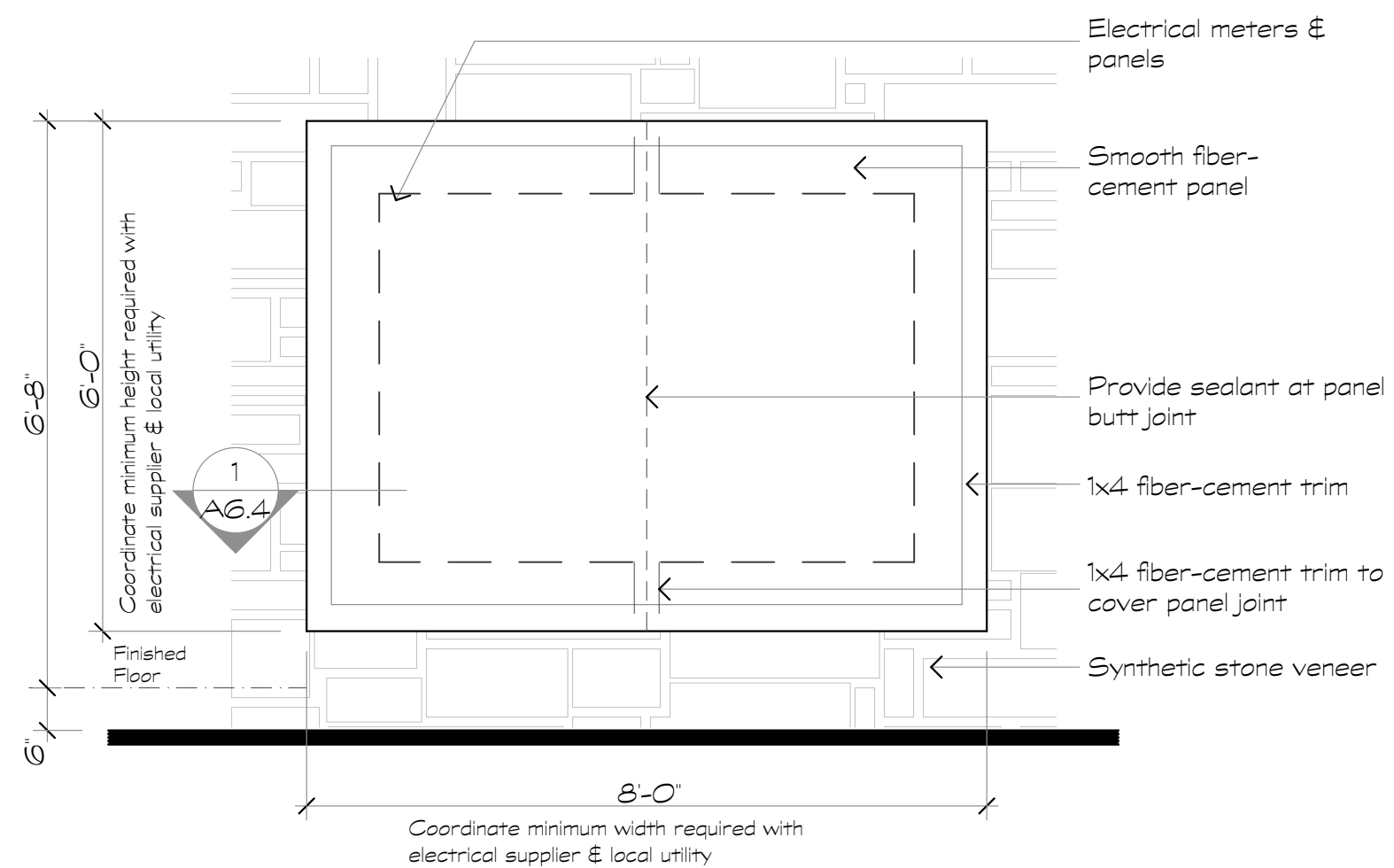
Date: September 30, 2022

Sheet Number:

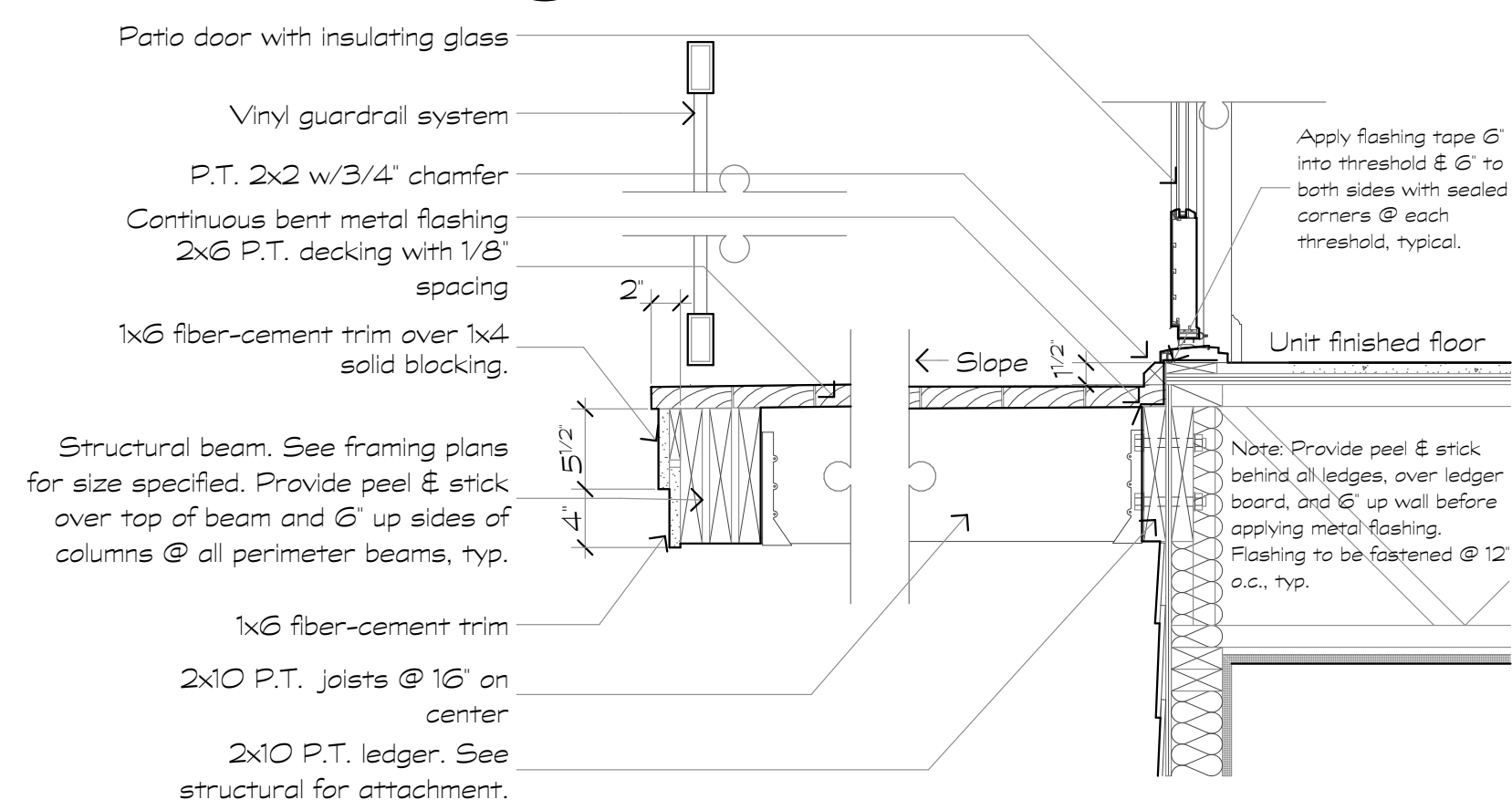
A6.7



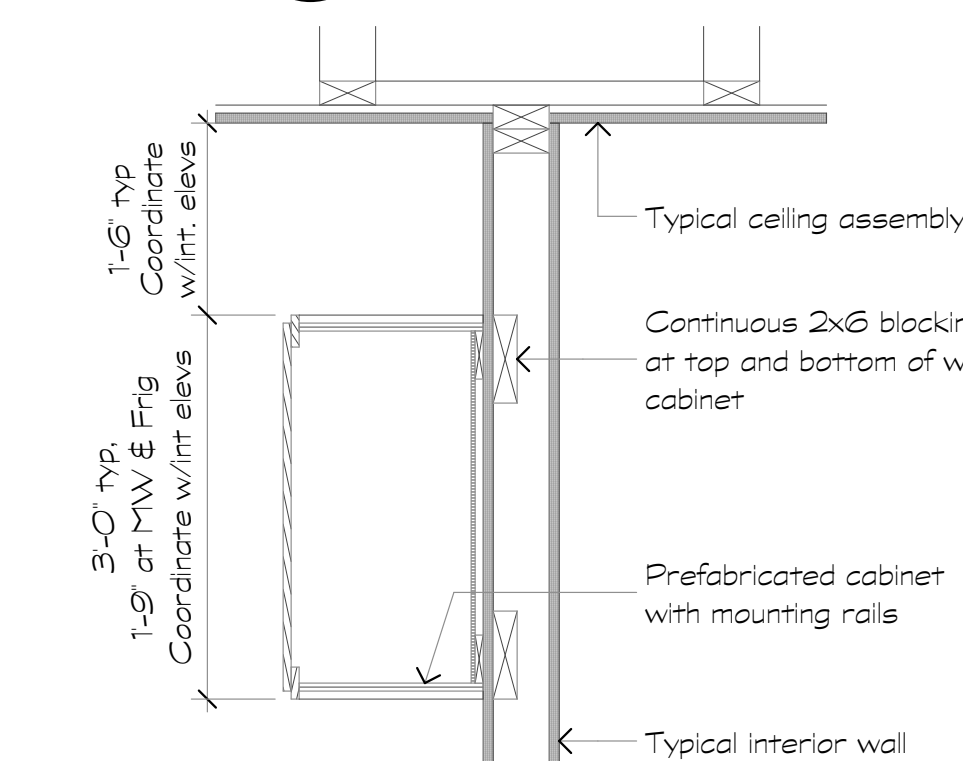
1 Electric Panel Recess Detail
Scale: 3/8" = 1'-0"



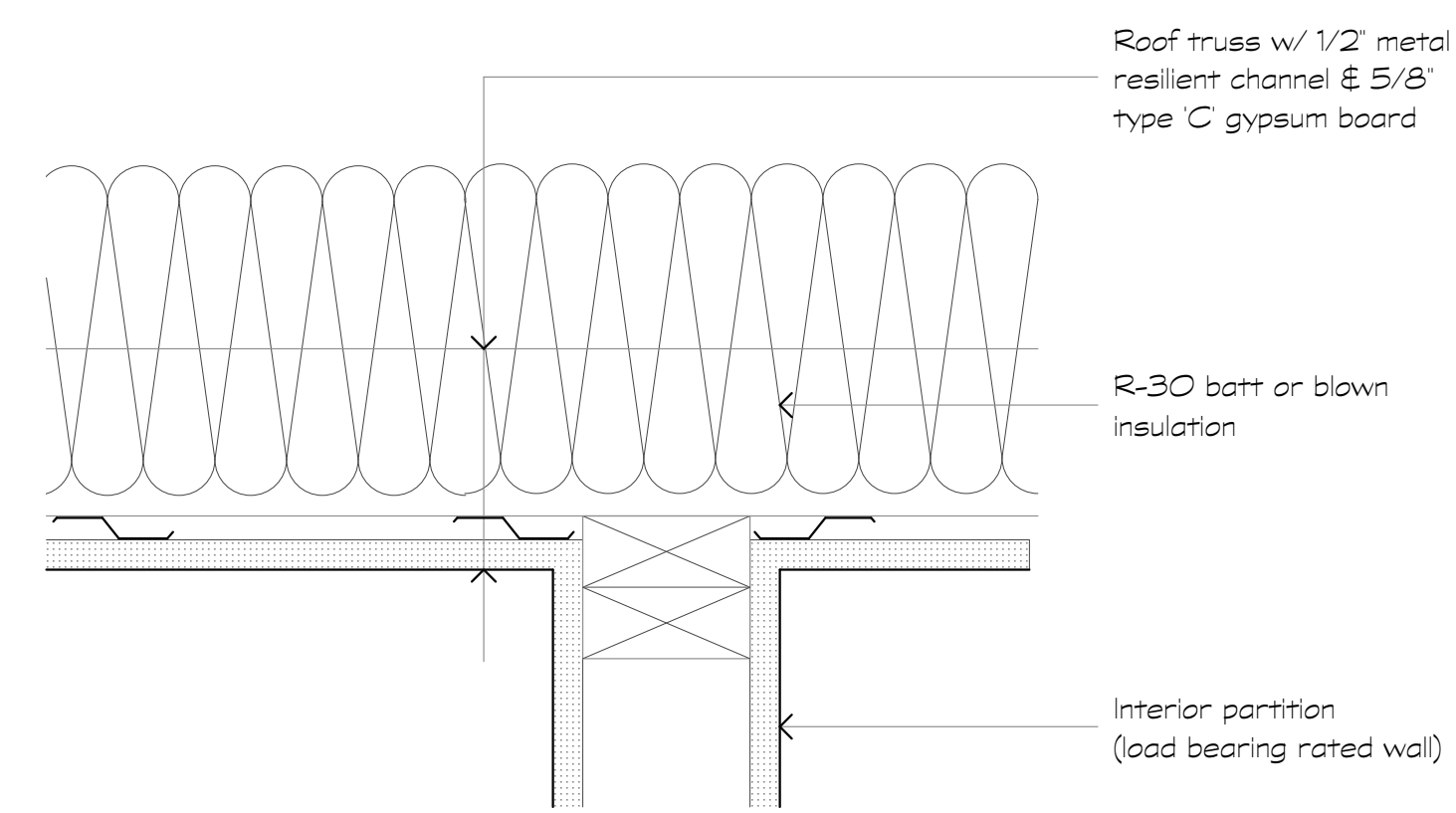
2 Electric Panel Recess
Scale: 1/2" = 1'-0"



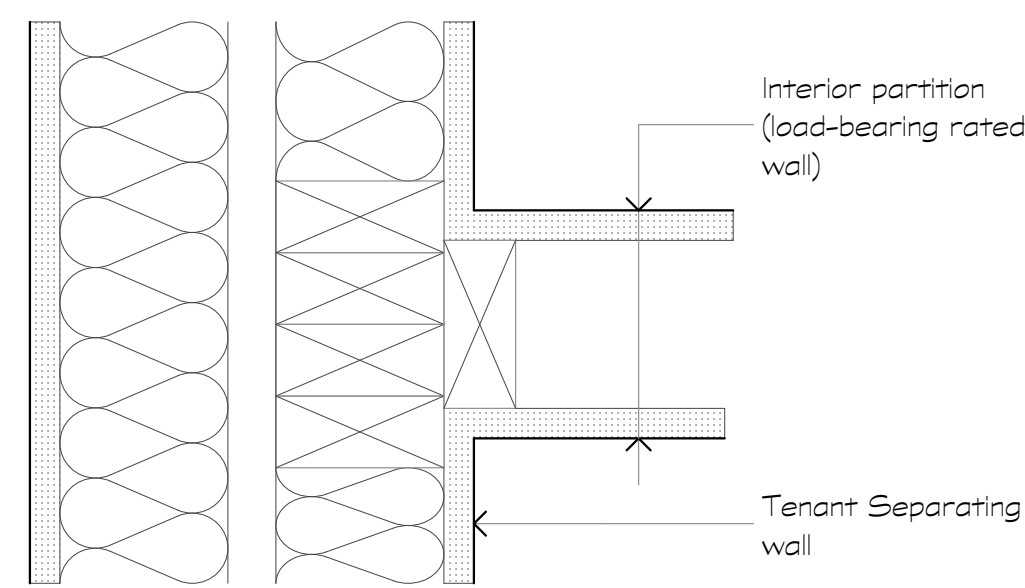
3 Deck Edge Detail
Scale: 1" = 1'-0"



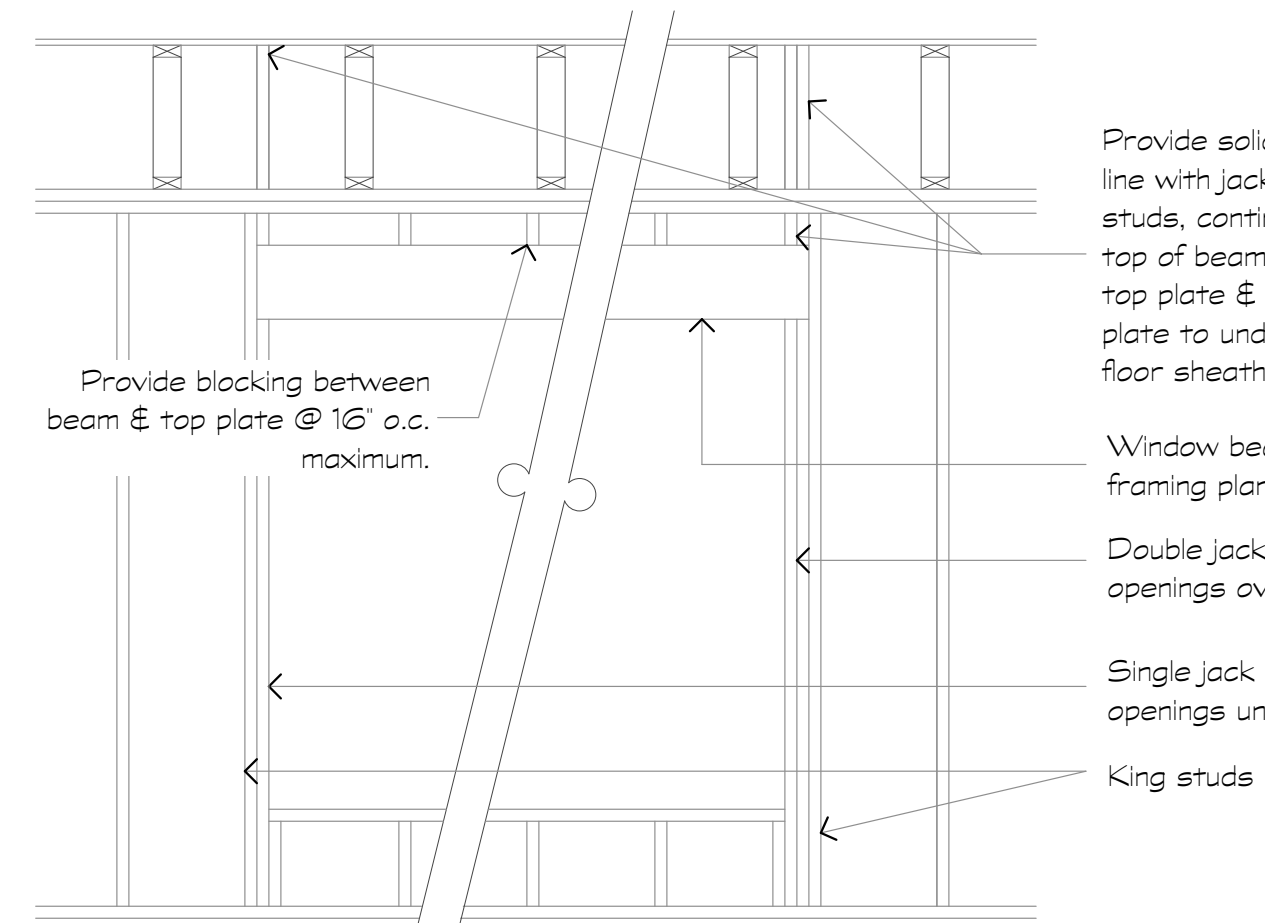
4 Wall Cabinet Blocking
Scale: 1" = 1'-0"



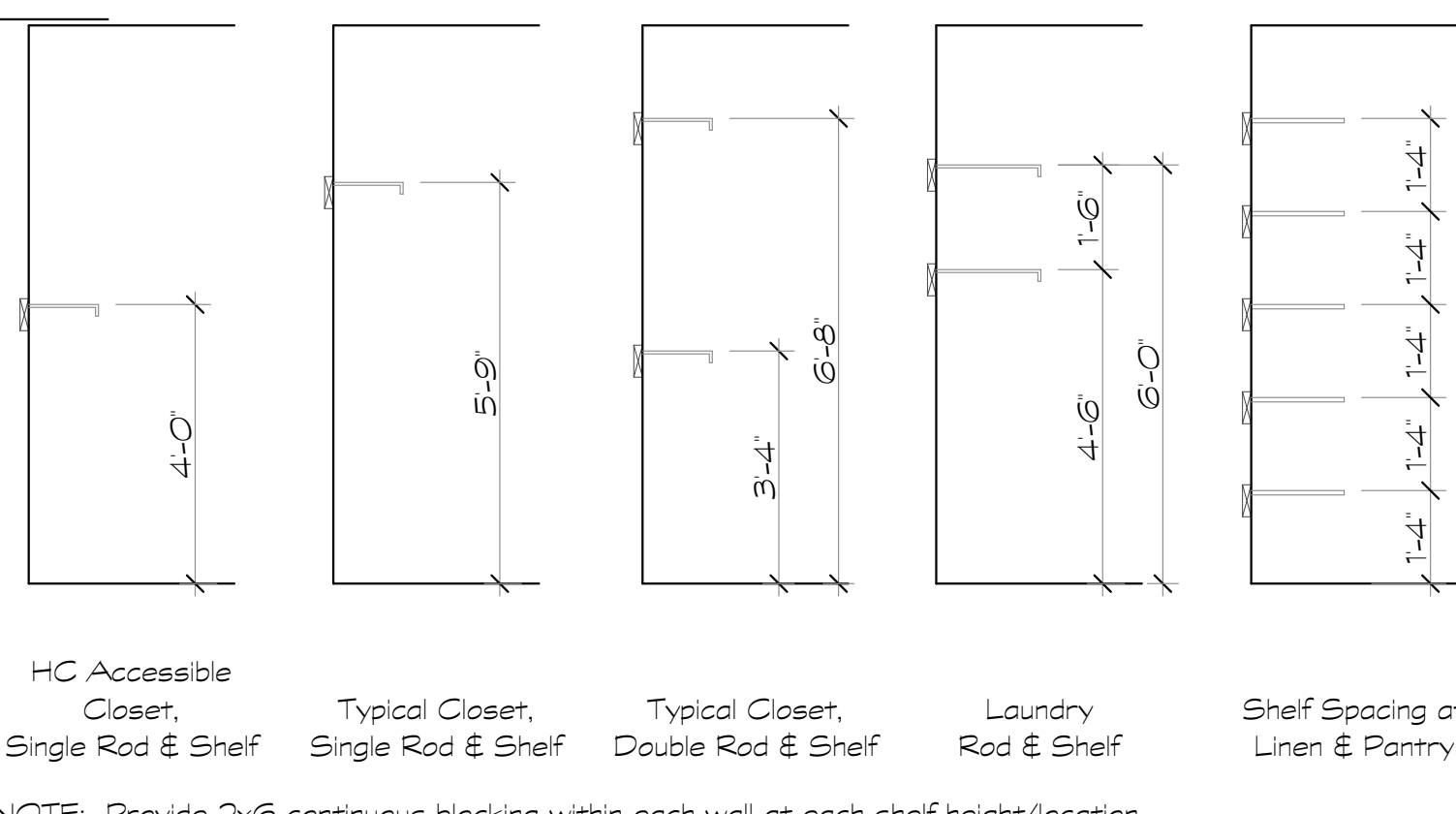
5 Int. Partition at Ceiling
Scale: 3/8" = 1'-0"



6 Int. Partition at Tenant Sep.
Scale: 3/8" = 1'-0"

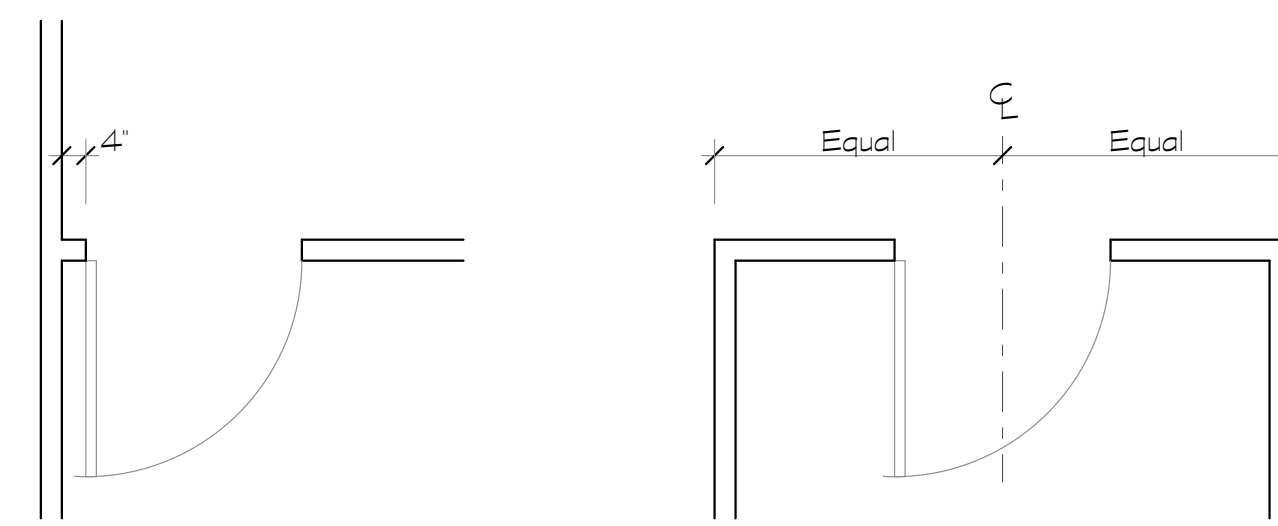


7 Window Framing Detail
Scale: 1/2" = 1'-0"

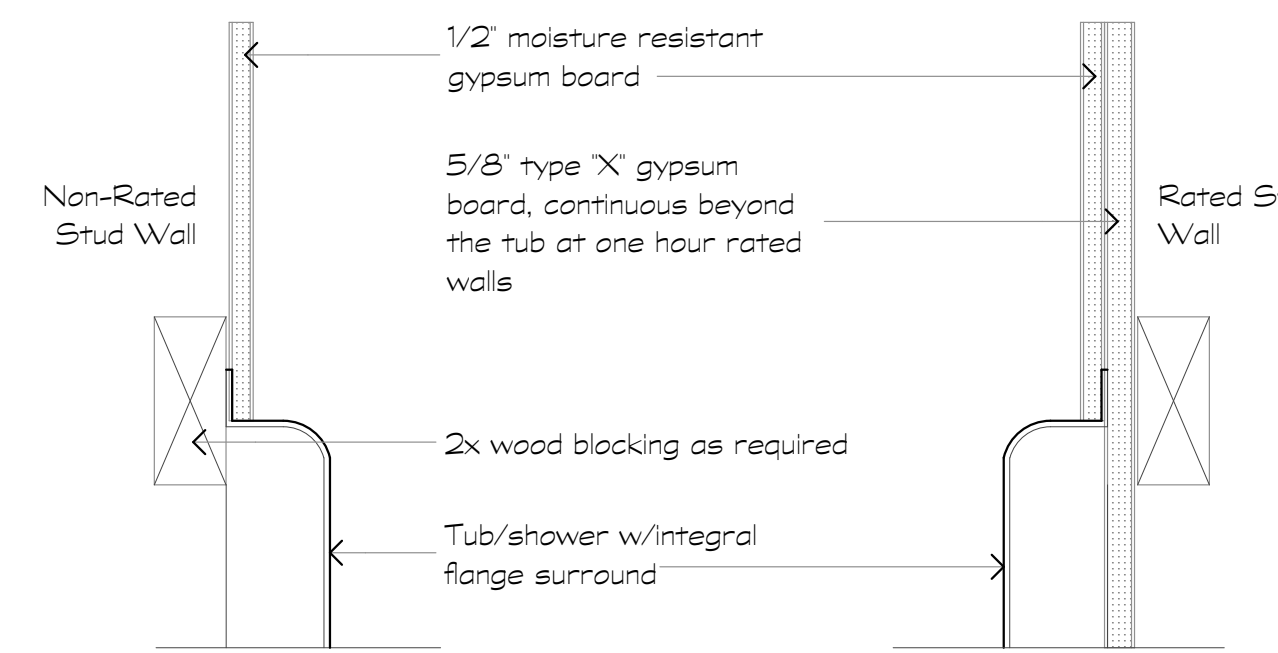


NOTE: Provide 2x6 continuous blocking within each wall at each shelf height/location.

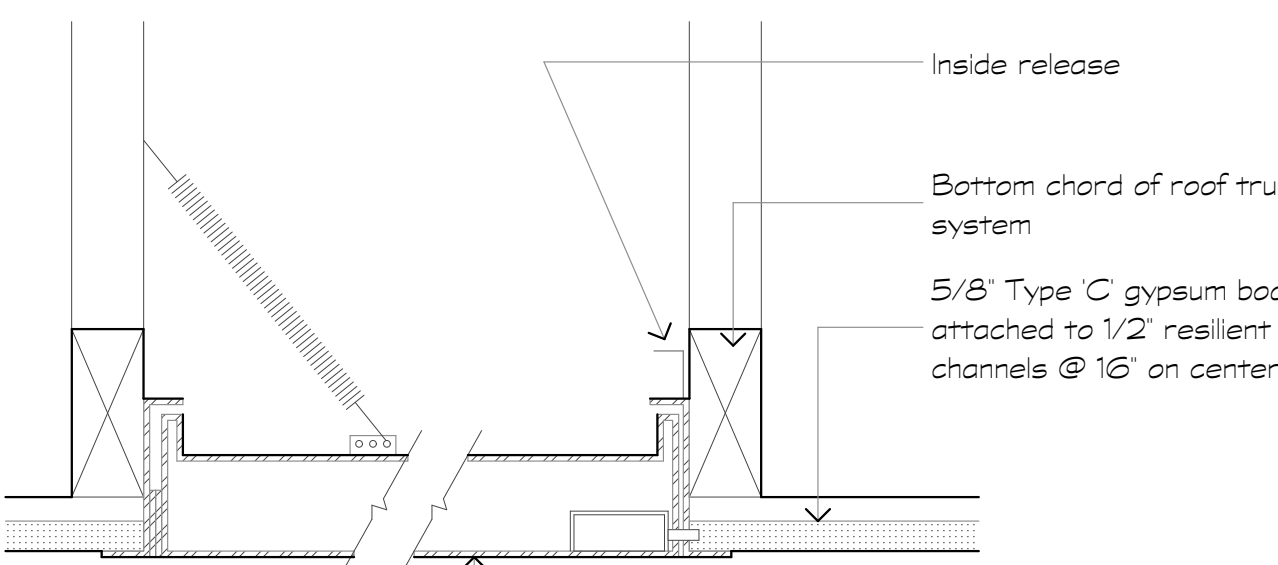
8 Shelf Mounting Detail
Scale: 3/8" = 1'-0"



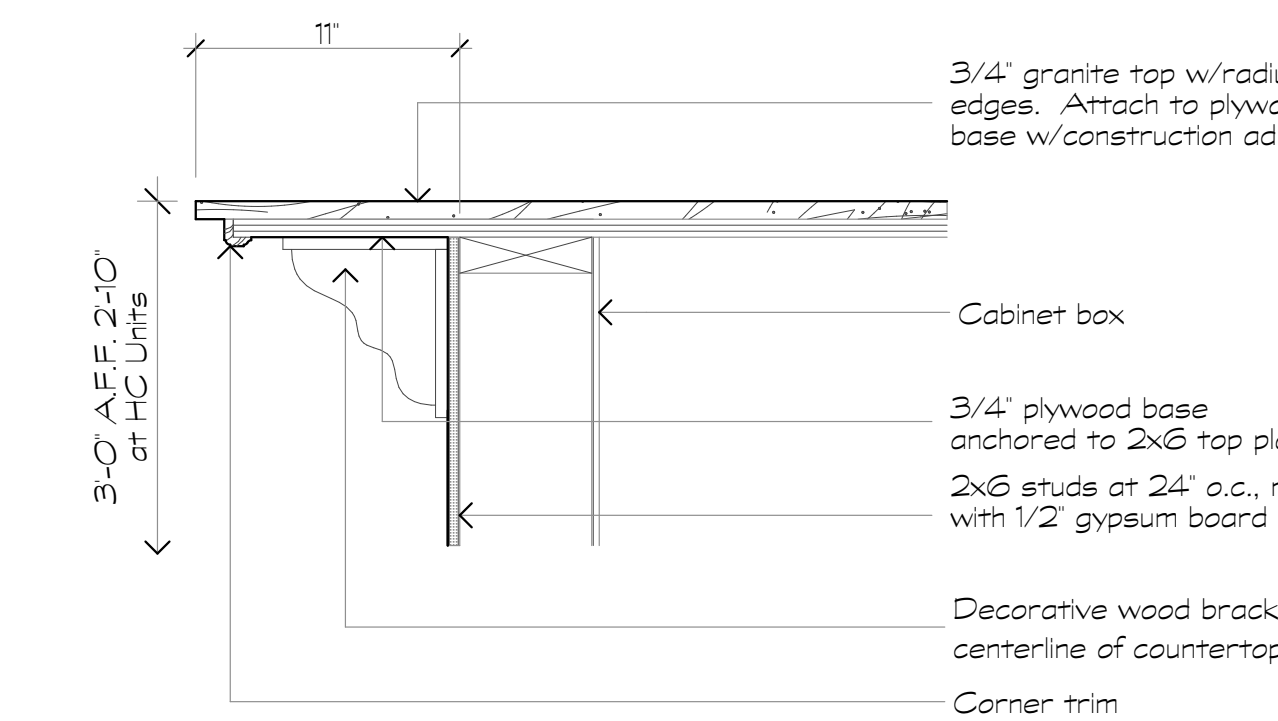
9 Typ. Int. Door Placement
Scale: 3/8" = 1'-0"



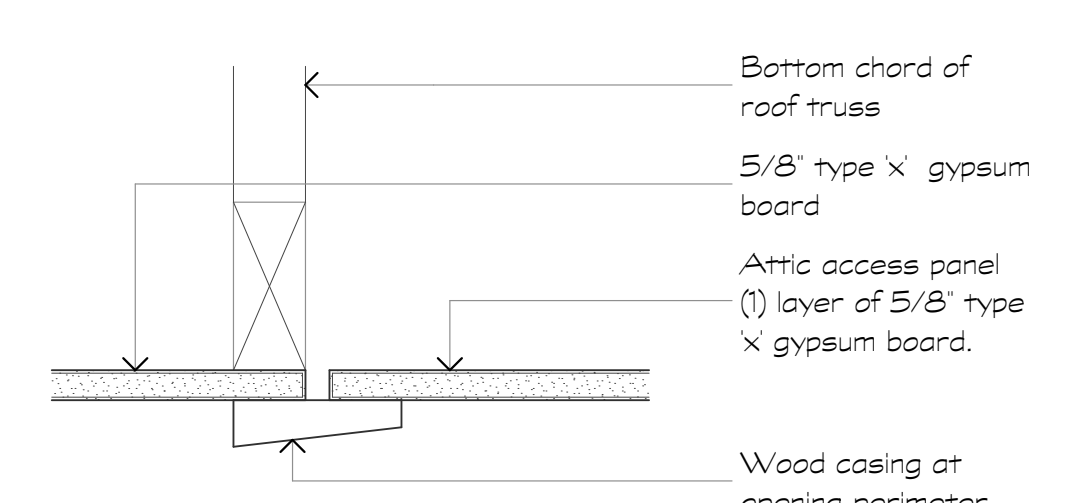
10 Gyp. Bd. at Tub Surround
Scale: 3/8" = 1'-0"



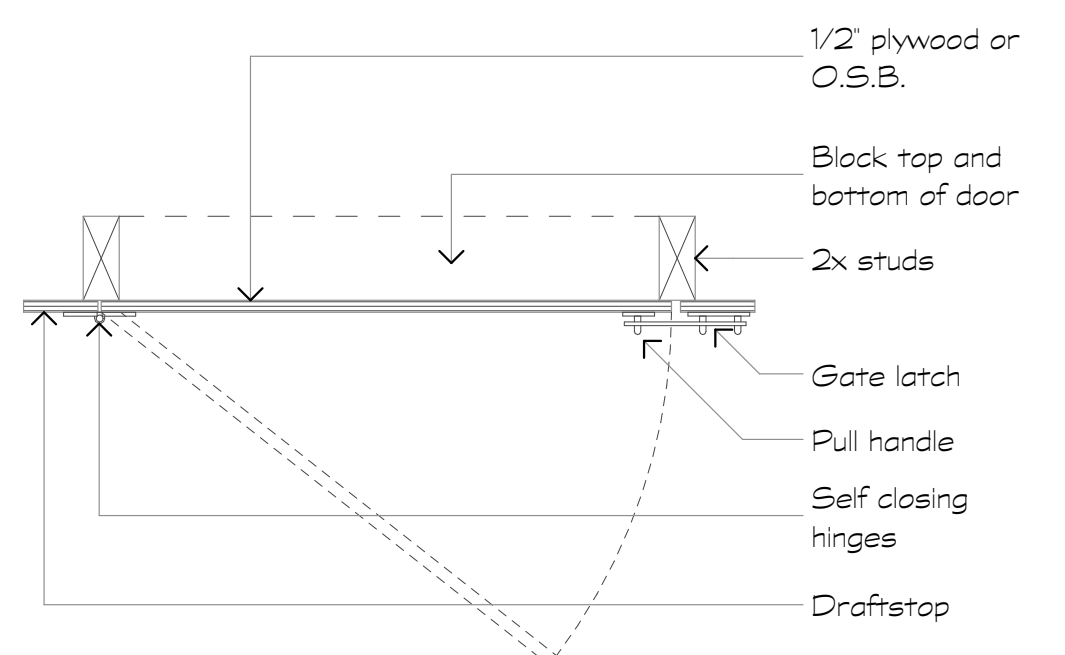
11 Attic Access Panel Units
Scale: 3/8" = 1'-0"



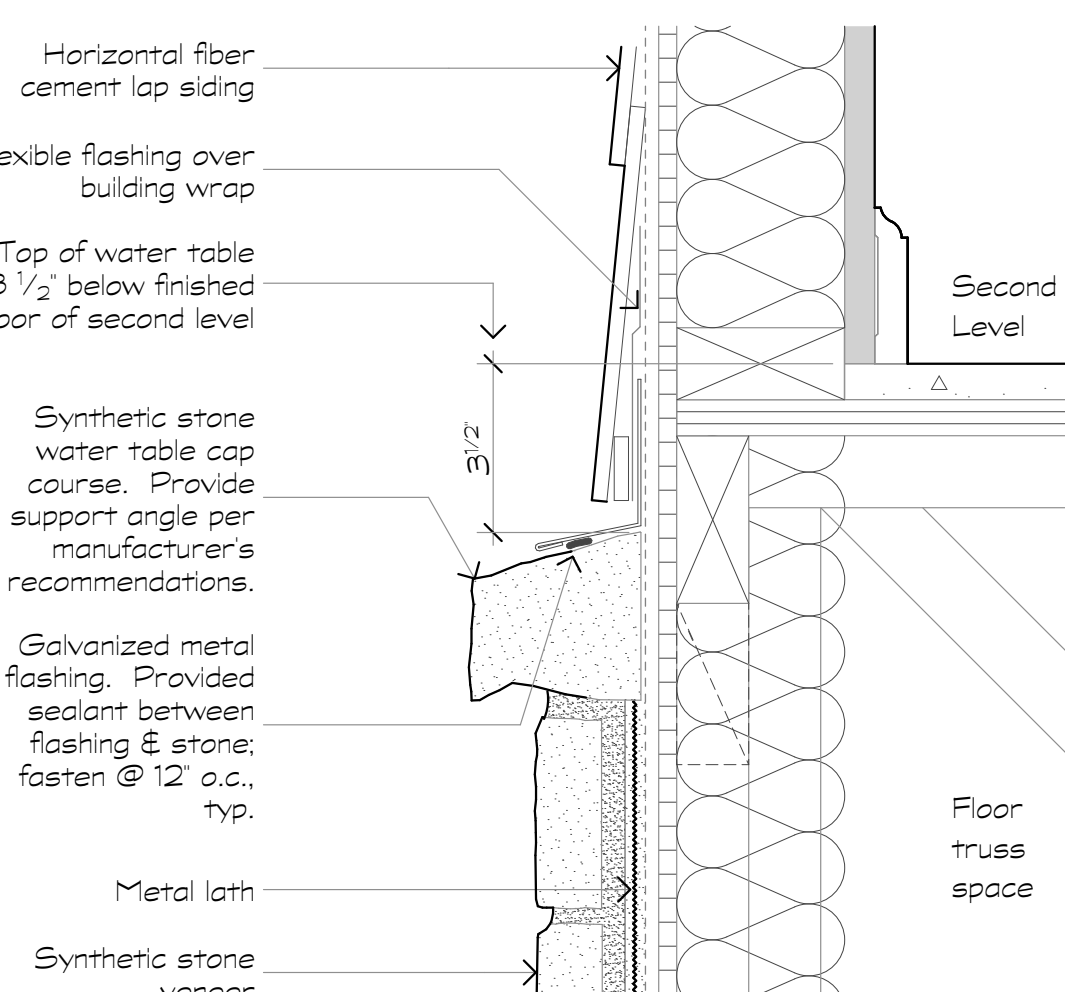
12 Extended Flush Countertop
Scale: 1/2" = 1'-0"



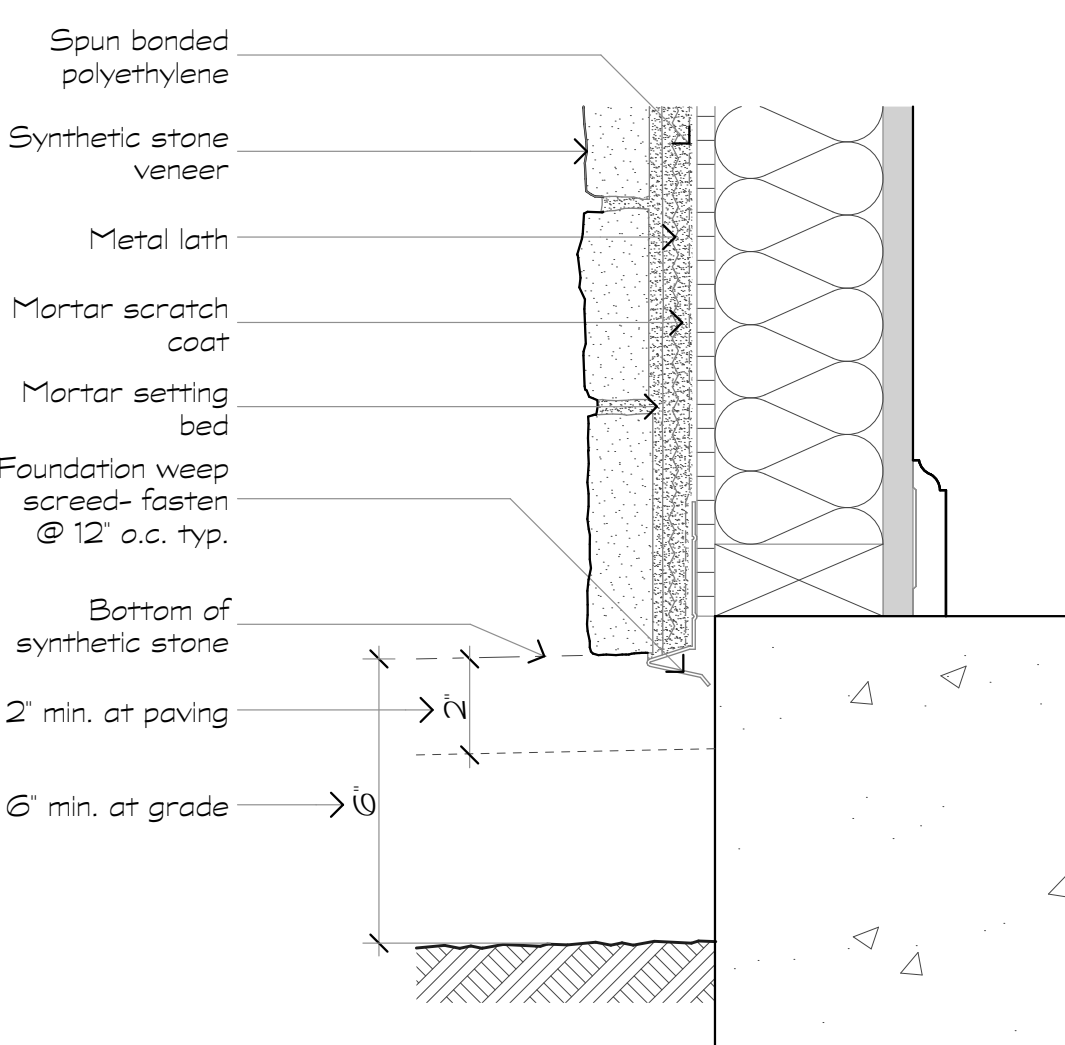
13 Attic Access Maint./Lease
Scale: 3/8" = 1'-0"



14 Attic Compartment Door
Scale: 1/2" = 1'-0"



14 Sliding-Stone Transition
Scale: 3/8" = 1'-0"



15 Stone at Grade
Scale: 3/8" = 1'-0"

Revisions:

Date:	Description:
09.24.19	A. ASI #2: Waterproofing

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

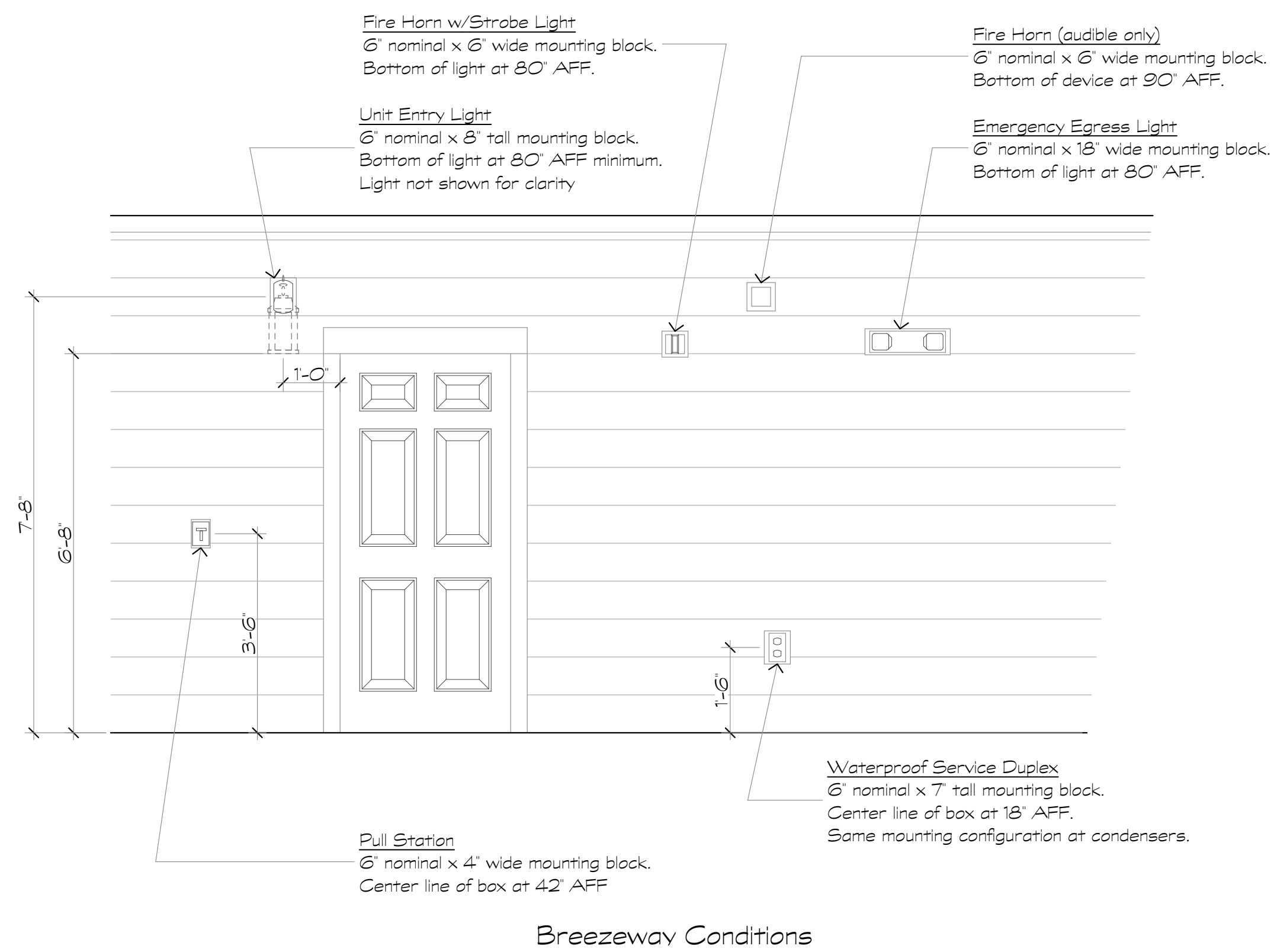
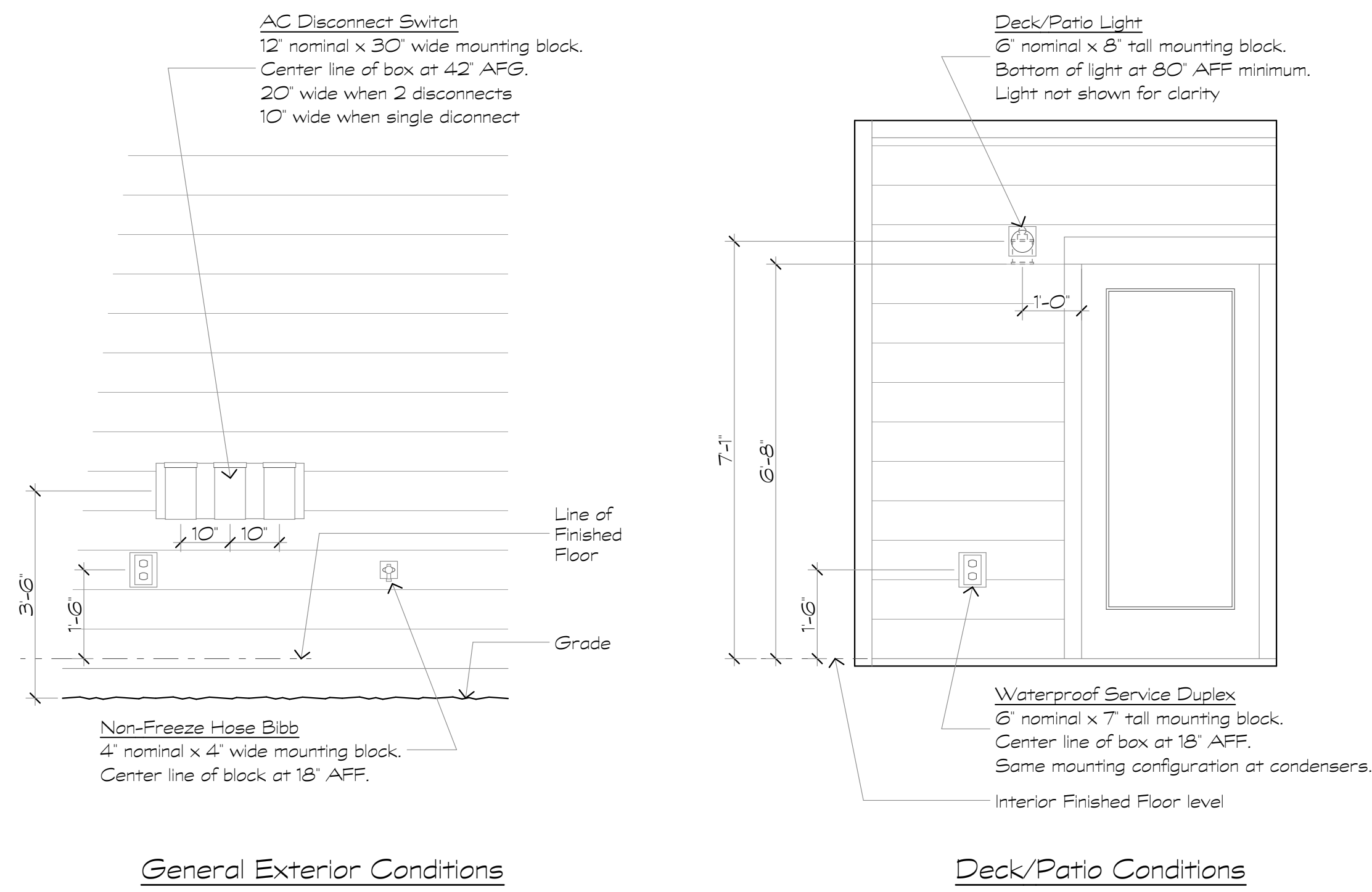
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title: Details

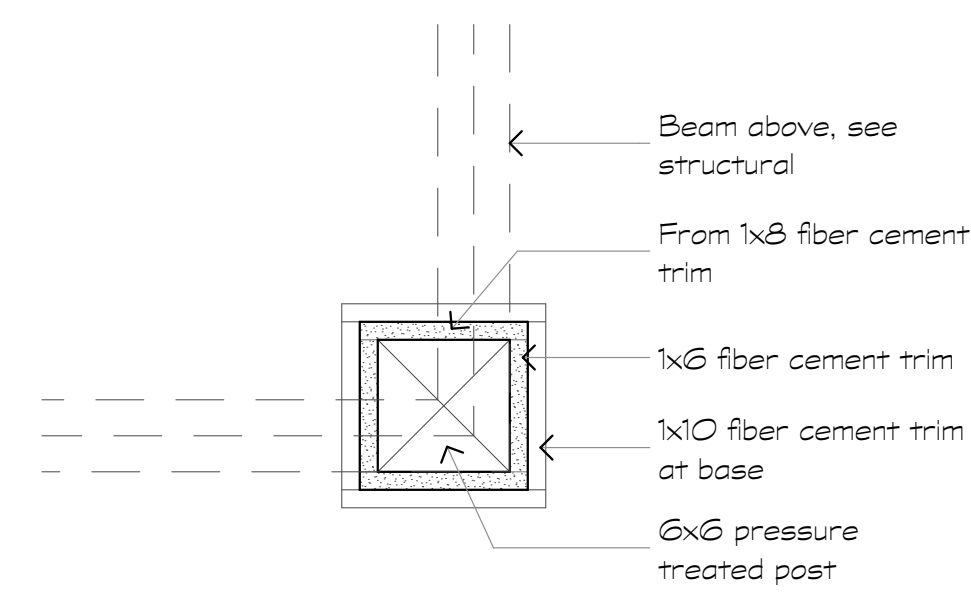
Date: September 30, 2022

Sheet Number:

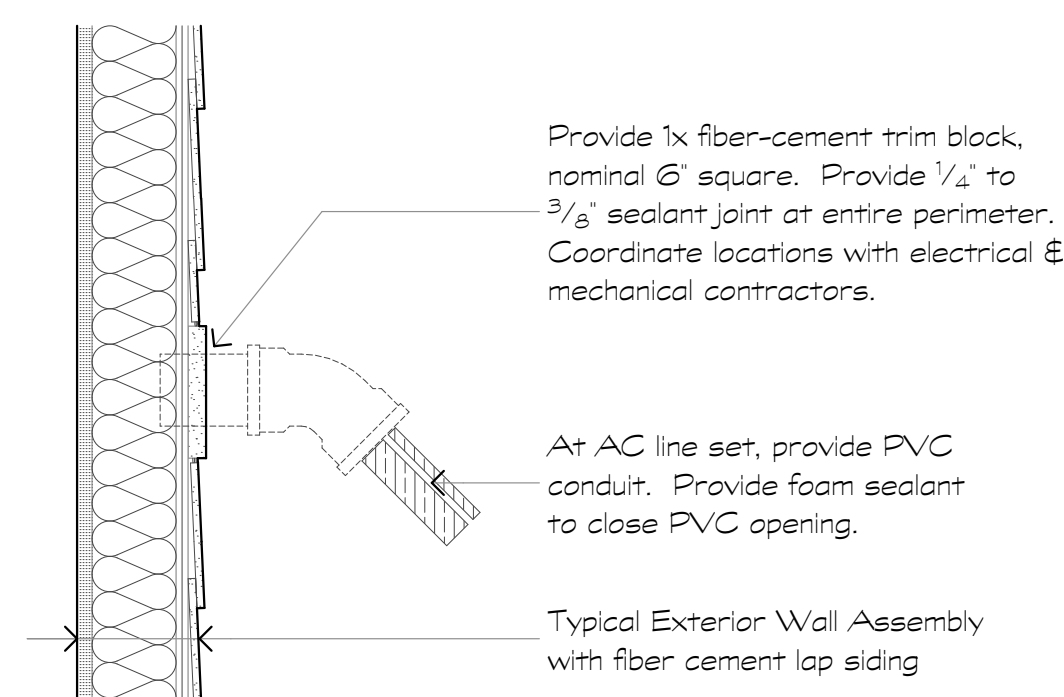
A6.8



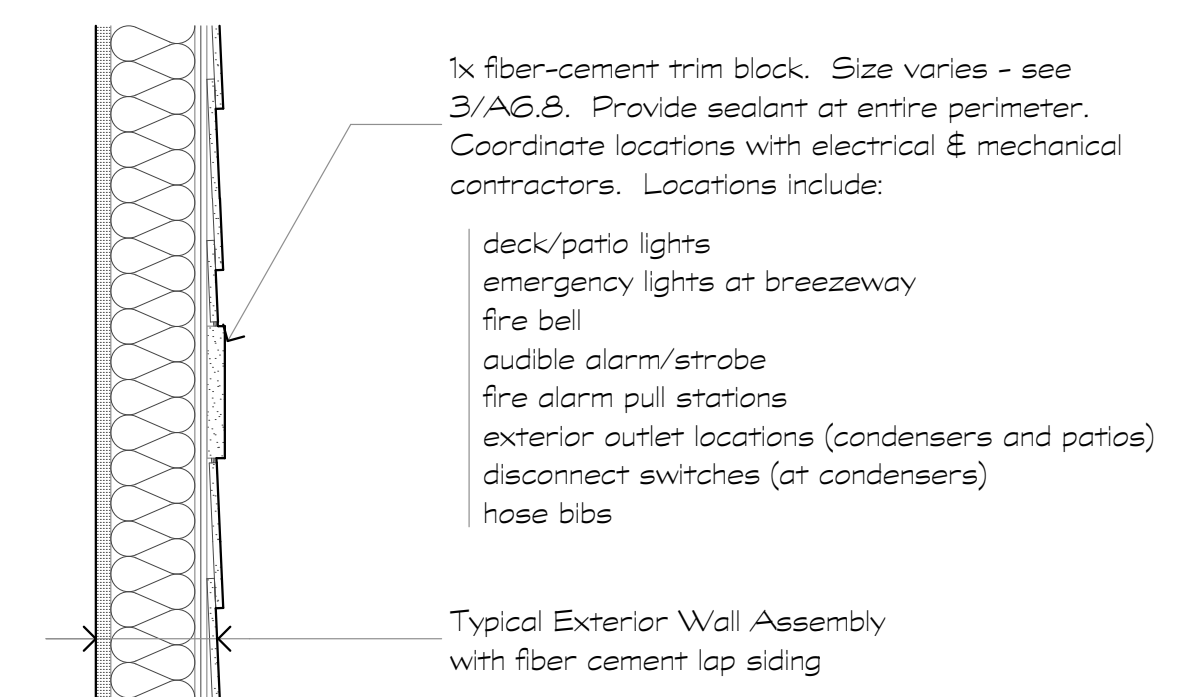
1 Backer Blocks Locations
Scale: 1/2" = 1'-0"



4 Column Detail
Scale: 1/2" = 1'-0"



5 HVAC Line Set at Ext. Wall
Scale: 1/2" = 1'-0"



6 Backer at Siding
Scale: 1/2" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

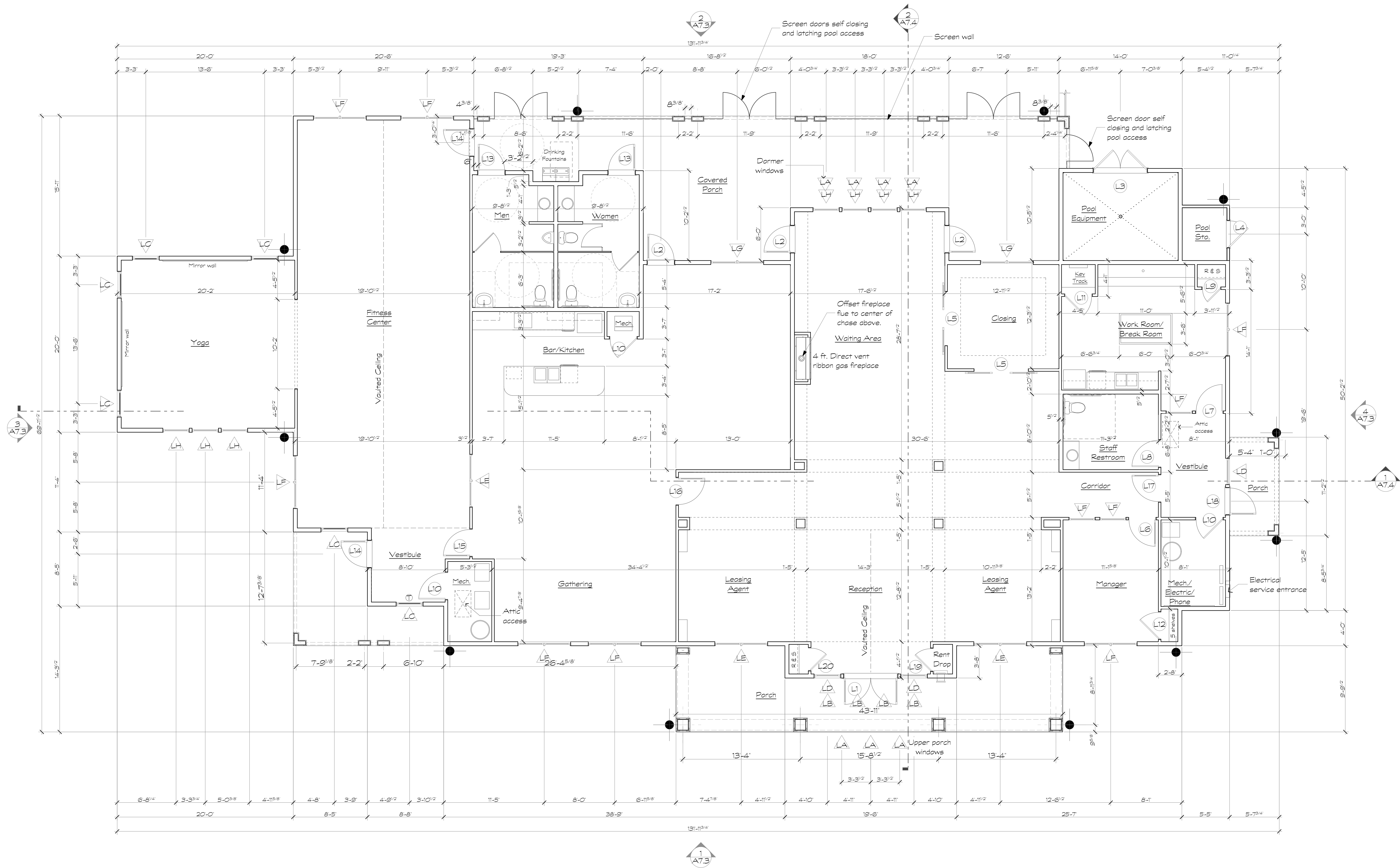
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Lease Center, Plan

Date:
September 30, 2022

Sheet Number:

A7.1



1 Lease Center - Plan
Scale: 3/16" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

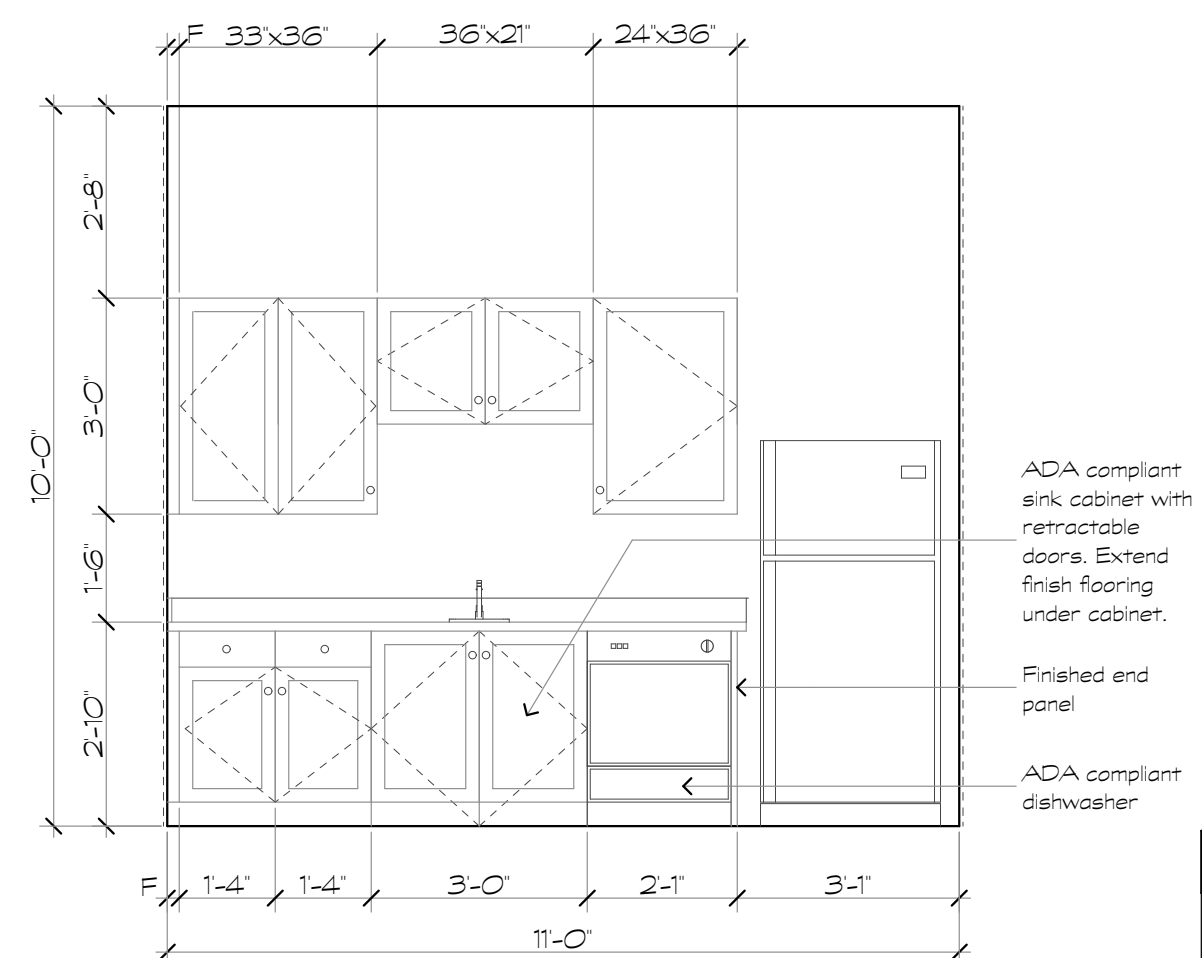
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Lease Center, RCP, Interior Elevations

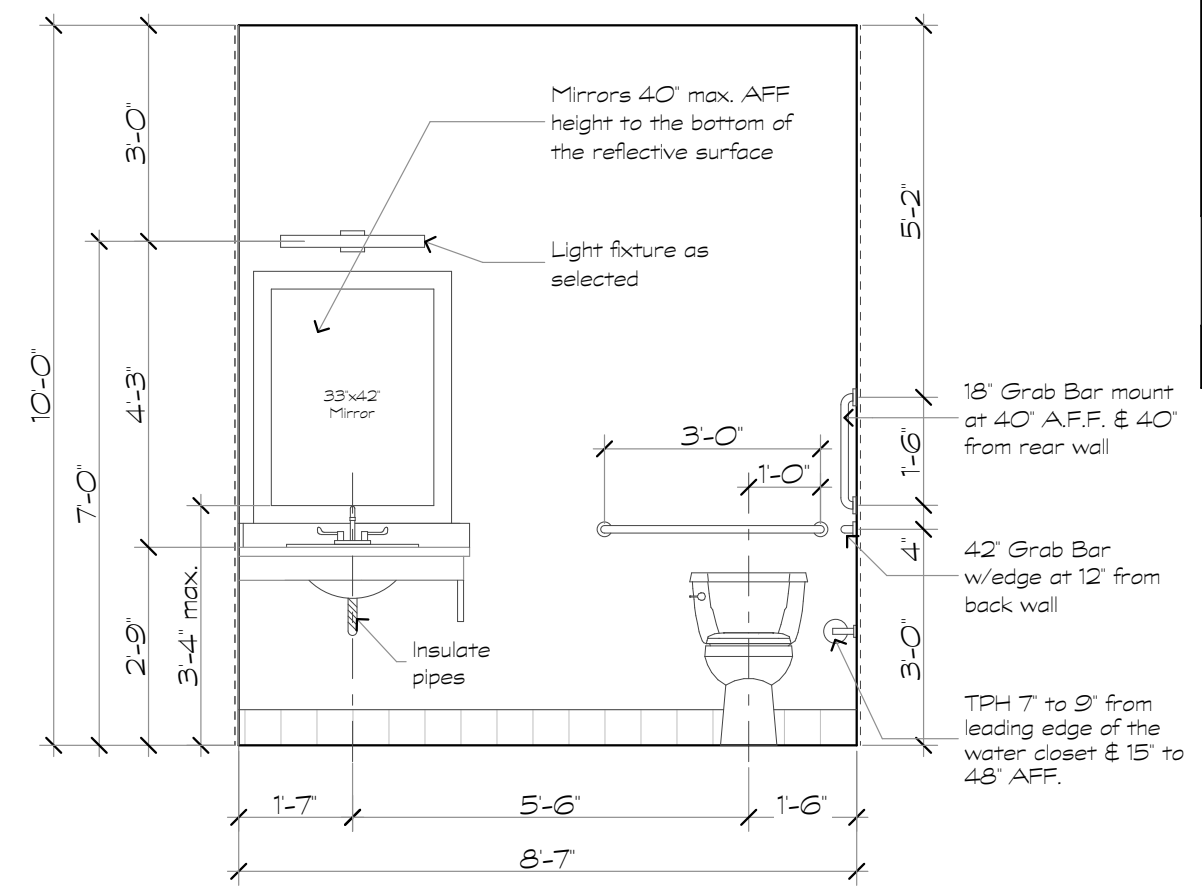
Date:
September 30, 2022

Sheet Number:

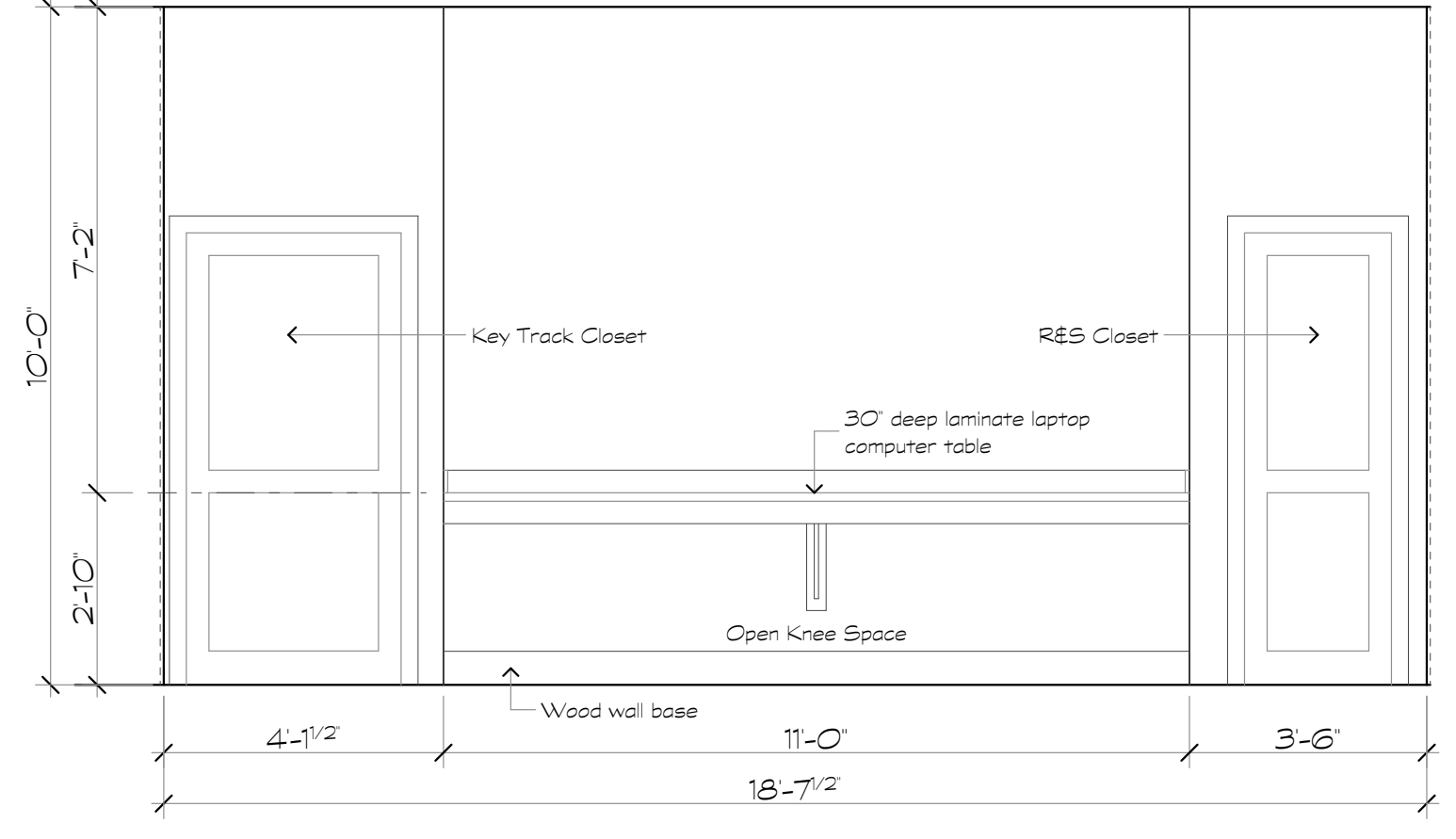
A7.2



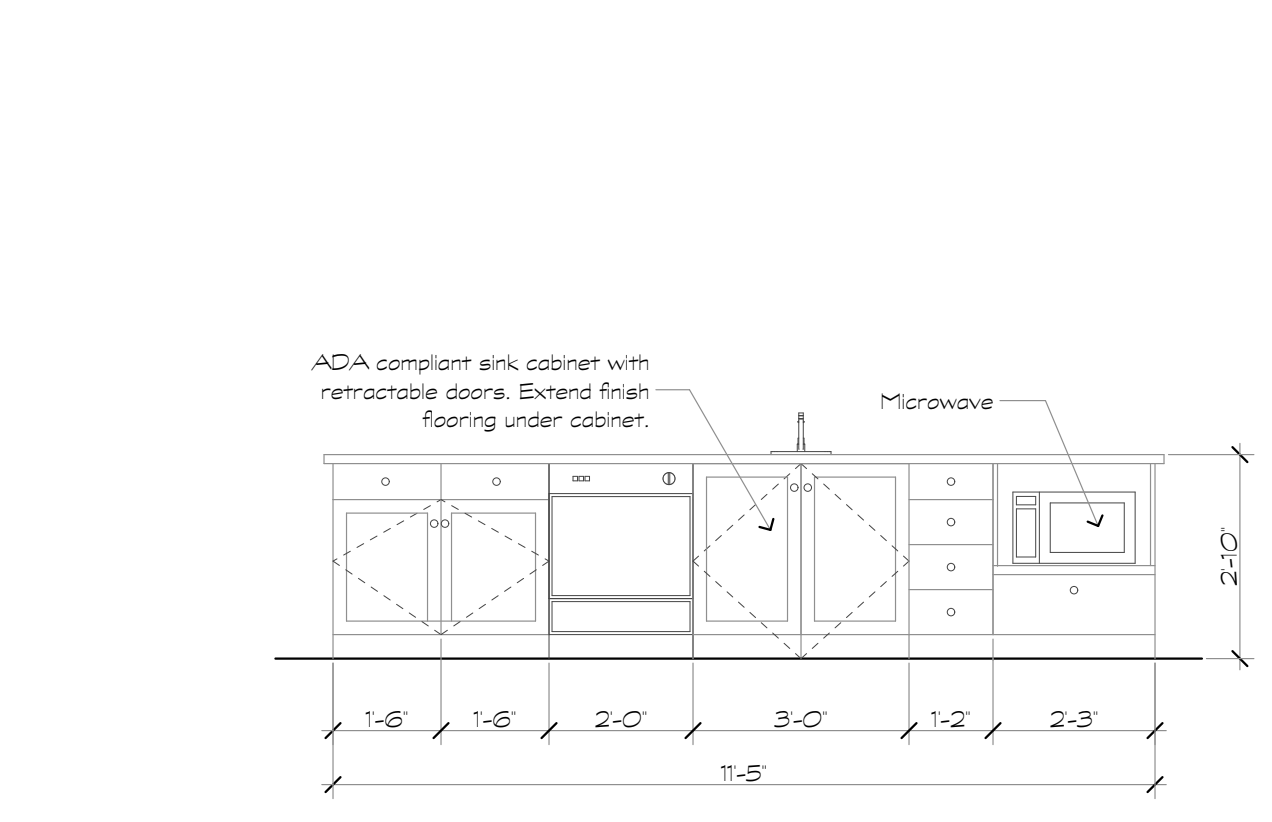
1 Break Room
Scale: 3/8" = 1'-0"



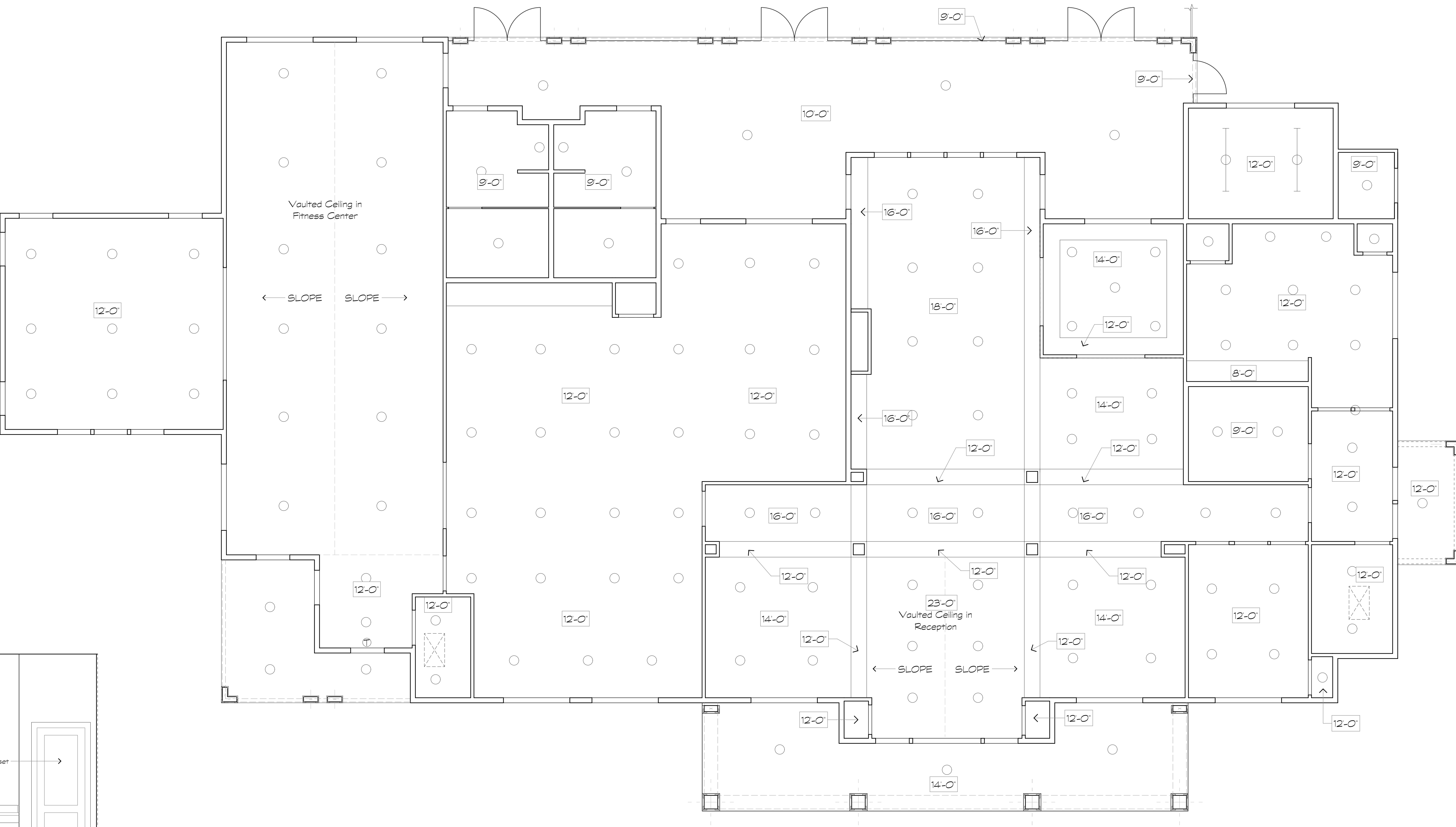
2 Staff Restroom
Scale: 3/8" = 1'-0"



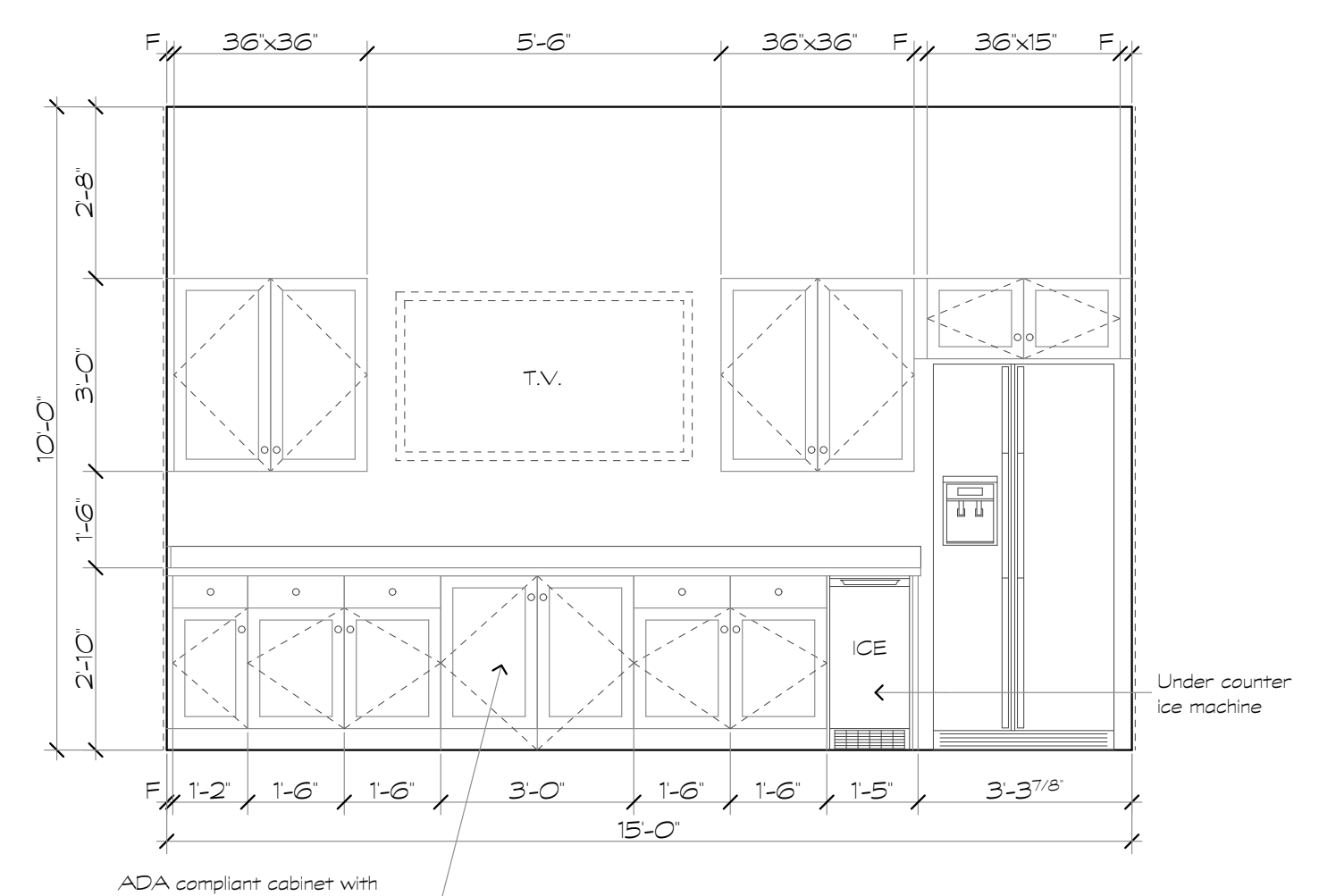
3 Work Room
Scale: 3/8" = 1'-0"



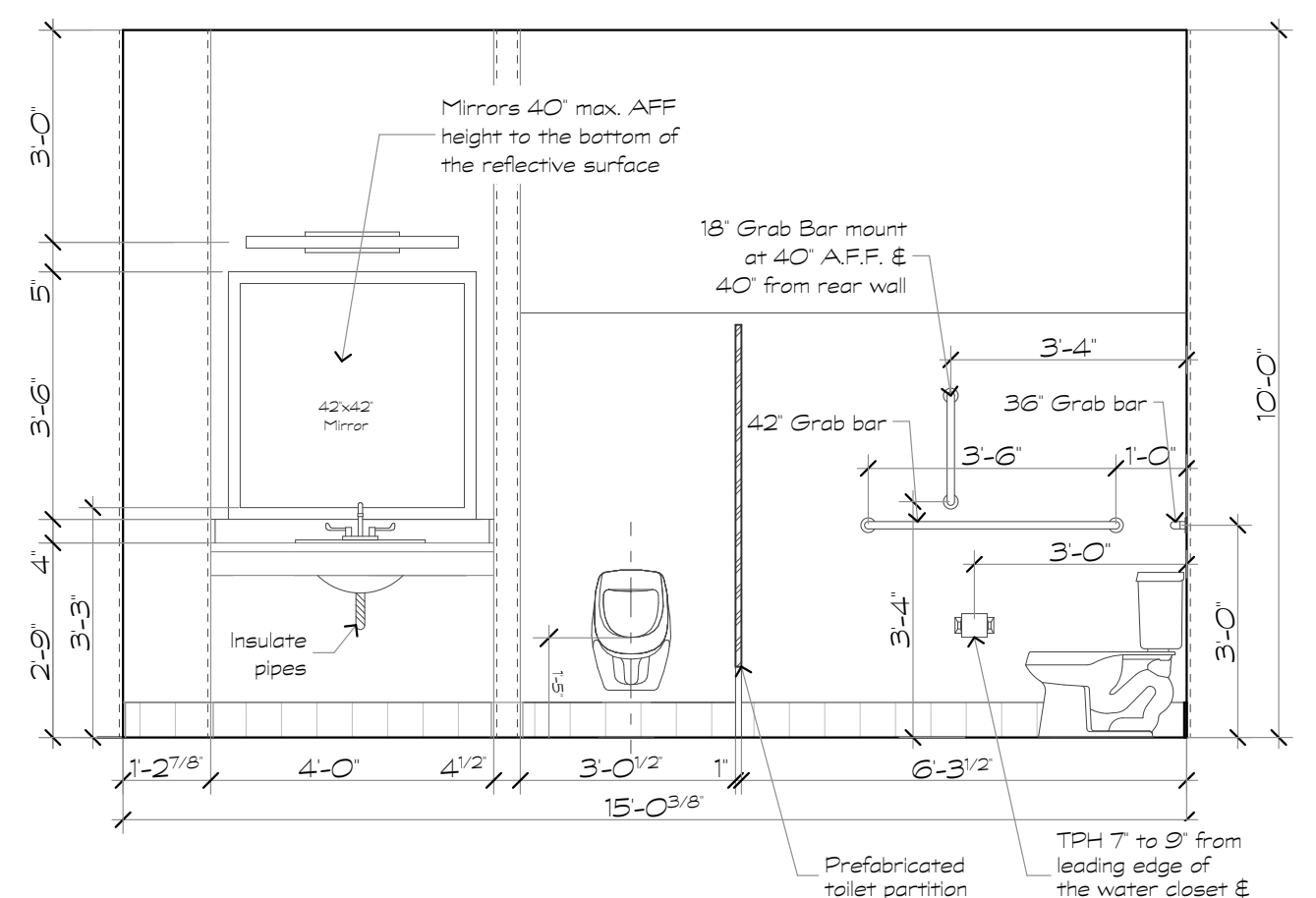
5 Lease Interior Elevations
Scale: 3/8" = 1'-0"



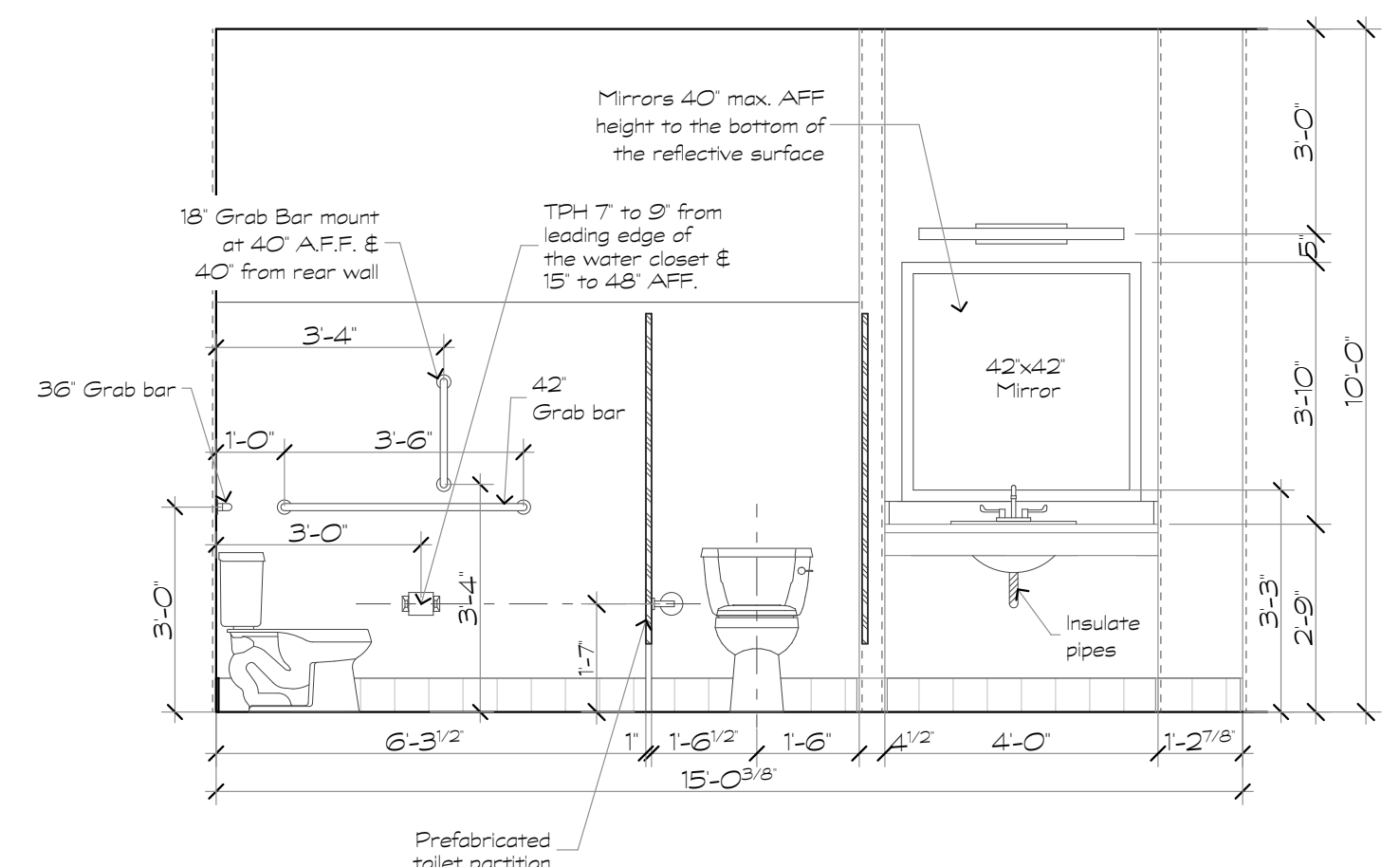
4 Lease Center - Reflected Ceiling Plan
Scale: 3/16" = 1'-0"



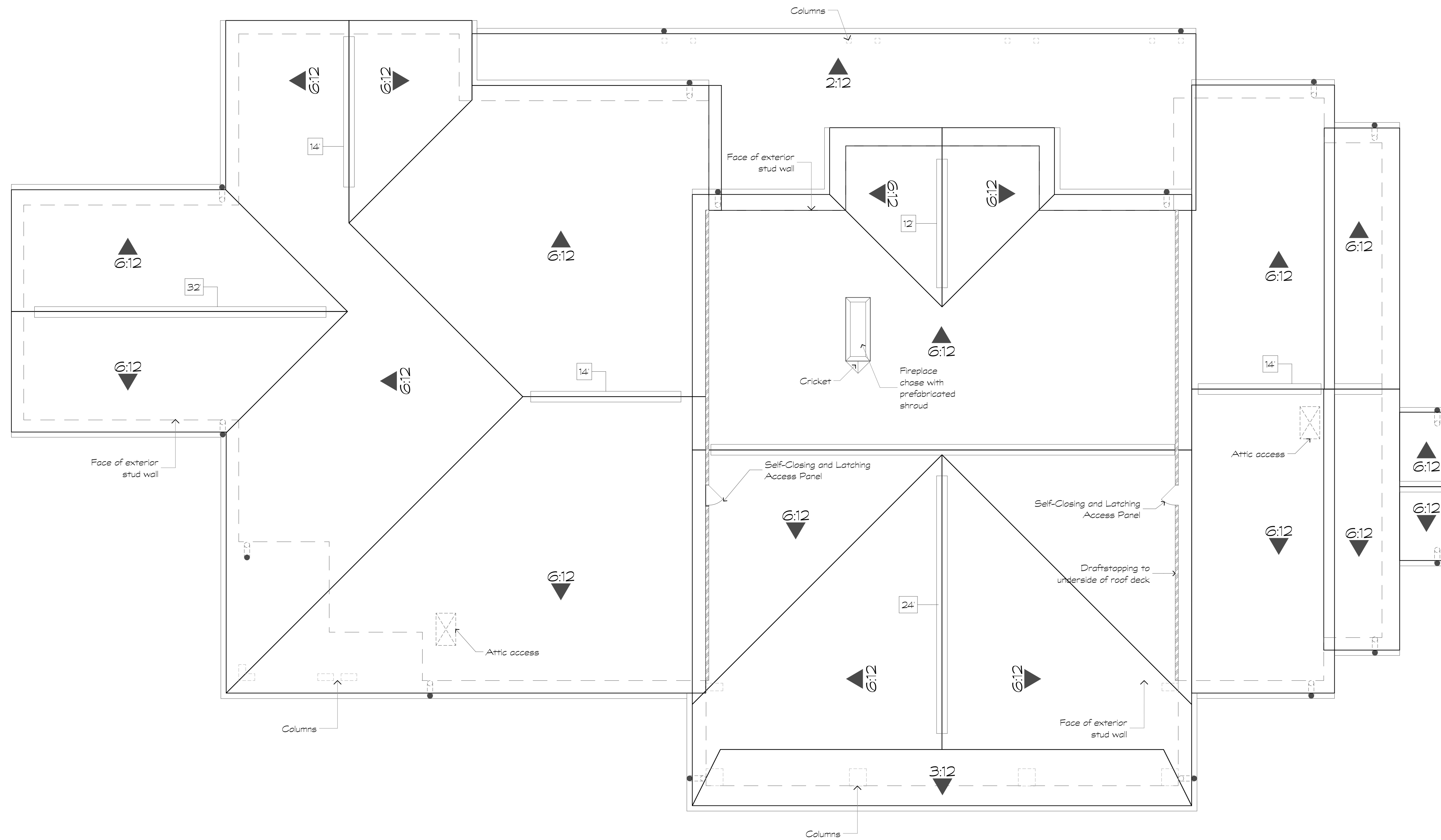
6 Lease Interior Elevations
Scale: 3/8" = 1'-0"



7 Lease Interior Elevations
Scale: 3/8" = 1'-0"



8 Lease Interior Elevations
Scale: 3/8" = 1'-0"



1 Lease Center - Roof Plan
Scale: 3/16" = 1'-0"

Revisions:

Date: Description:

Date	Description

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Lease Center Roof Plan

Date:
September 30, 2022

Sheet Number:

A7.3

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

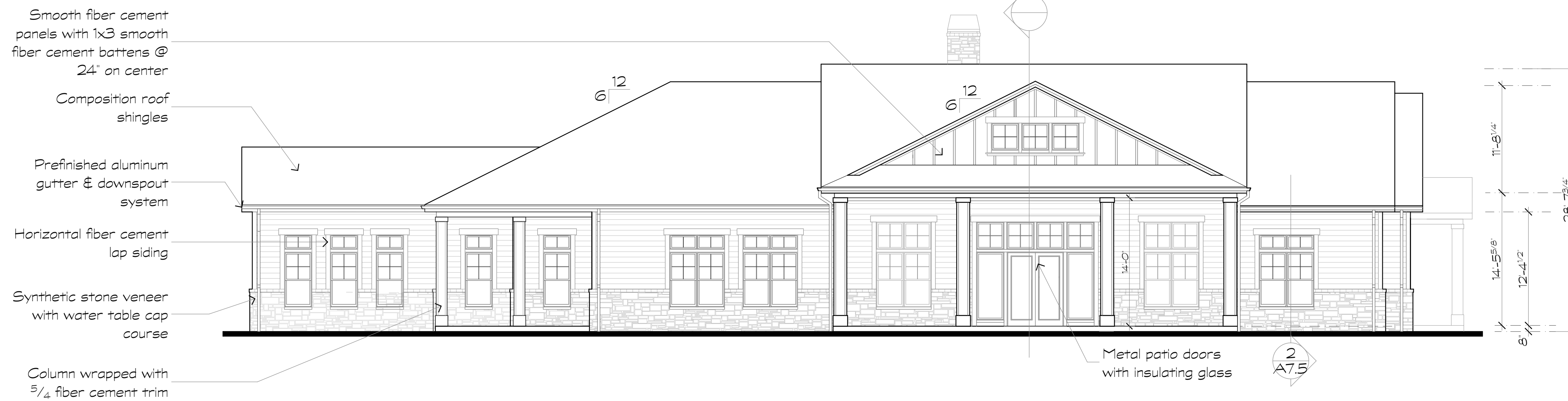
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Lease Center - Building Elevations

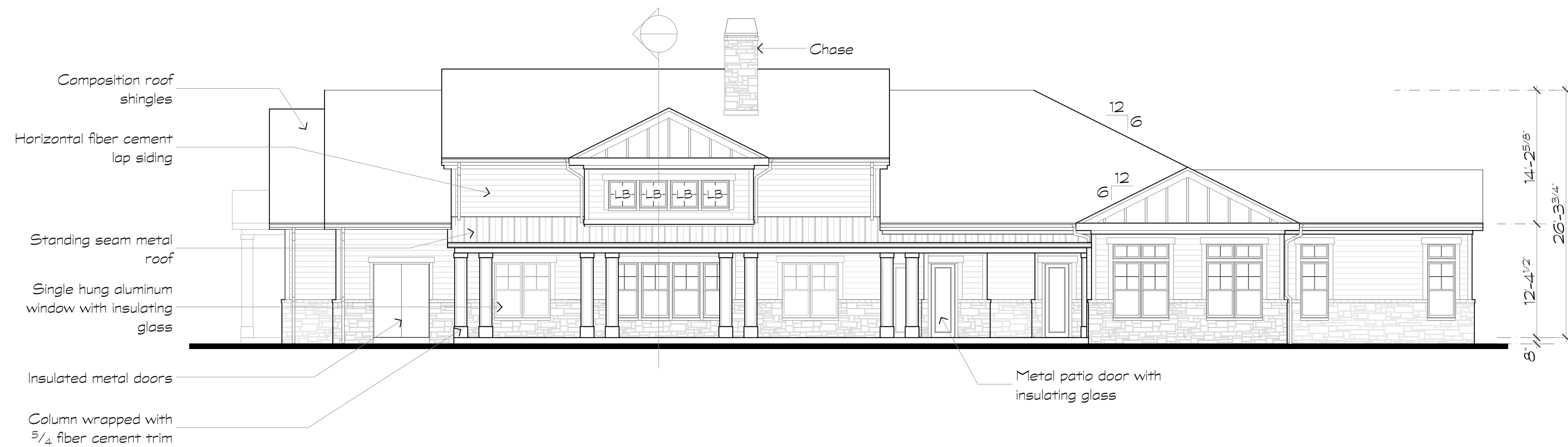
Date:
September 30, 2022

Sheet Number:

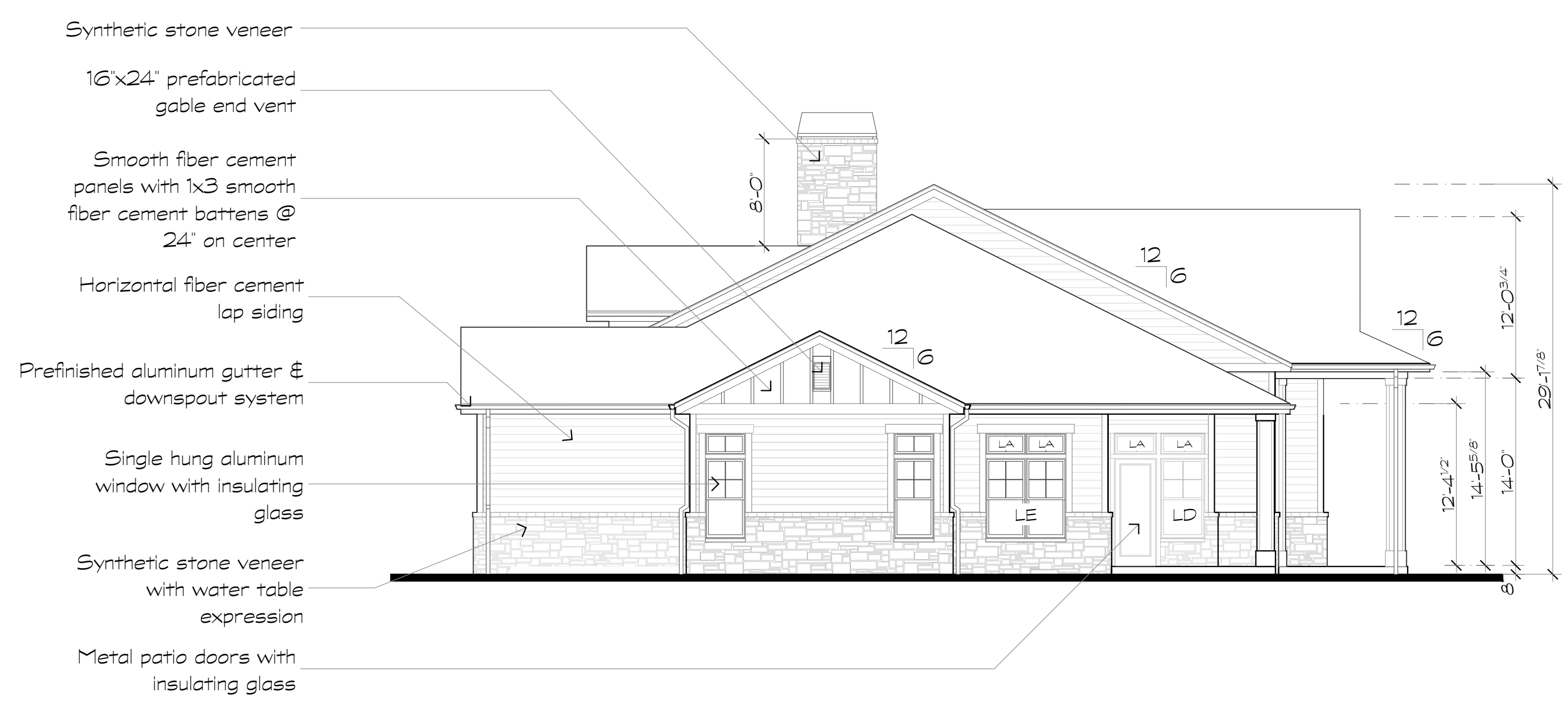
A7.4



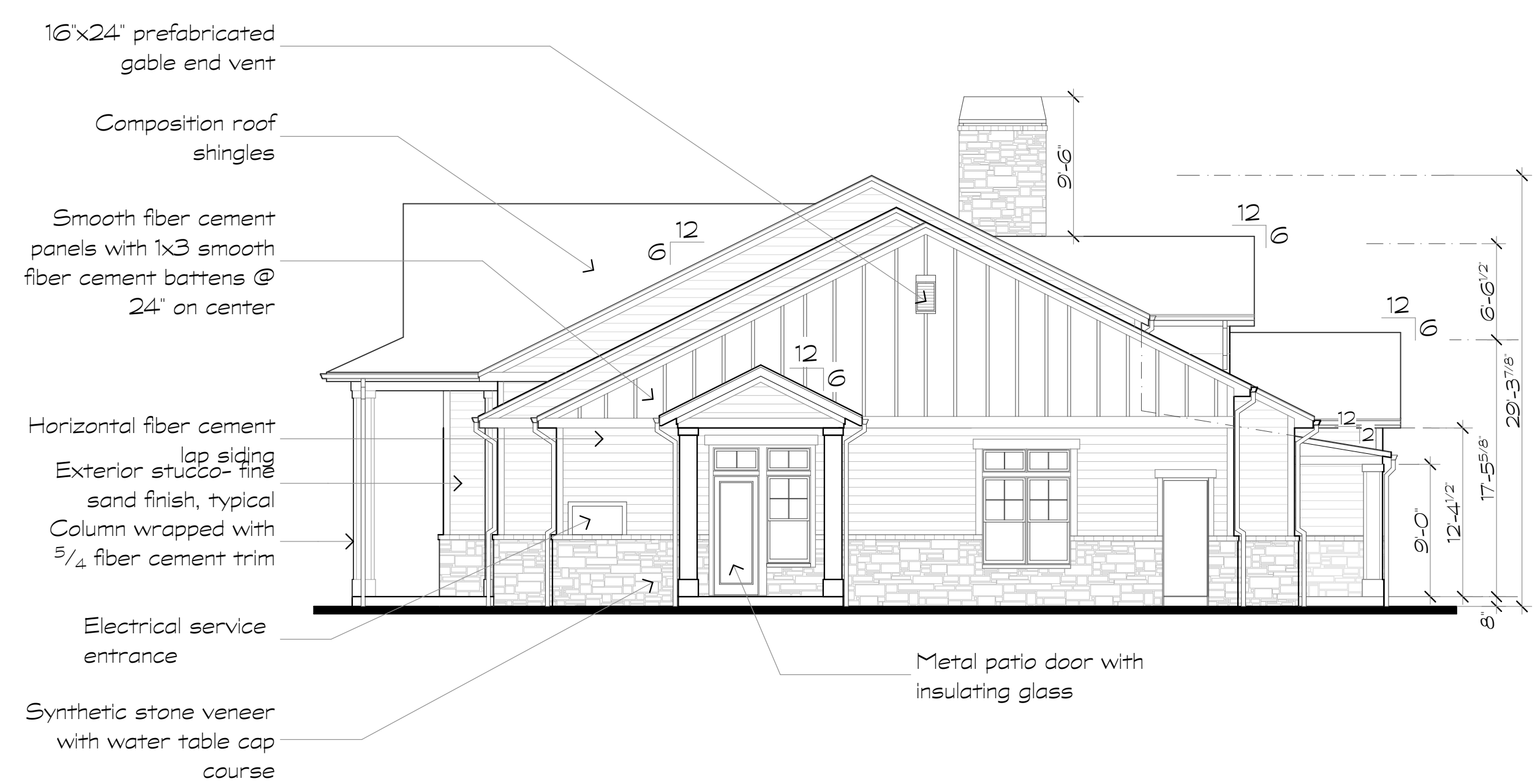
1 Lease Center - Building Elevation
Scale: 1/8" = 1'-0" Front



2 Lease Center - Building Elevation
Scale: 1/8" = 1'-0" Rear



3 Lease Center - Building Elevation
Scale: 1/8" = 1'-0" End



4 Lease Center - Building Elevation
Scale: 1/8" = 1'-0" End

Revisions:

Date: Description:

Construction Documents

Lullwater at
Ft. Clarke
Apartments

Ft. Clarke, Florida

A Residential
Development by: Ft.
Clarke Apartments
Residences, LLC

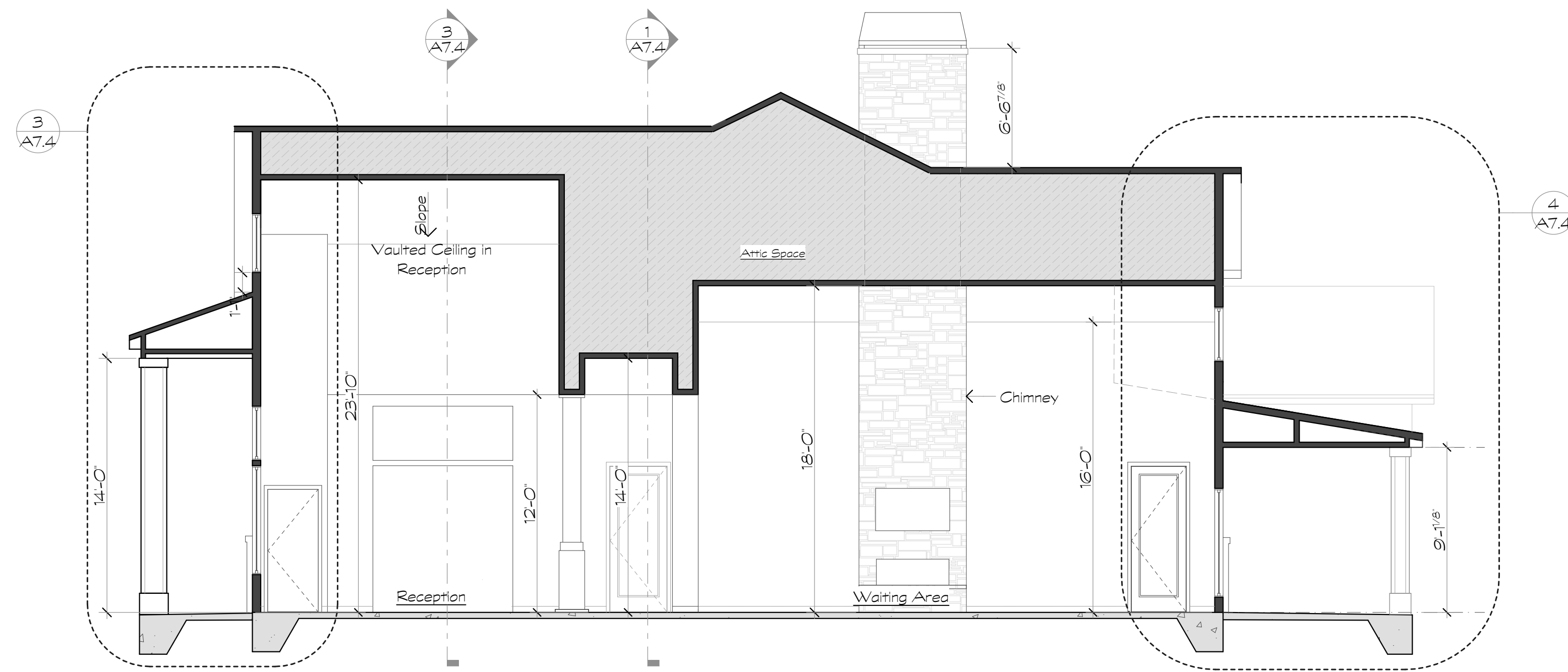
This drawing as an instrument of
services, is and shall remain the
property of SGN+A and shall not
be reproduced, published or used
in any way without permission of
SGN+A, Inc.

Sheet Title:
Lease Center, Building
Sections

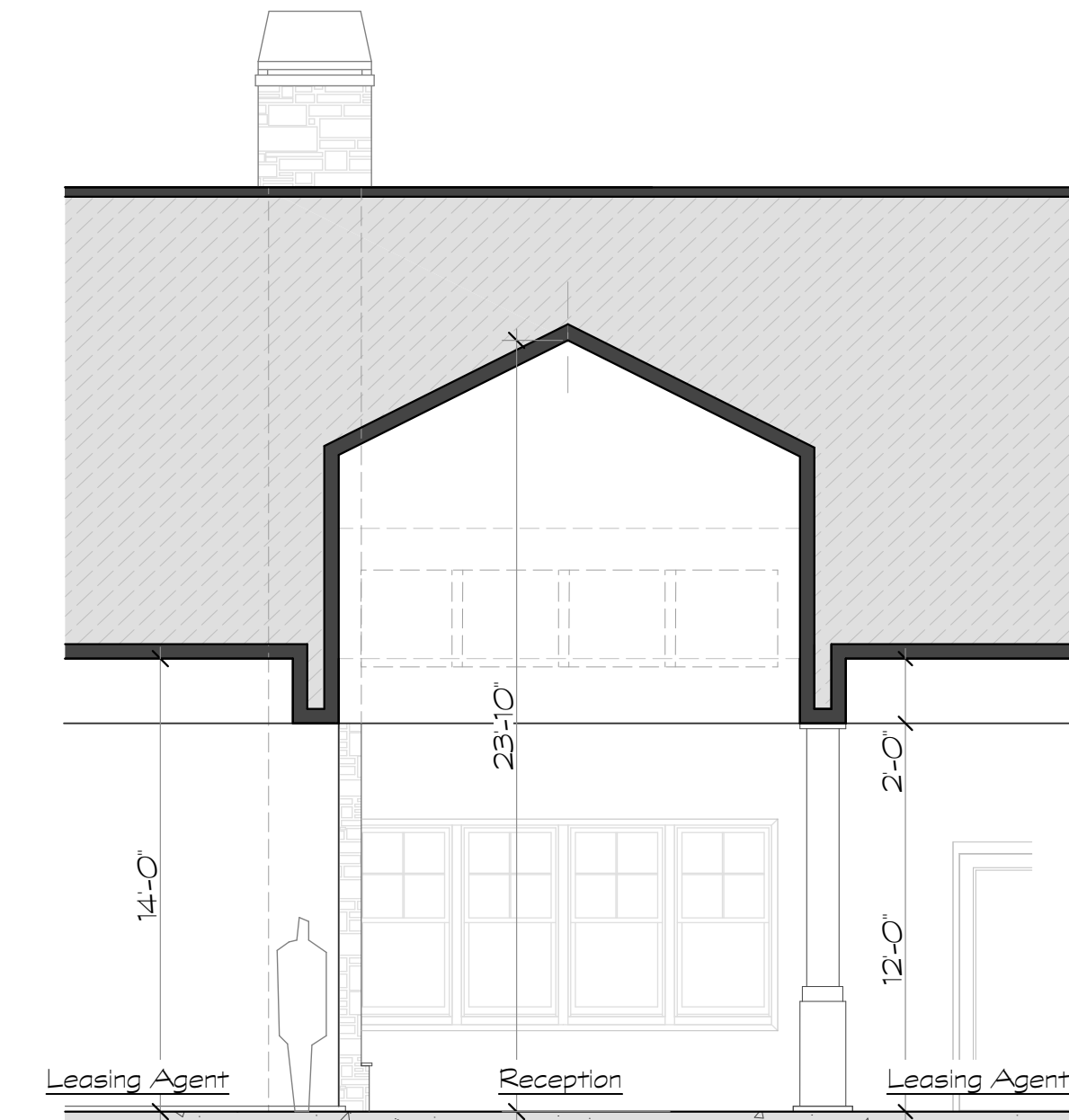
Date:
September 30, 2022

Sheet Number:

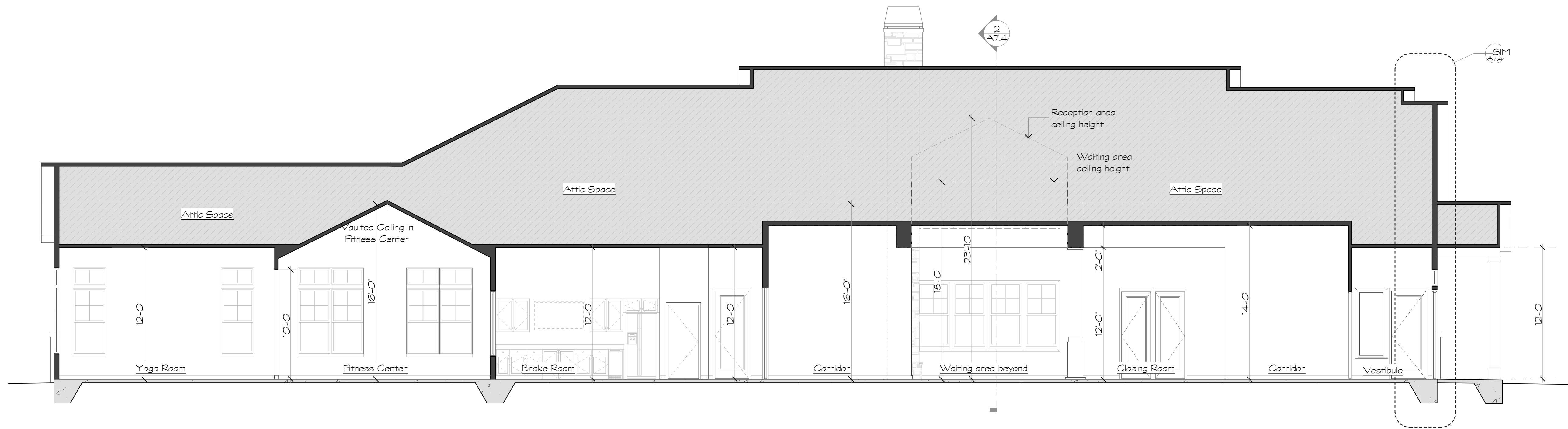
A7.5



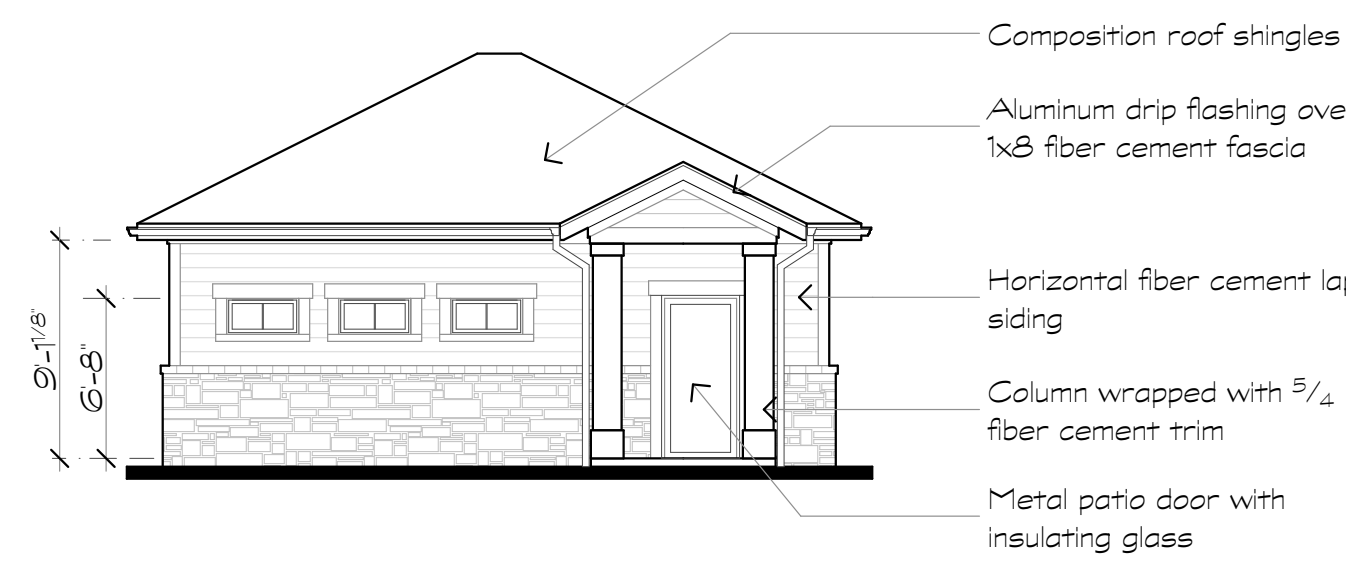
1 Lease Center - Building Section
Scale 3/16" = 1'-0" Front



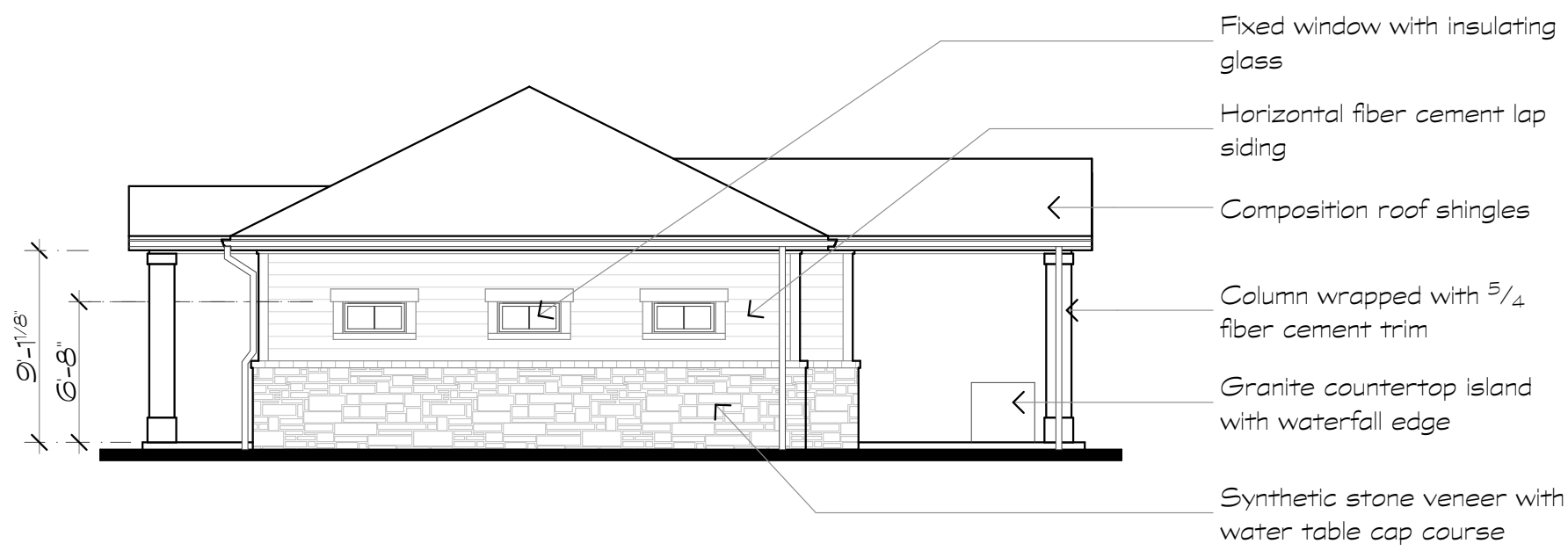
2 Lease Center - Building Section
Scale 3/16" = 1'-0" Front



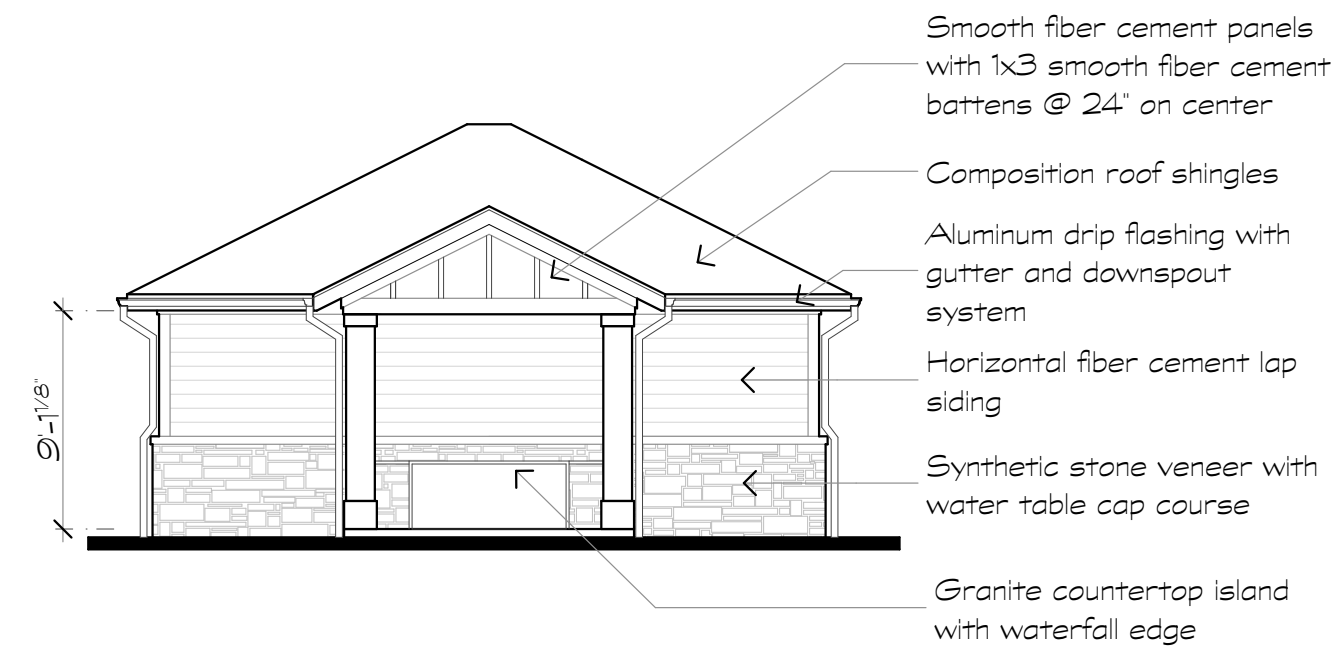
3 Lease Center - Building Section
Scale 3/16" = 1'-0" Front



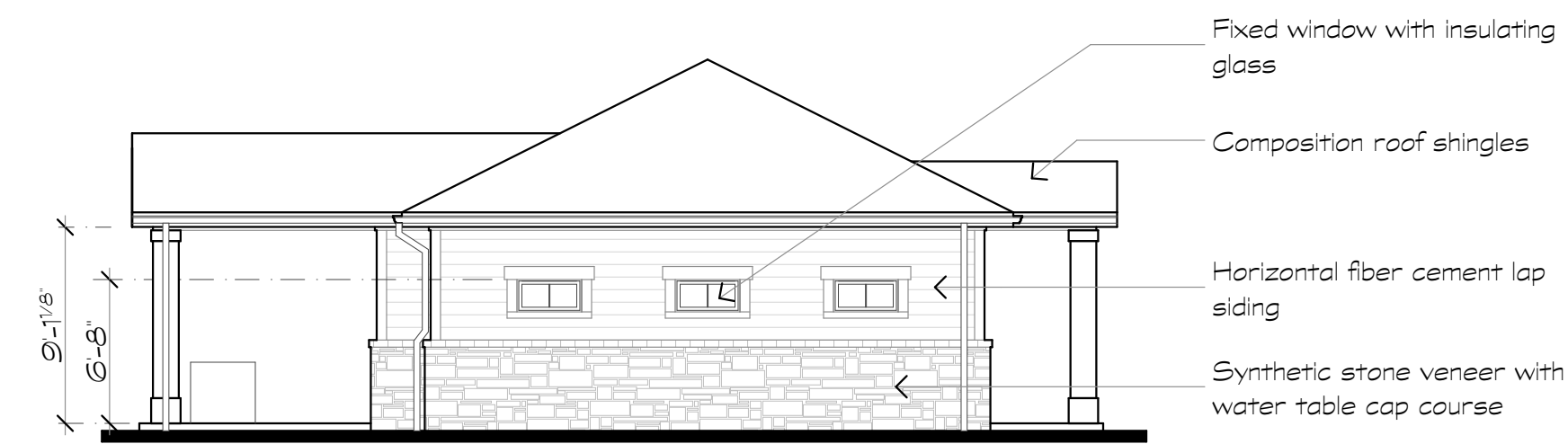
1 Building Elevation
Scale: 1/8" = 1'-0"



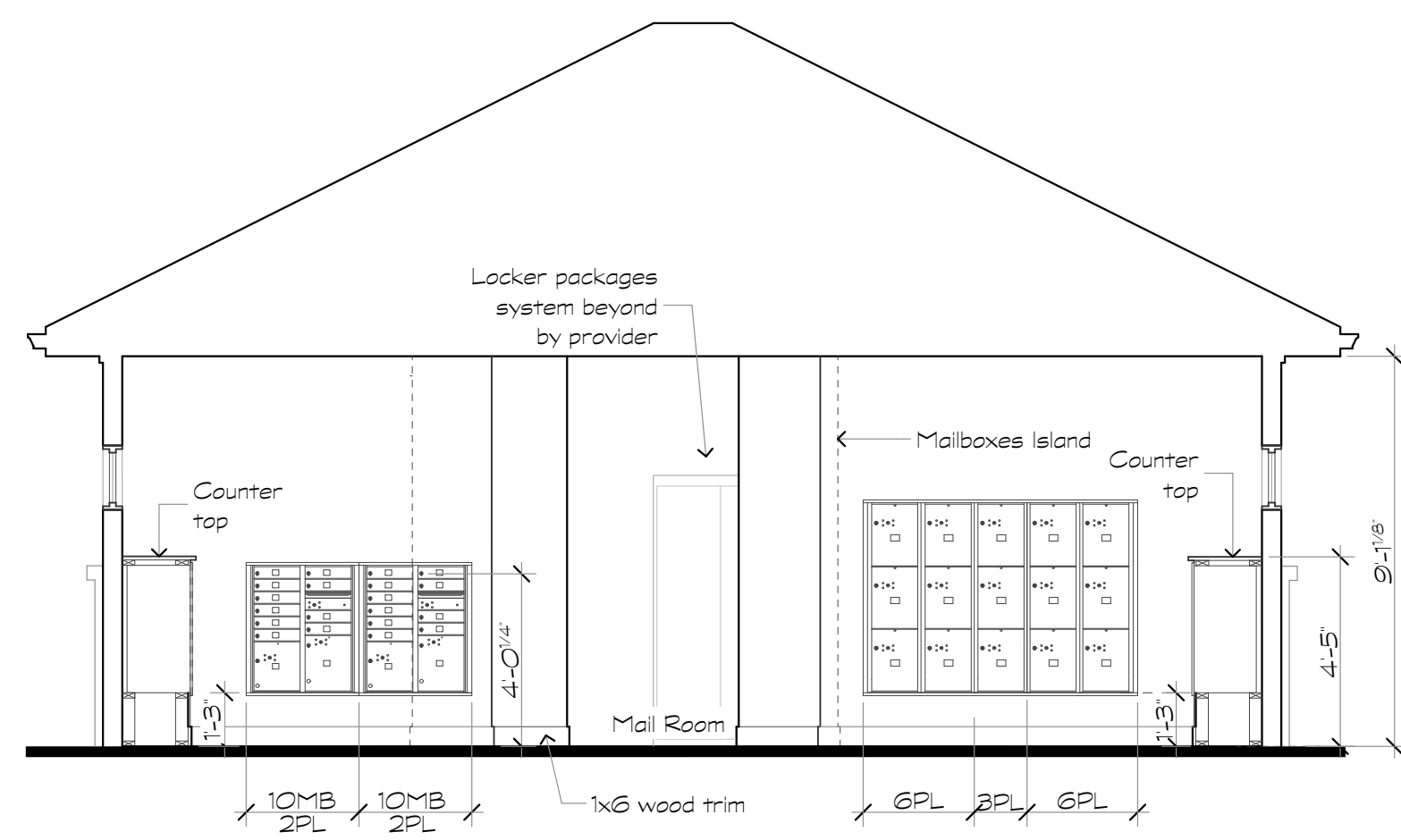
2 Building Elevation
Scale: 1/8" = 1'-0"



3 Building Elevation
Scale: 1/8" = 1'-0"



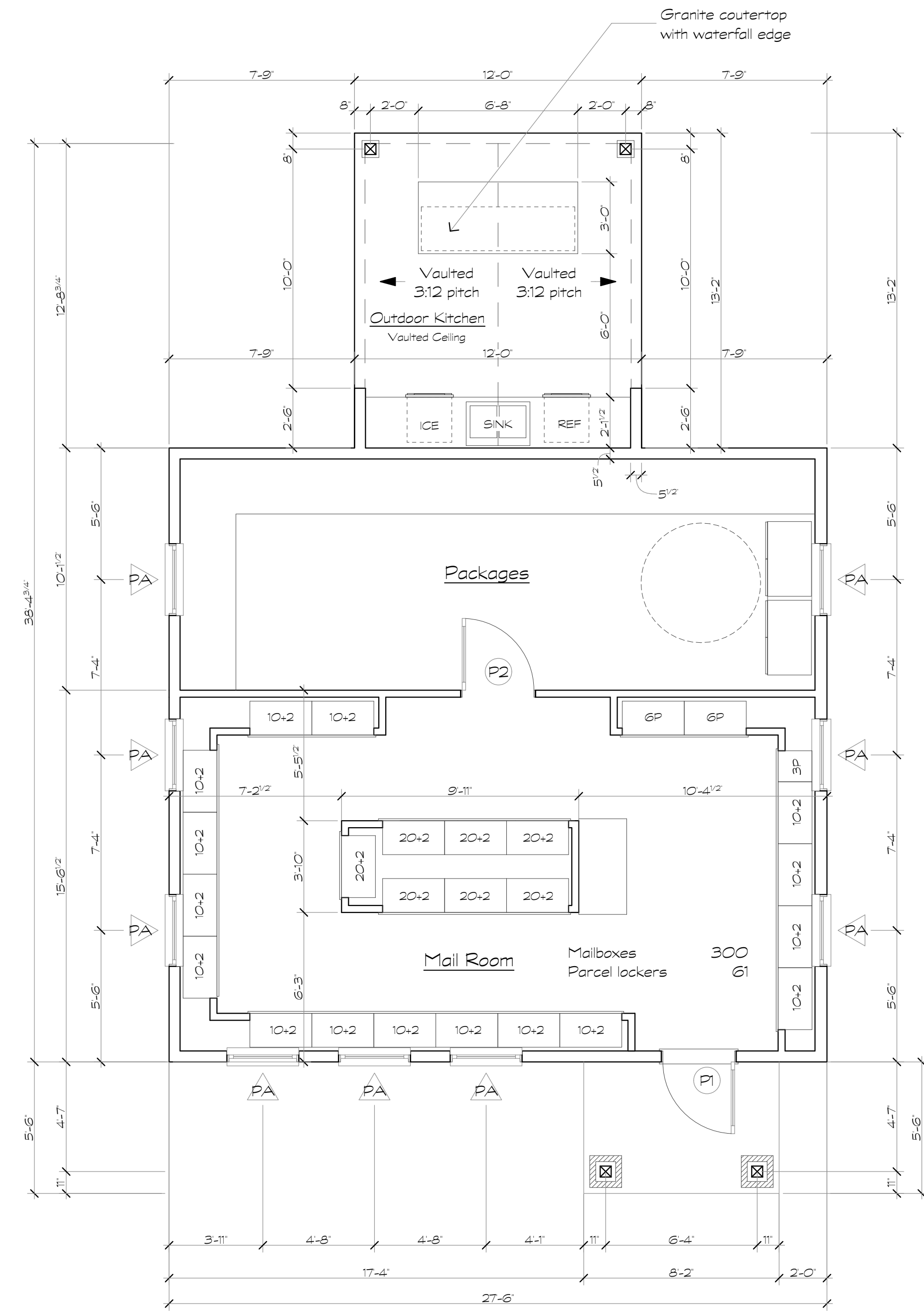
4 Building Elevation
Scale: 1/8" = 1'-0"



6 Mail Room Roof Plan
Scale: 1/4" = 1'-0"

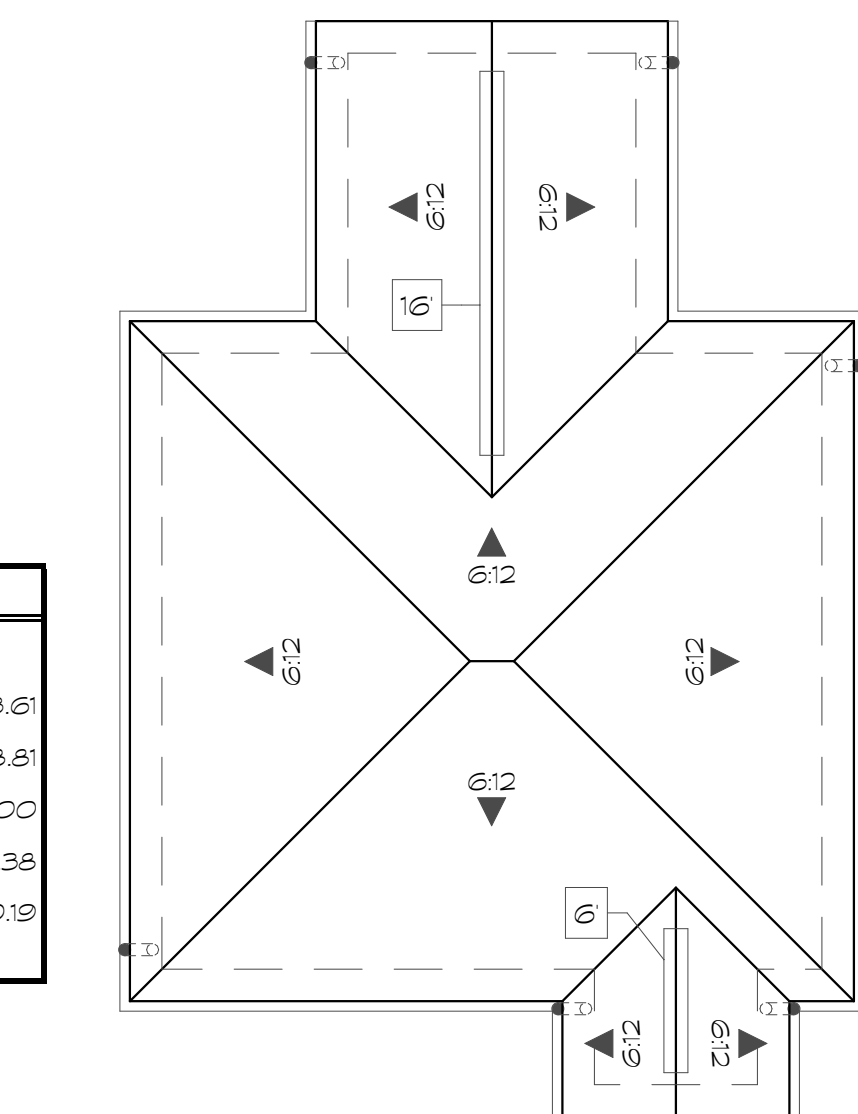


6 Mail Room Roof Plan
Scale: 1/4" = 1'-0"



5 Mail Room/Outdoor Kitchen
Scale: 1/4" = 1'-0"

Mail Klask - Roof Vent Calculations	
Roof Area to be Vented	1084
Min. Net Ventilation Area (1/300)	at 1/300 sf = 3.61
Continuous Soffit Ventilation (Low) @ 2 sq. in./sq. ft.	141 = 8.81
Continuous Soffit Ventilation (High) @ 2 sq. in./sq. ft.	0 = 0.00
Continuous Ridge Ventilation @ 2 sq. in./sq. ft.	22 = 1.38
Total Ventilation Provided	= 10.19



6 Mail Room Roof Plan
Scale: 1/8" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Mail Room, Plan, Sections & Elevations

Date:
September 30, 2022

Sheet Number:

A7.6

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

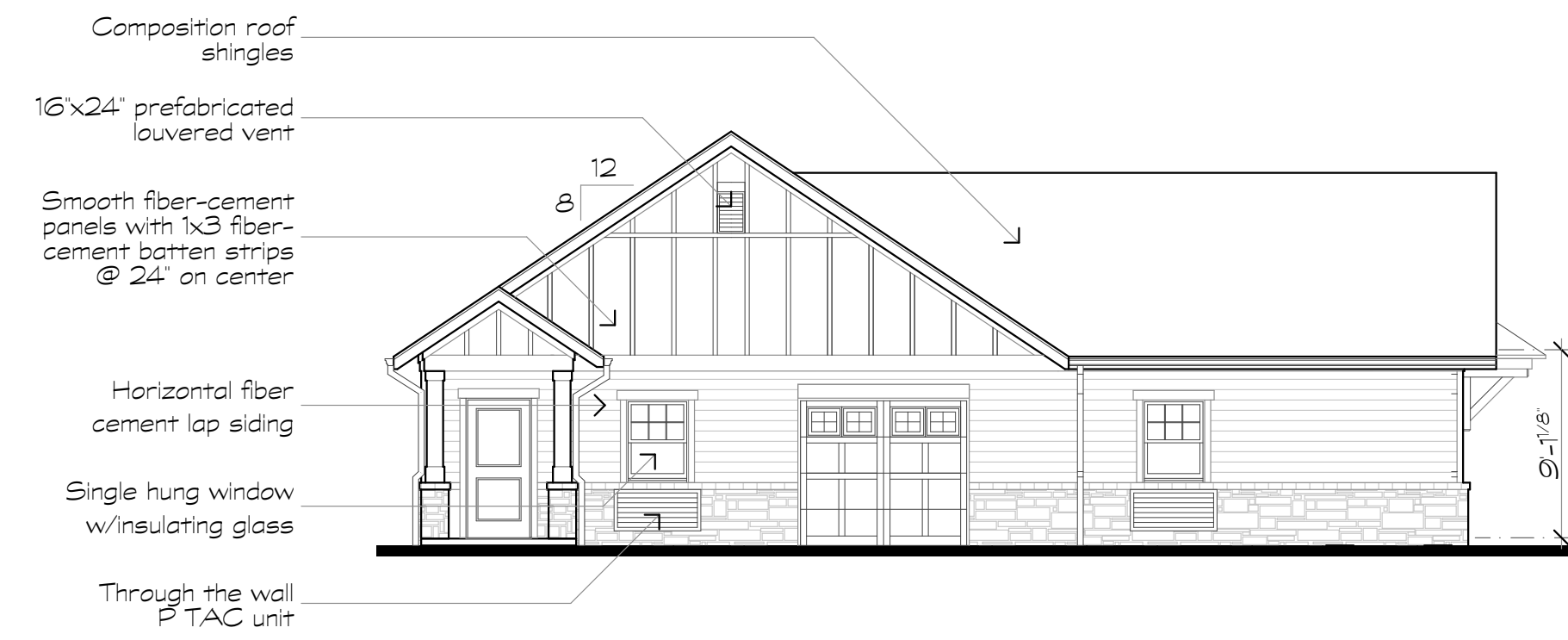
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Maintenance Building, Plans & Elevations

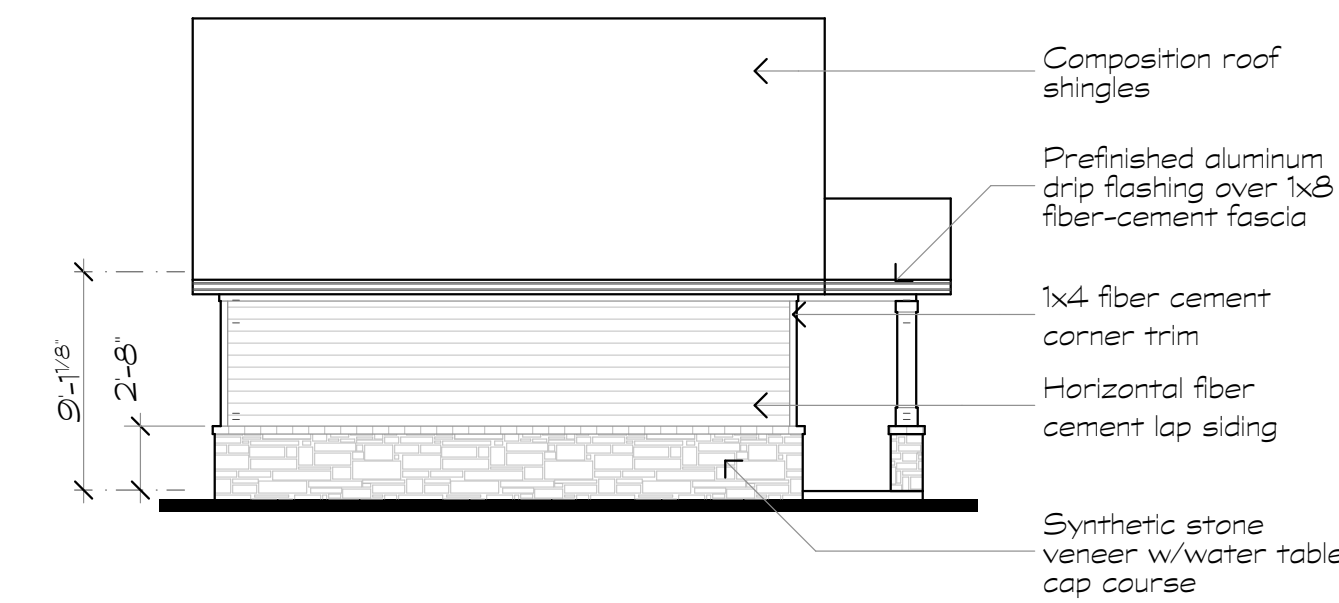
Date:
September 30, 2022

Sheet Number:

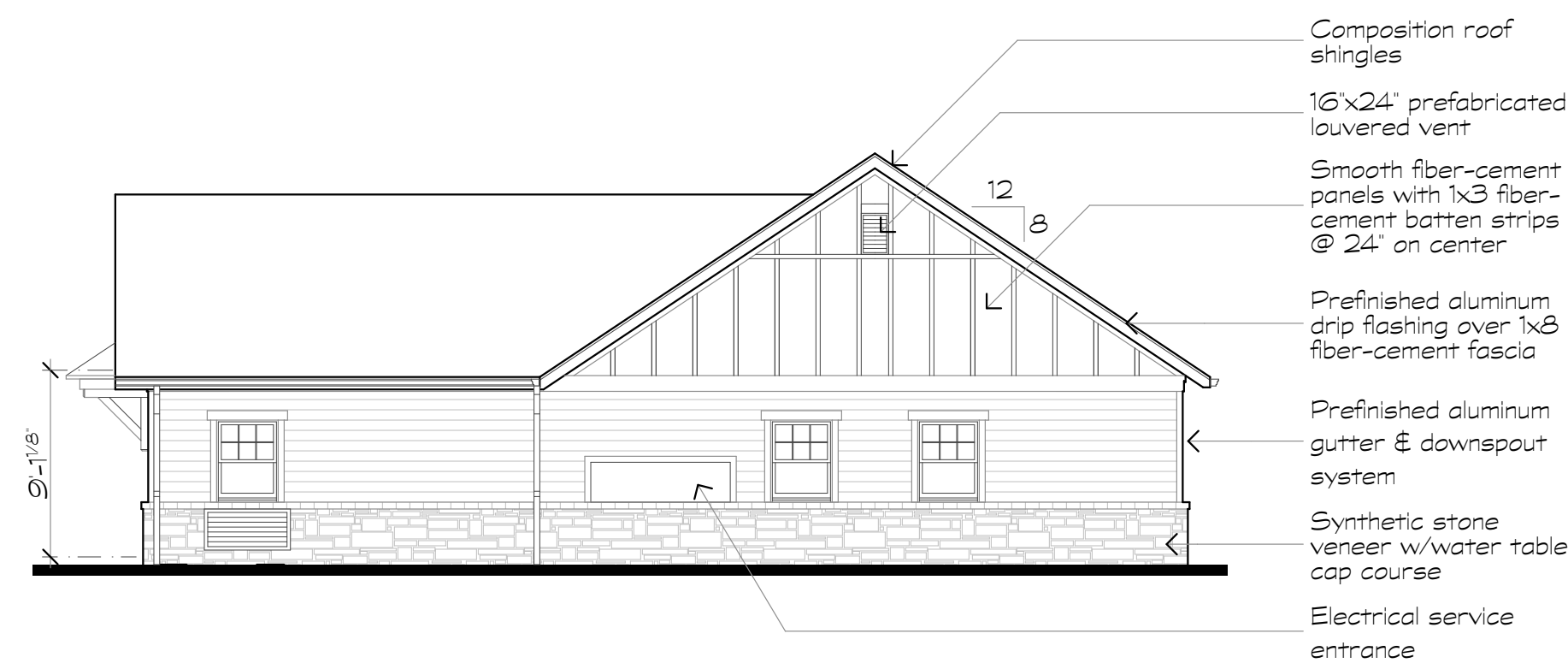
A7.7



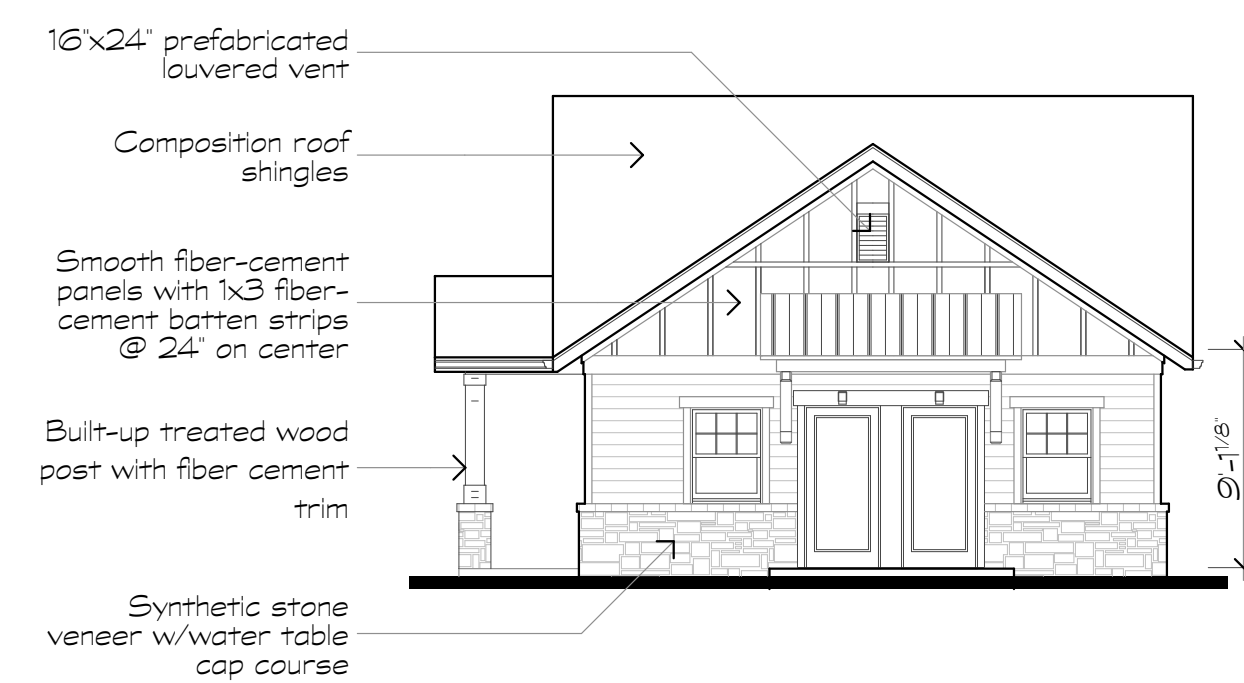
1 Maintenance Elevation
Scale: 1/8" = 1'-0"



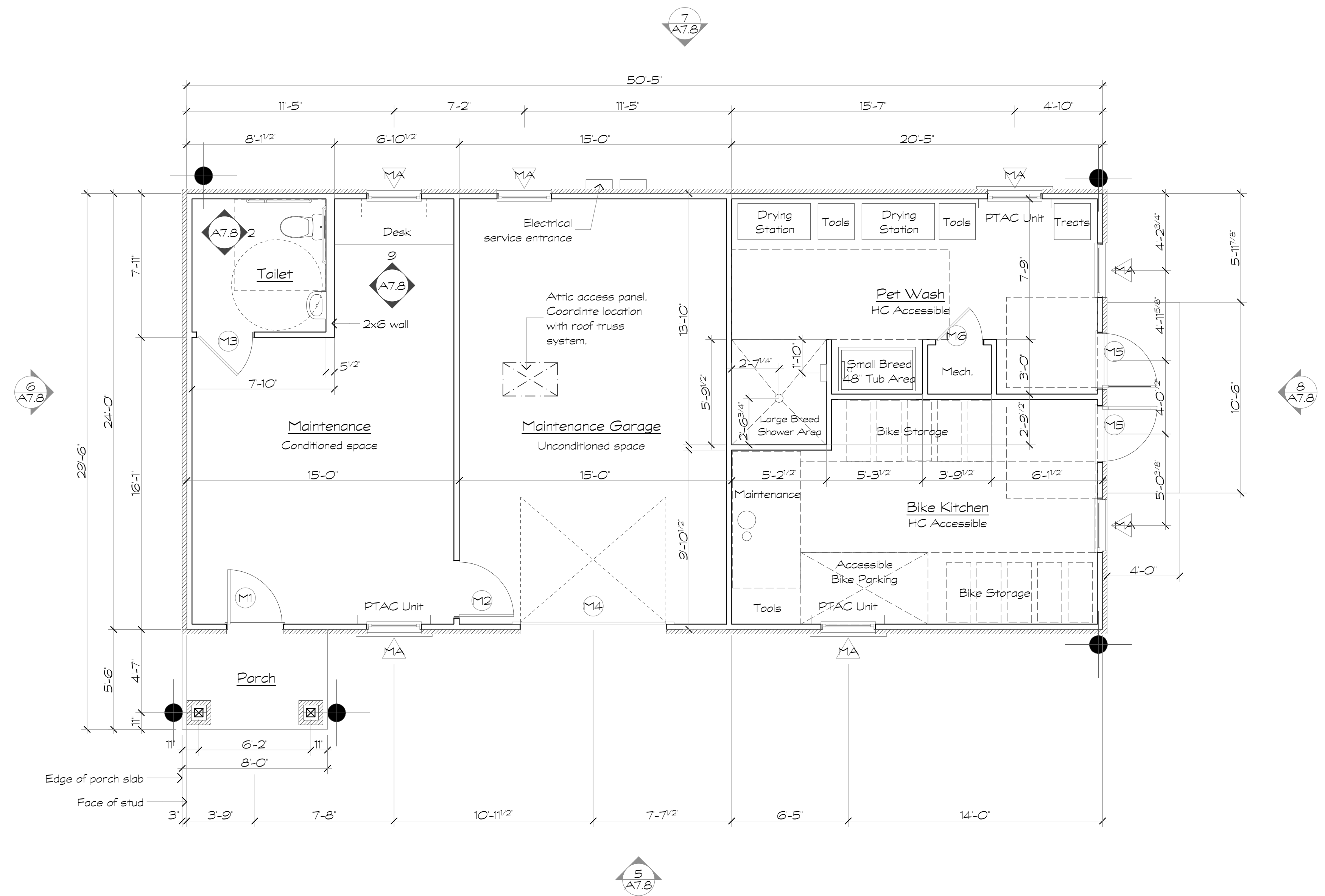
2 Maintenance Elevation
Scale: 1/8" = 1'-0"



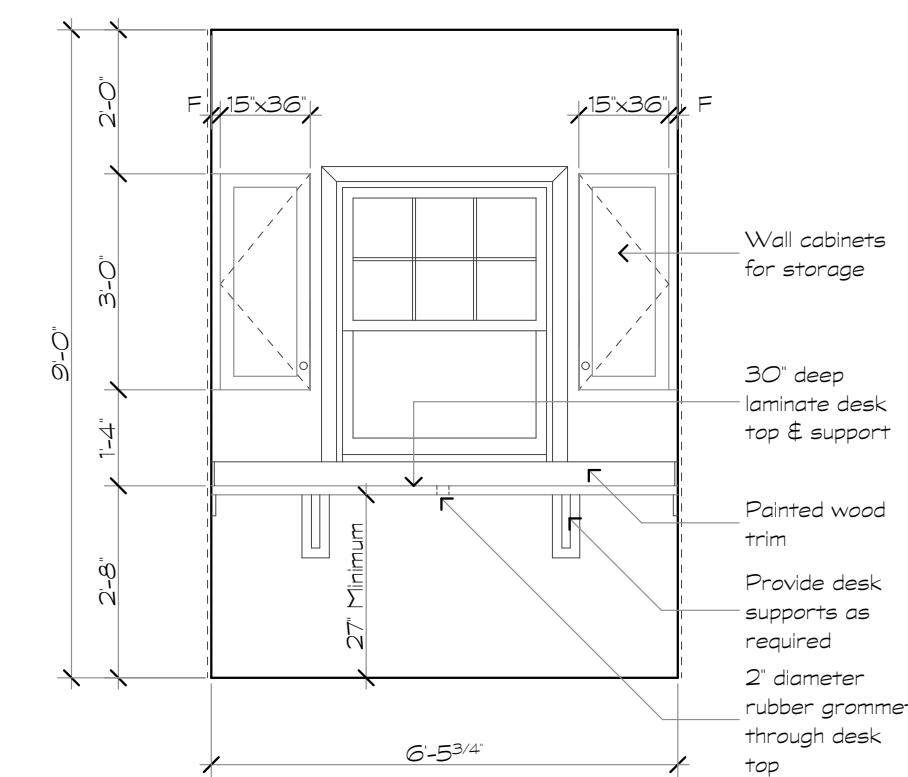
3 Maintenance Elevation
Scale: 1/8" = 1'-0"



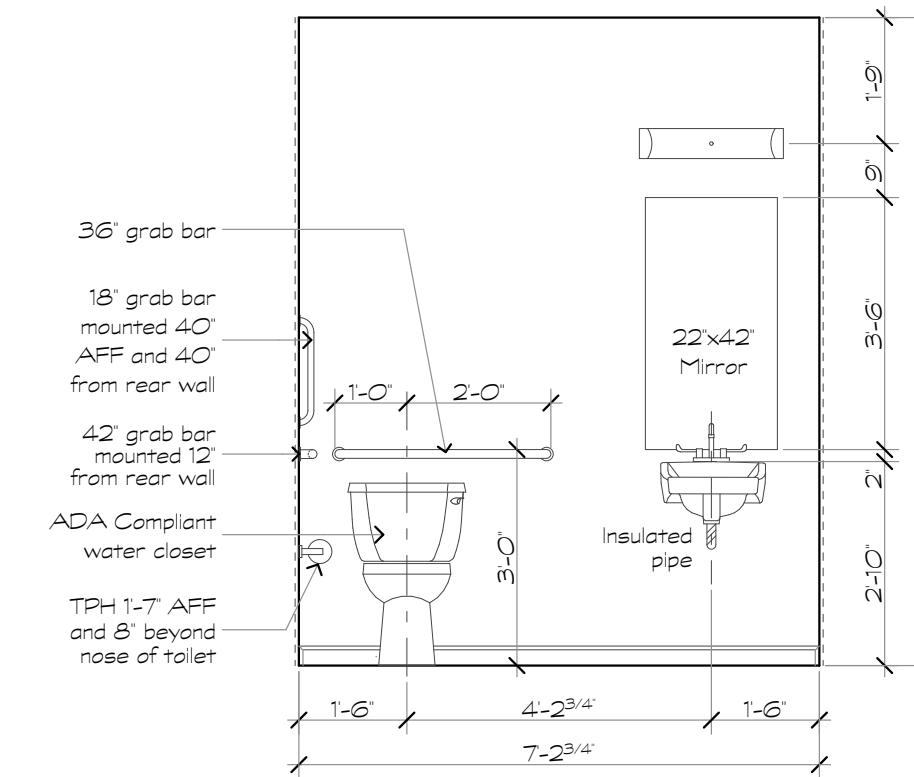
4 Maintenance Elevation
Scale: 1/8" = 1'-0"



7 Maintenance
Scale: 1/4" = 1'-0"



5 Desk Elevation
Scale: 3/8" = 1'-0"



6 Toilet Elevation
Scale: 3/8" = 1'-0"

Revisions:

Date: Description:

Construction Documents

**Lullwater at
Ft. Clarke
Apartments**

Ft. Clarke, Florida

A Residential
Development by: Ft.
Clarke Apartments
Residences, LLC

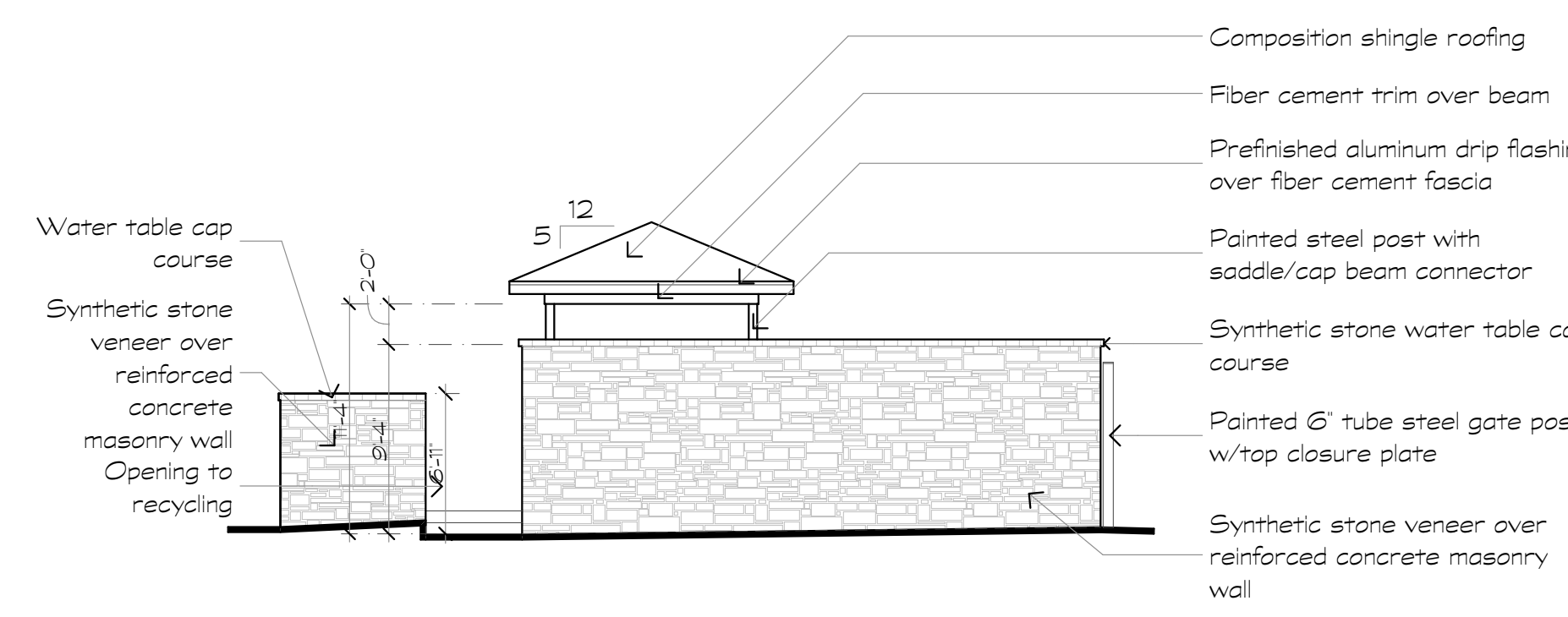
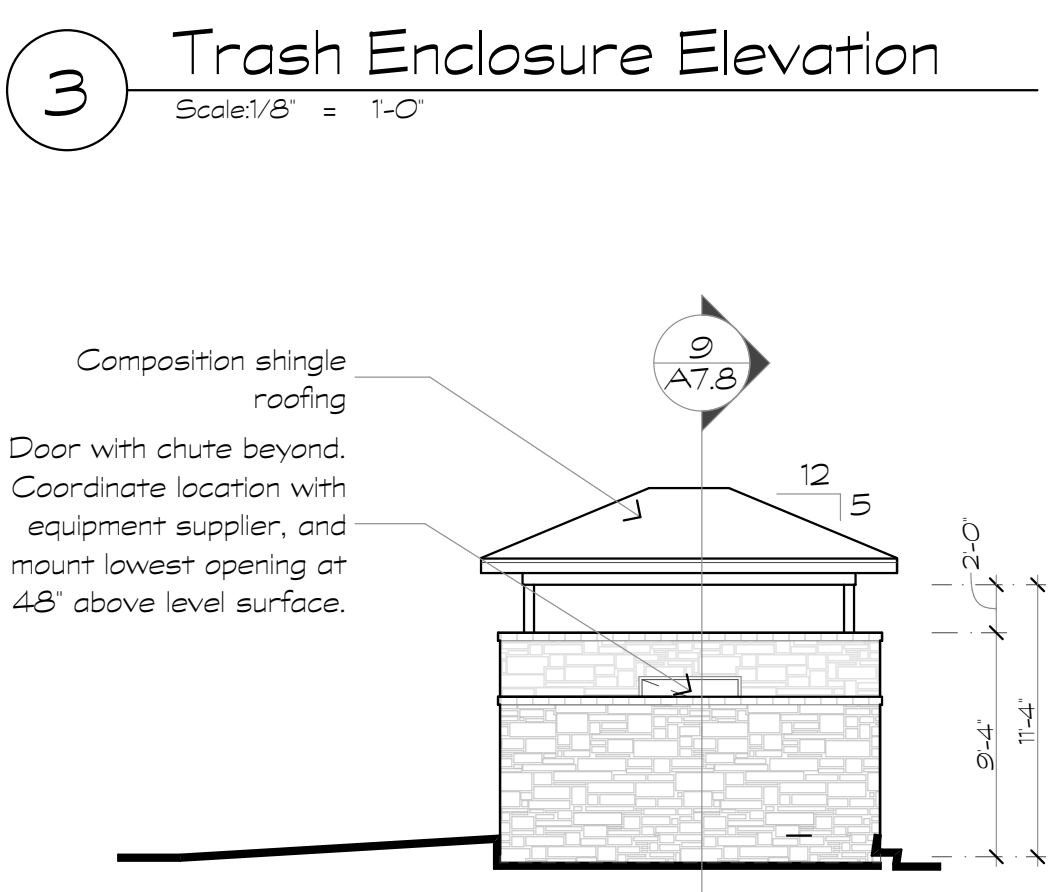
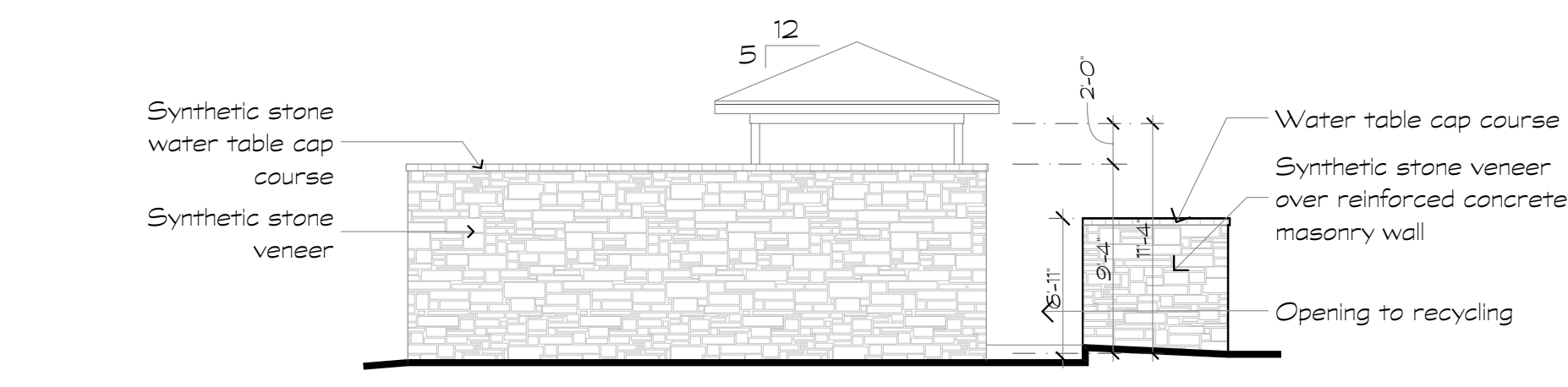
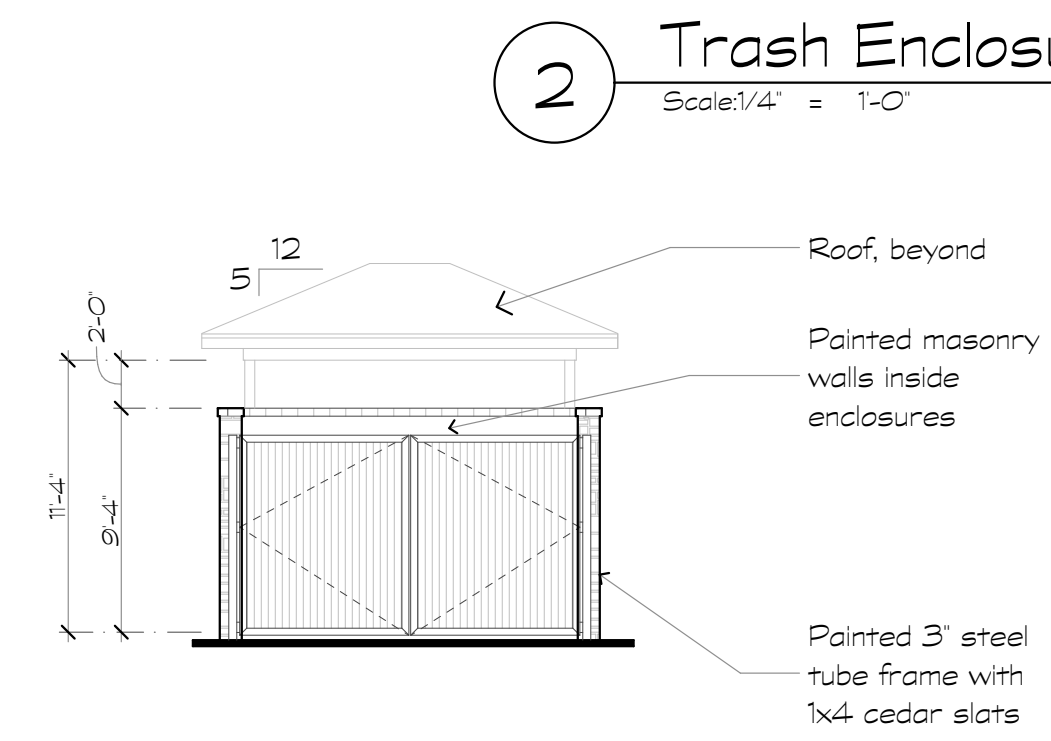
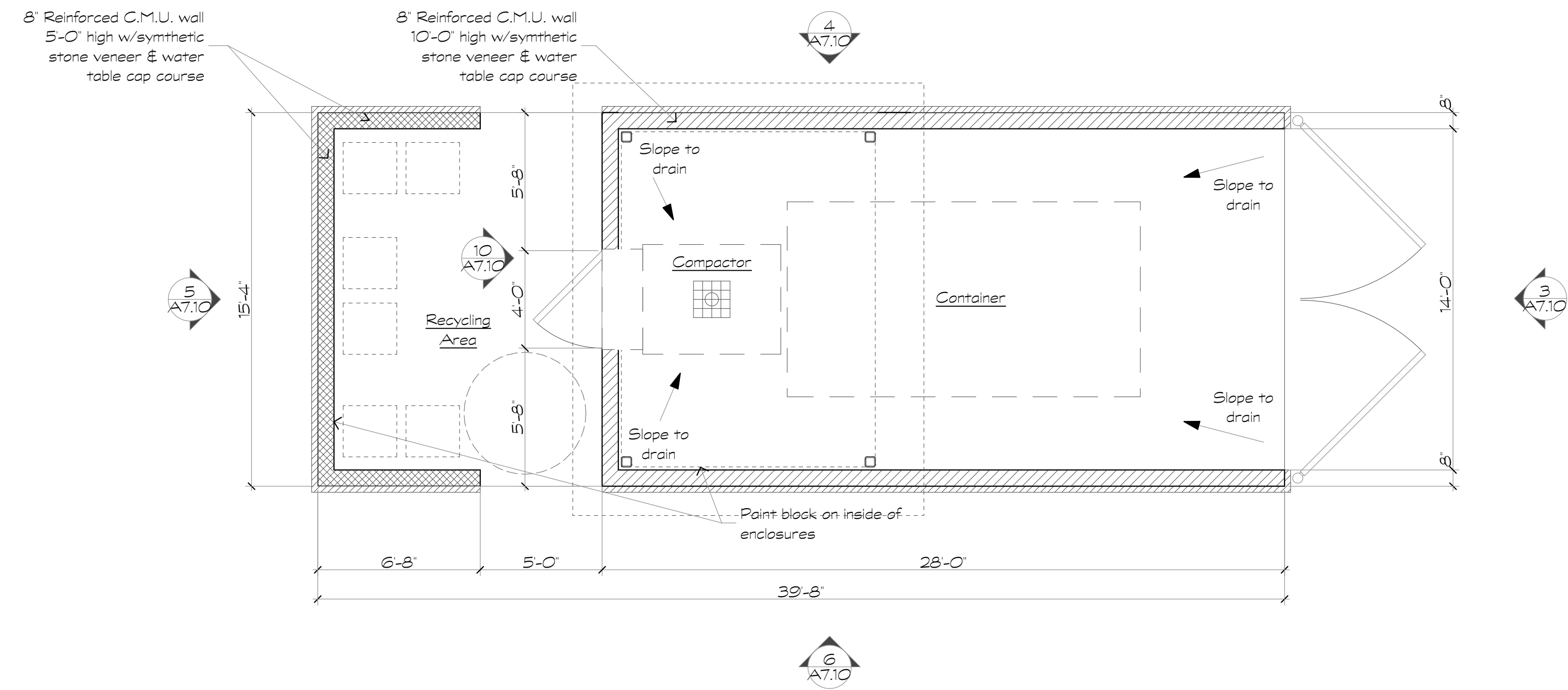
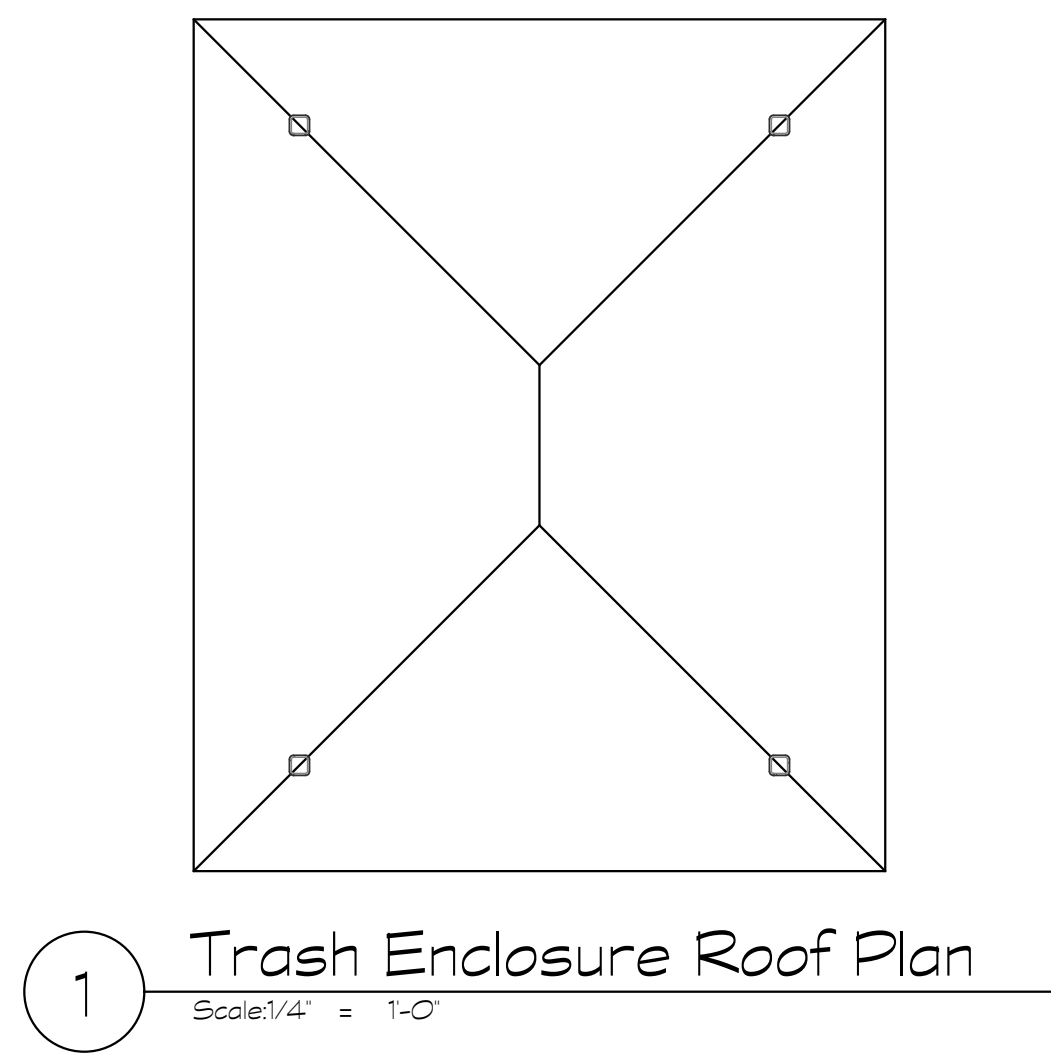
This drawing as an instrument of
services, is and shall remain the
property of SGN+A and shall not
be reproduced, published or used
in any way without permission of
SGN+A, Inc.

Sheet Title:
Trash Enclosure, Plans
& Elevations

Date:
September 30, 2022

Sheet Number:

A7.8



5 Trash Enclosure Elevation
Scale: 1/8" = 1'-0"

6 Trash Enclosure Elevation
Scale: 1/8" = 1'-0"

Revisions:

Date: _____ Description: _____

Construction Documents

Lullwater at
Ft. Clarke
Apartments

Ft. Clarke, Florida

A Residential
Development by: Ft.
Clarke Apartments
Residences, LLC

This drawing as an instrument of
services, is and shall remain the
property of SGN+A and shall not
be reproduced, published or used
in any way without permission of
SGN+A, Inc.

Sheet Title:
Schedules, Door &
Window Elevations

Date:
September 30, 2022

Sheet Number:

A8.1

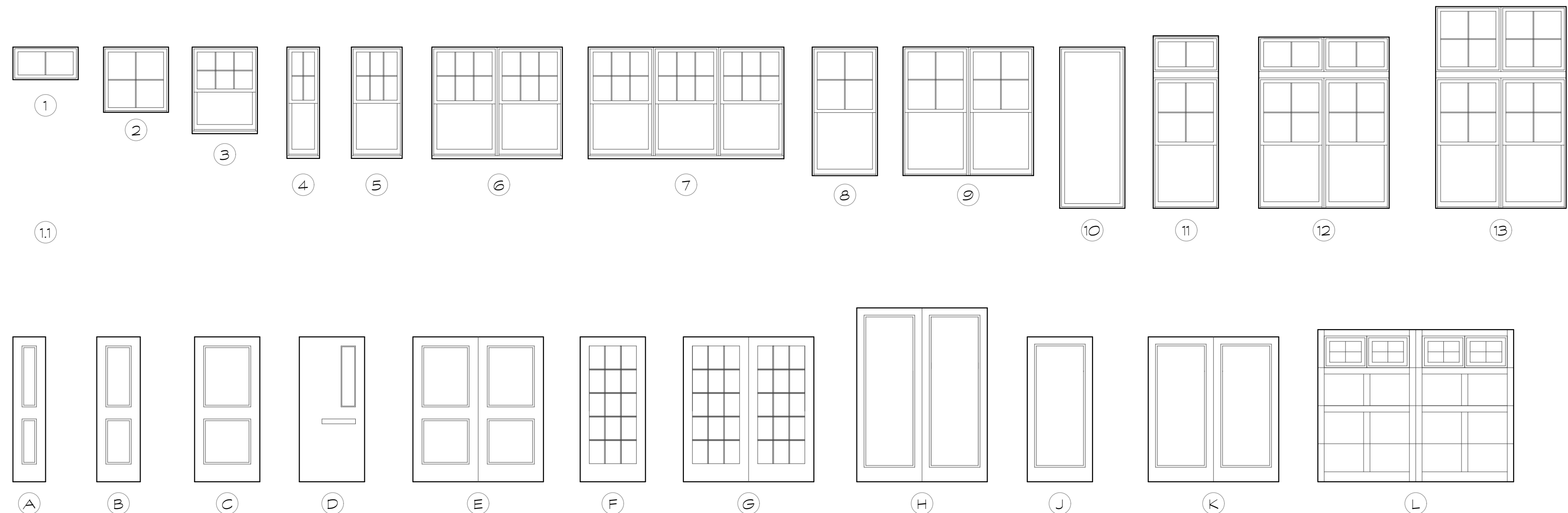
Window schedule table with columns: mark, dimensions, head, jamb, sill, elev., material, remarks, Location. Includes sections for Units, Lease Center, Maintenance Building, and Mail Building.

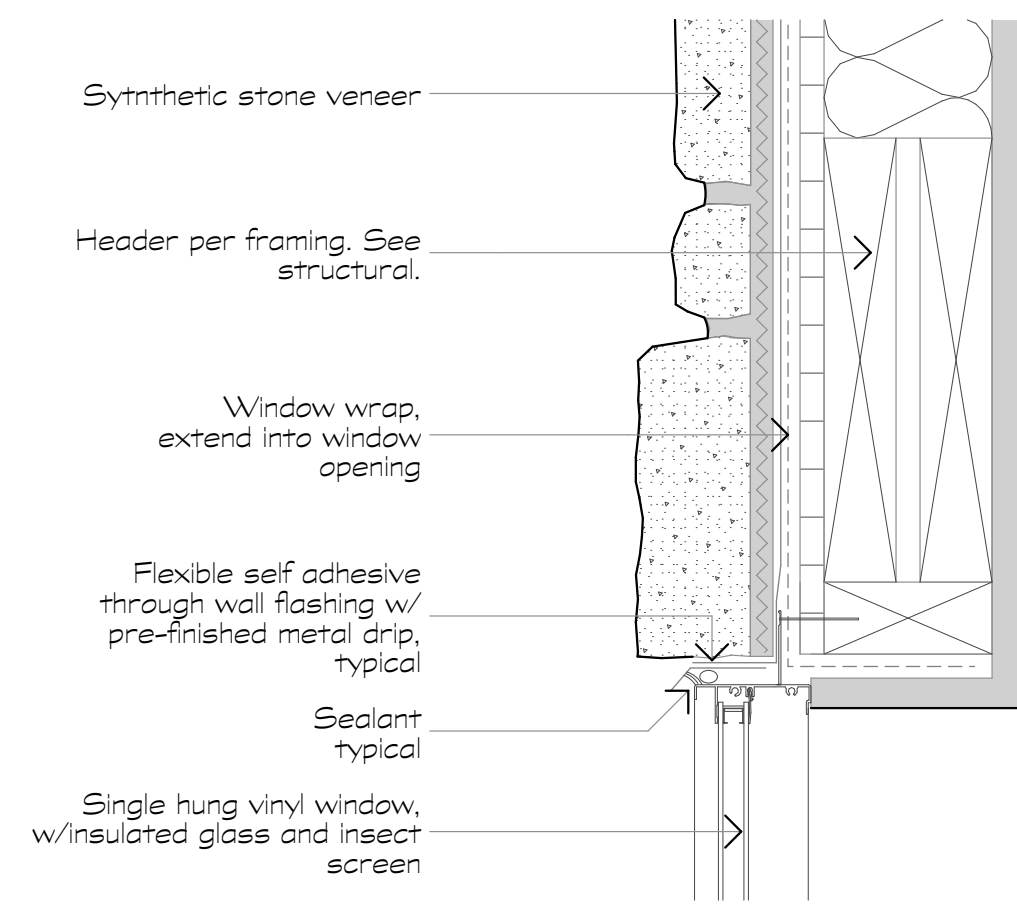
Door schedule table with columns: mark, dimensions, head, jamb, sill, elev., frame mat., label, hdw., remarks, location. Includes sections for Residential Building, Lease Center, Maintenance Building, and Mail Building.

Room finish schedule table with columns: room name, floor, base, wall, ceiling, remarks. Includes sections for Units, Lease Center, and Maintenance Building.

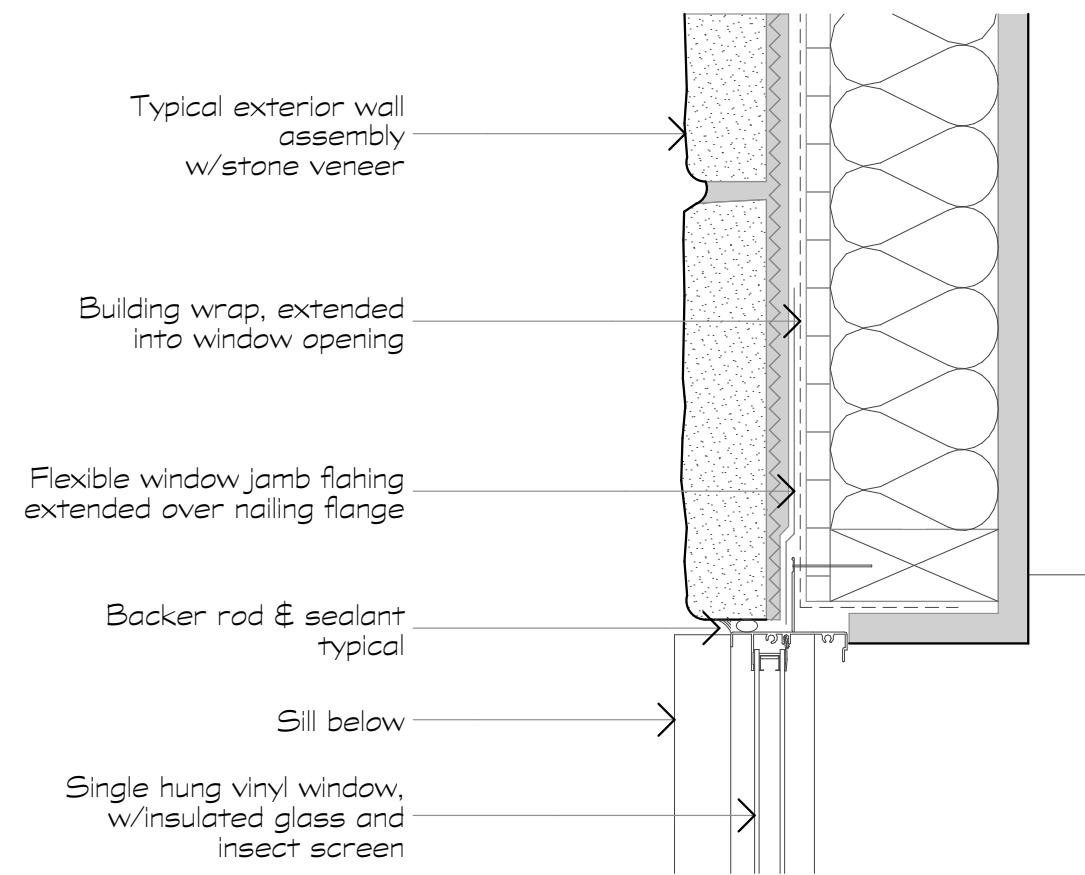
Door hardware schedule table with columns: Set No., hardware items. Lists hardware sets 1 through 21.

door & window elevations

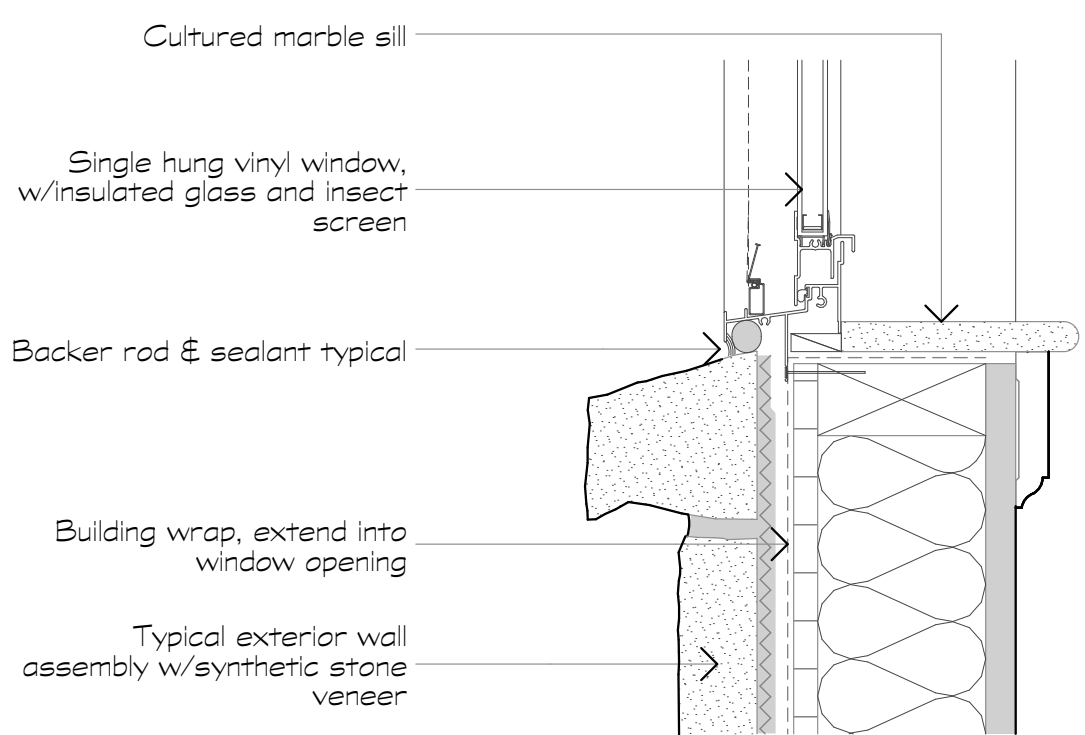




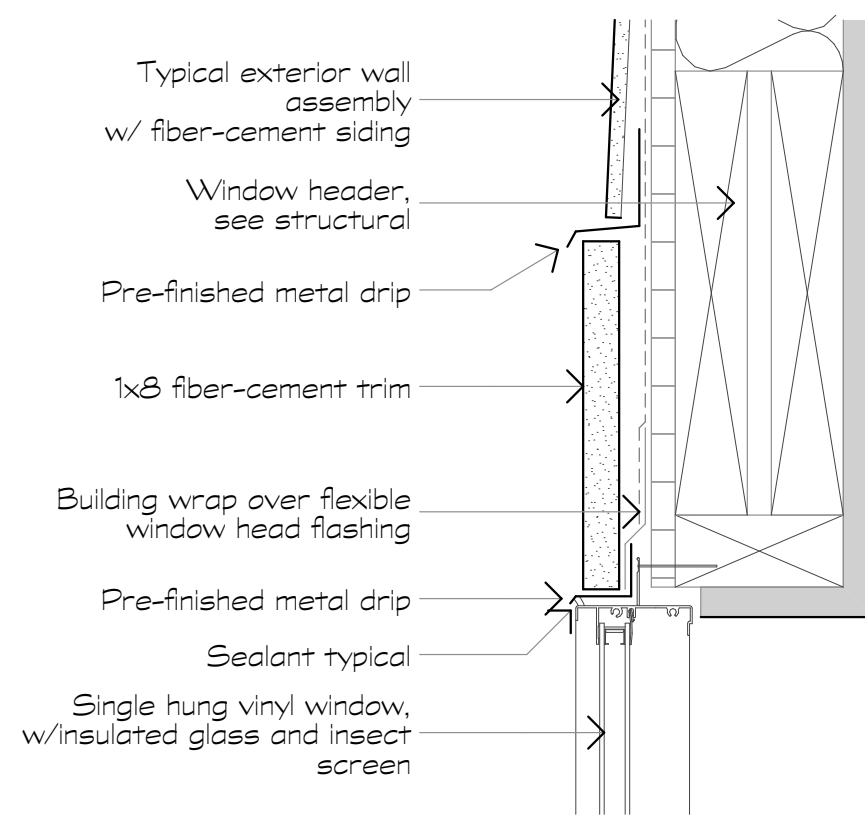
1 Window Head at Stone Veneer
Scale: 3" = 1'-0"



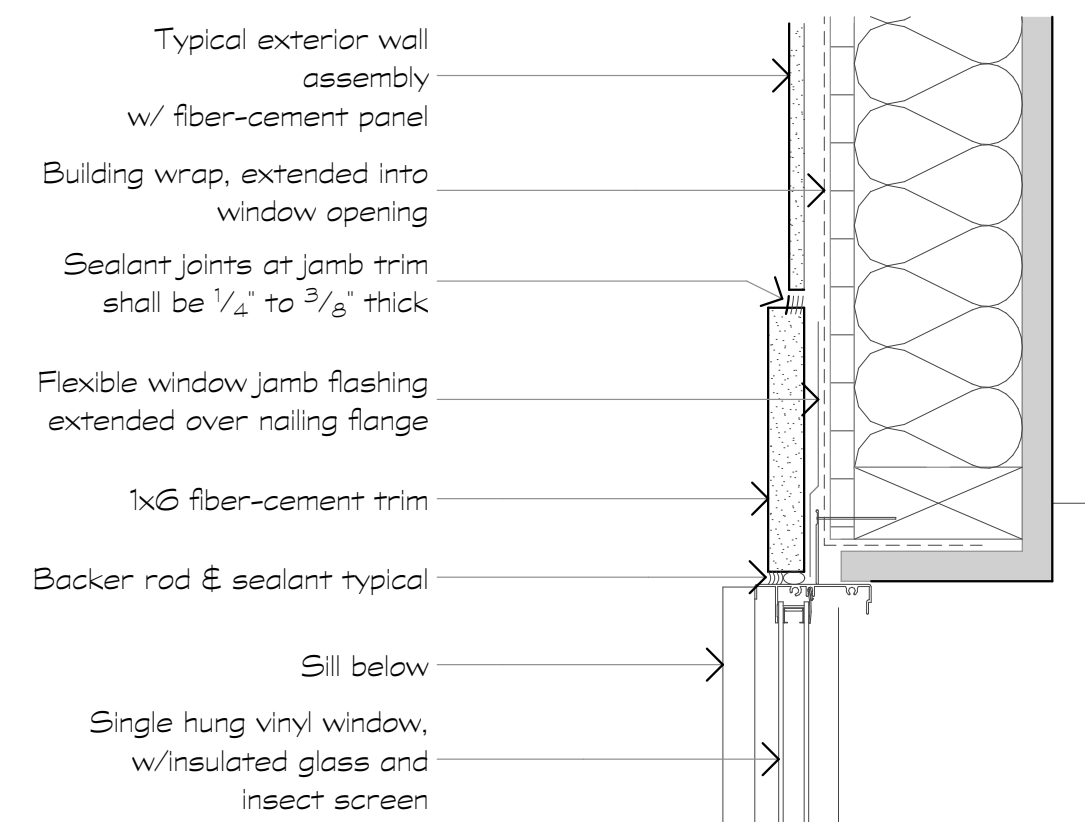
2 Window Jamb at Stone Veneer
Scale: 3" = 1'-0"



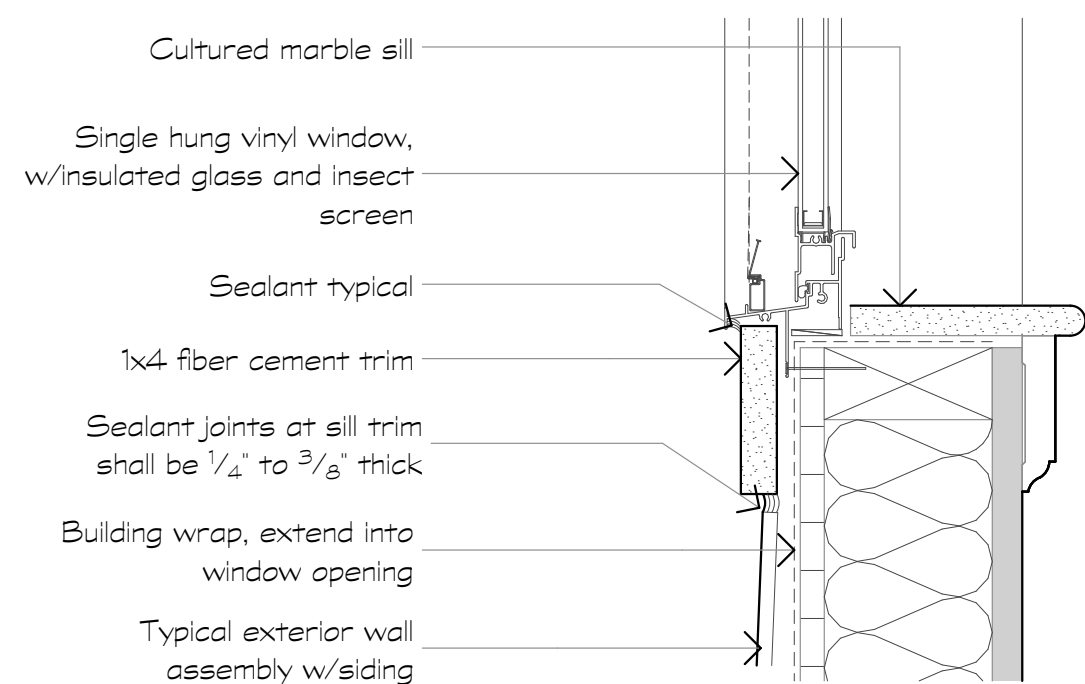
3 Window Sill at Stone Veneer
Scale: 3" = 1'-0"



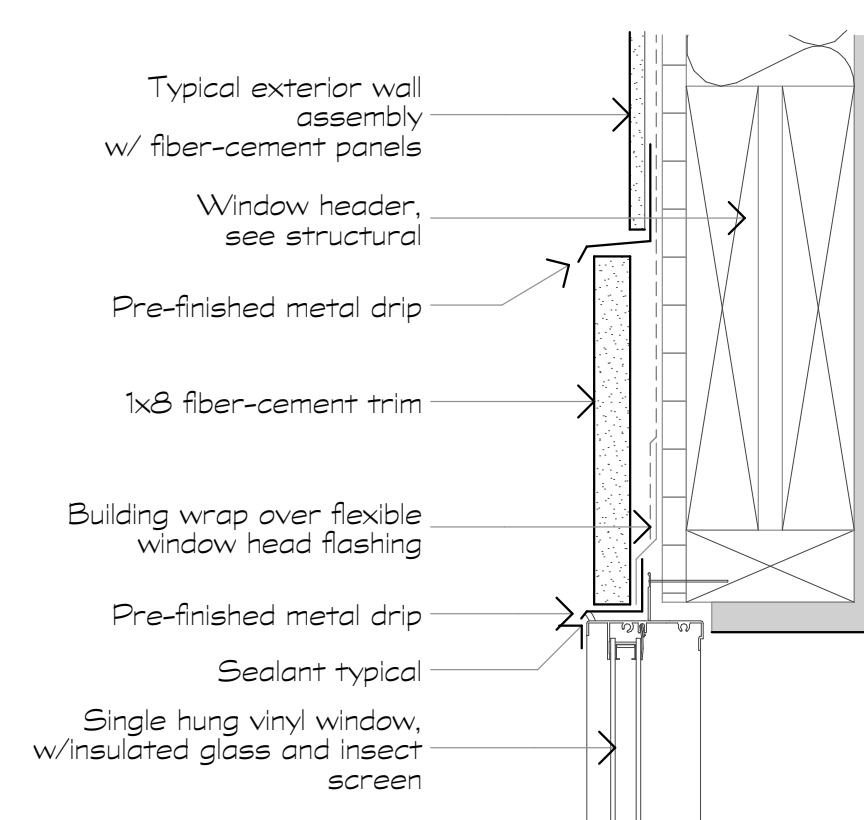
4 Window Head Siding
Scale: 3" = 1'-0"



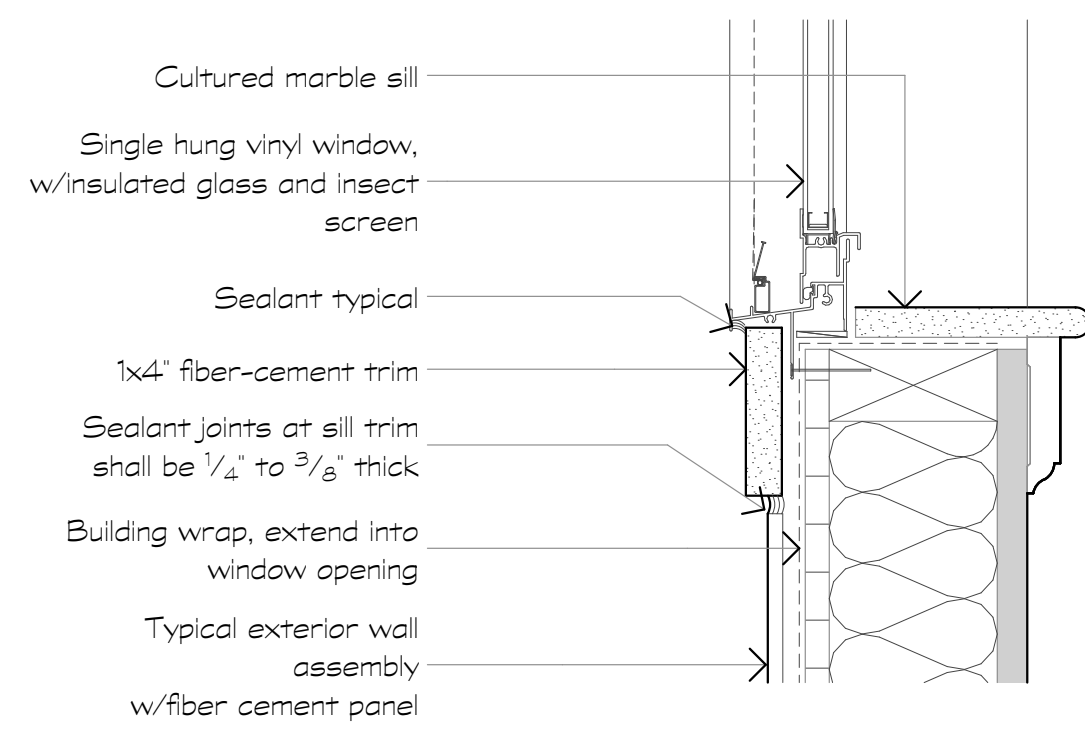
5 Window Jamb Siding & Panels
Scale: 3" = 1'-0"



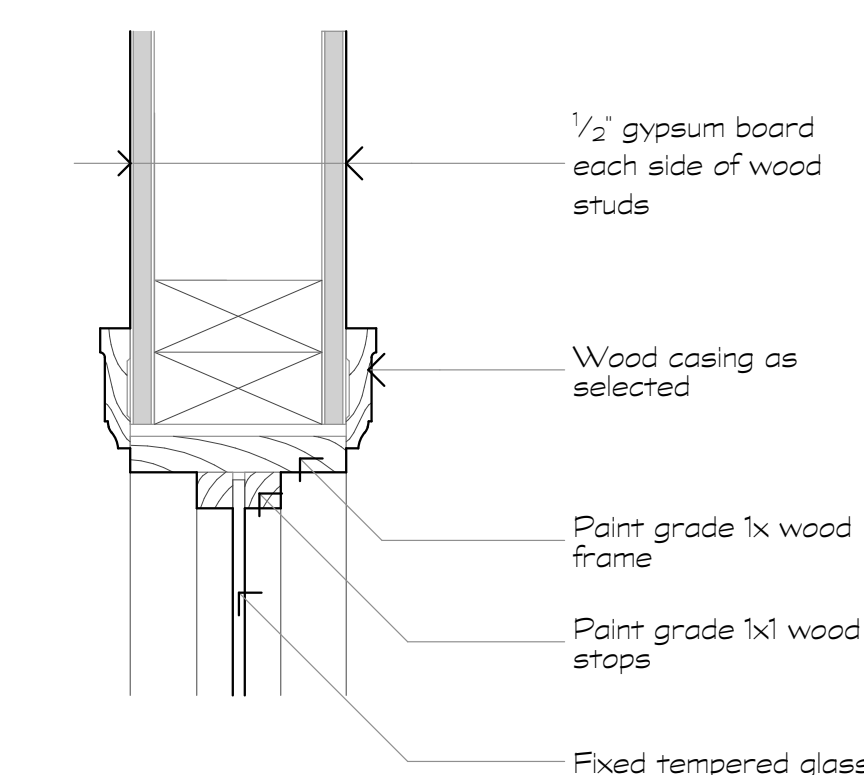
6 Window Sill Siding
Scale: 3" = 1'-0"



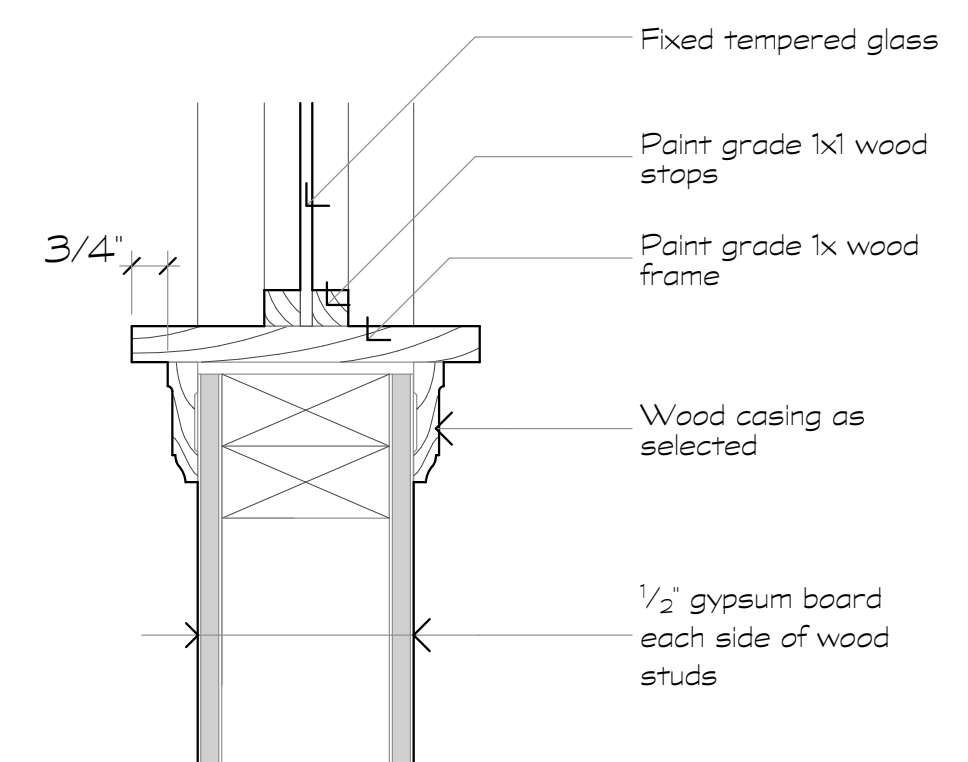
7 Window Head Panel
Scale: 3" = 1'-0"



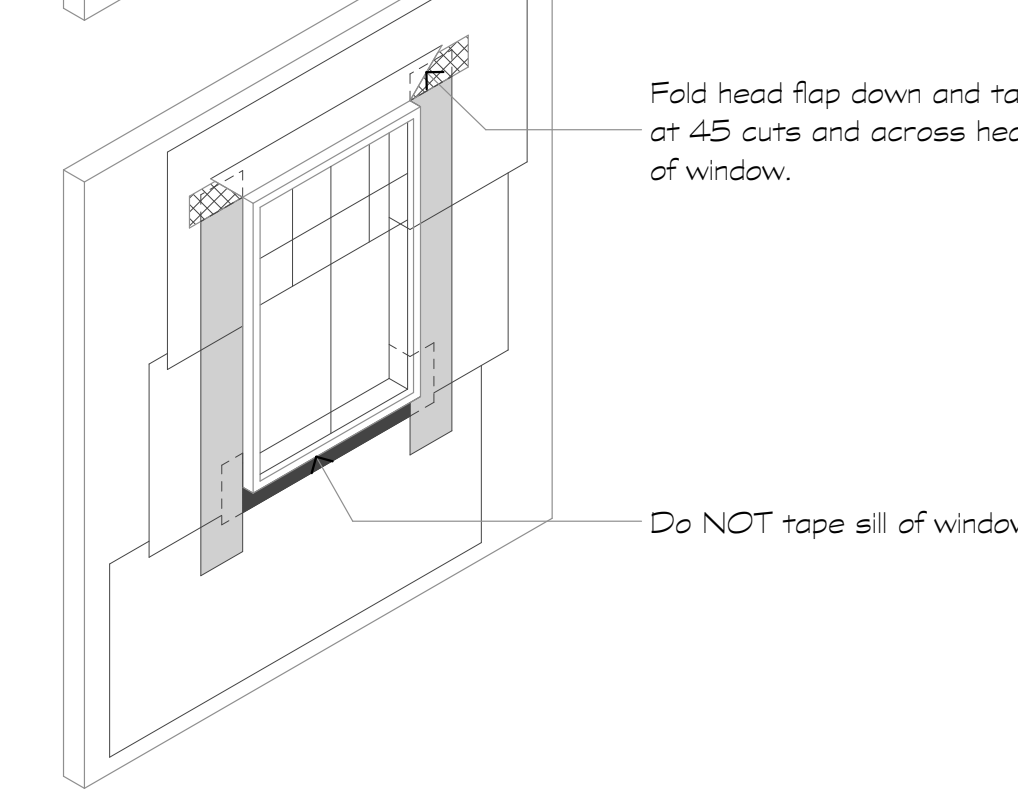
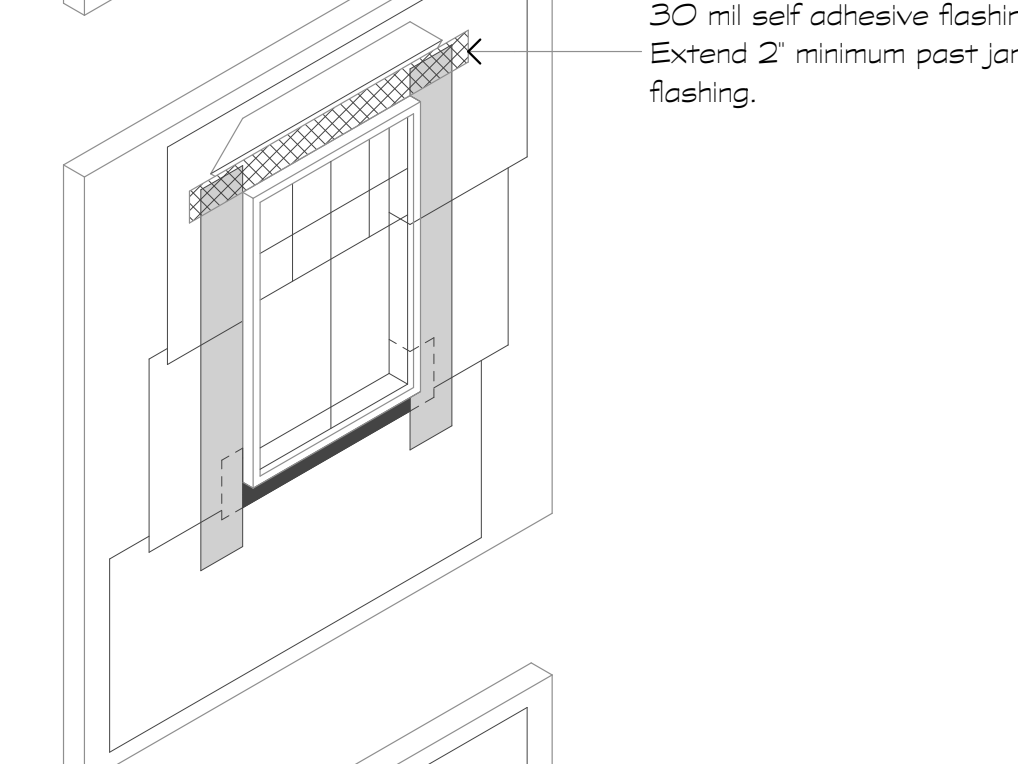
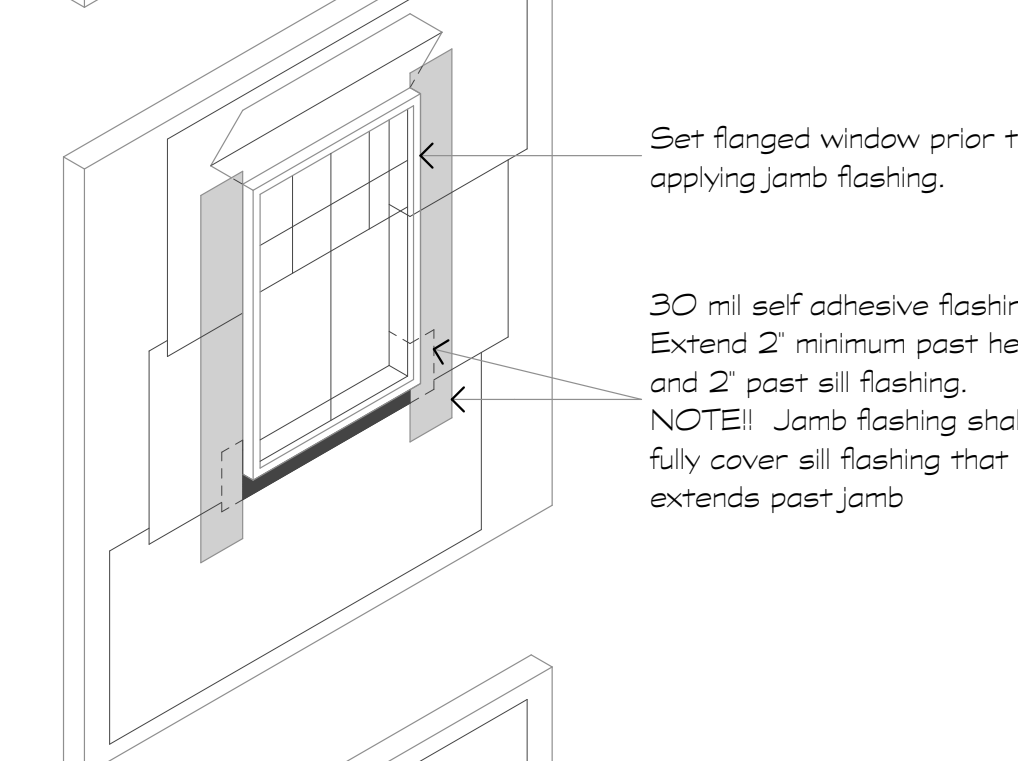
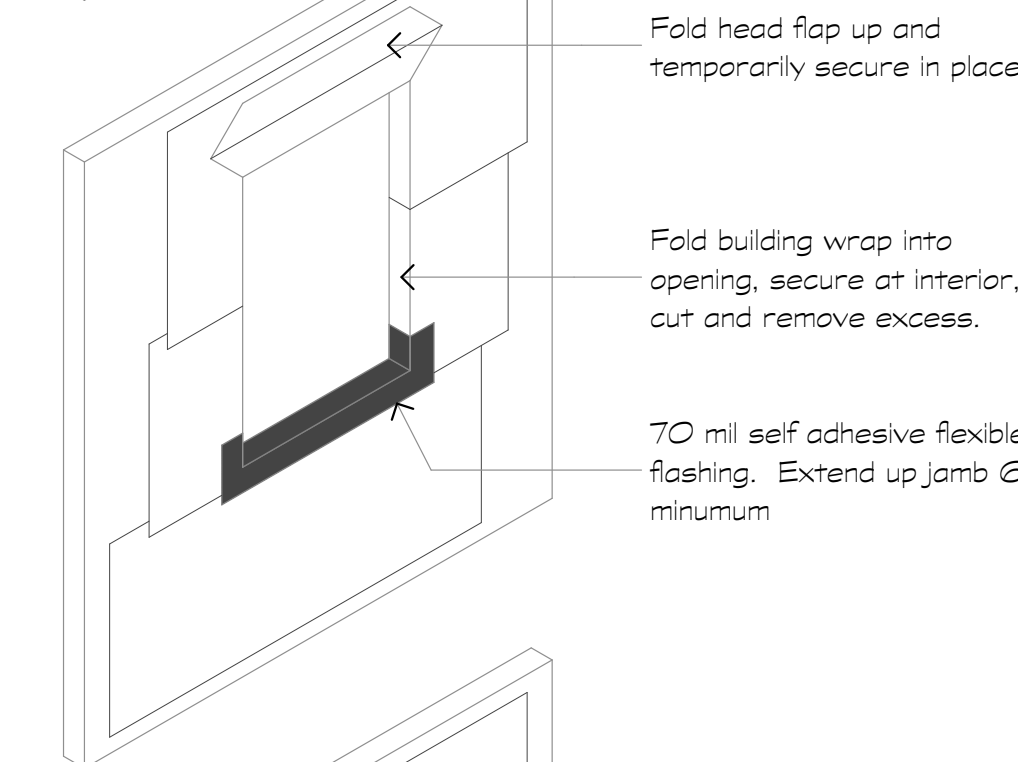
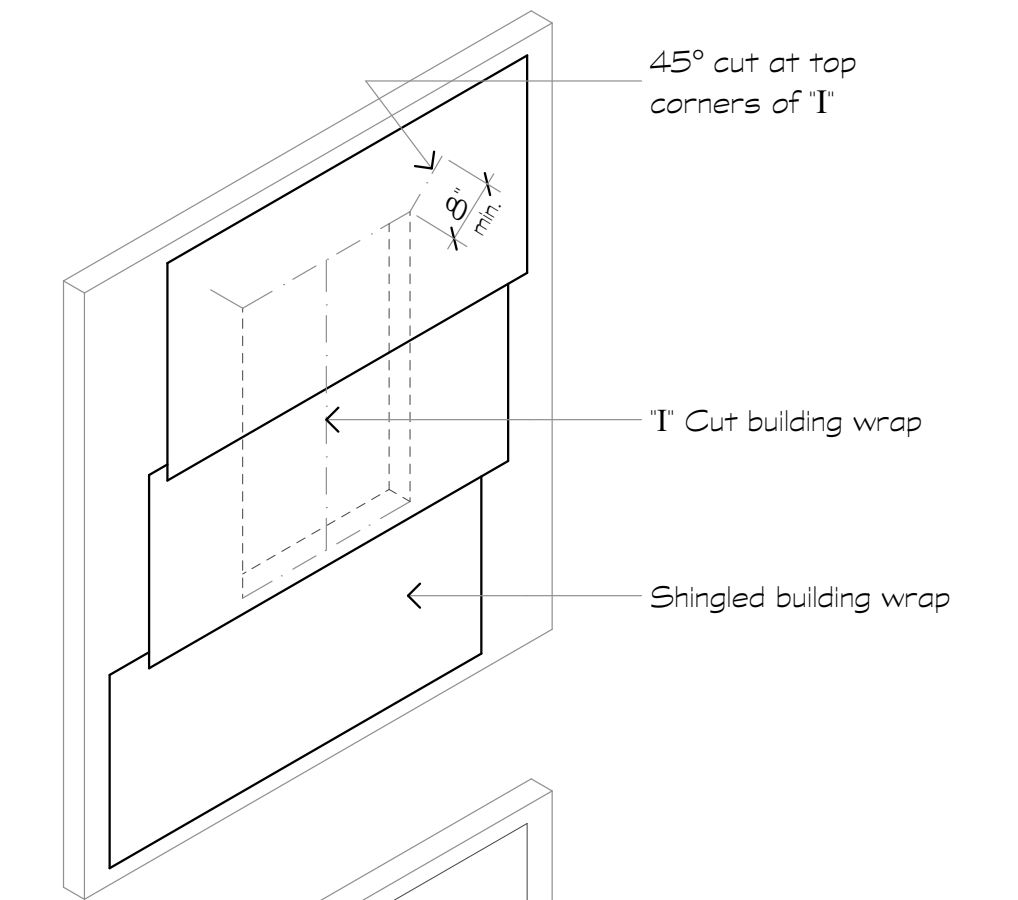
8 Window Sill Panel
Scale: 3" = 1'-0"



9 Window Head Int. Wood
Scale: 3" = 1'-0"



10 Window Sill Int. Wood
Scale: 3" = 1'-0"



11 Window/Flash Wrap Detail
Scale: 1/2" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

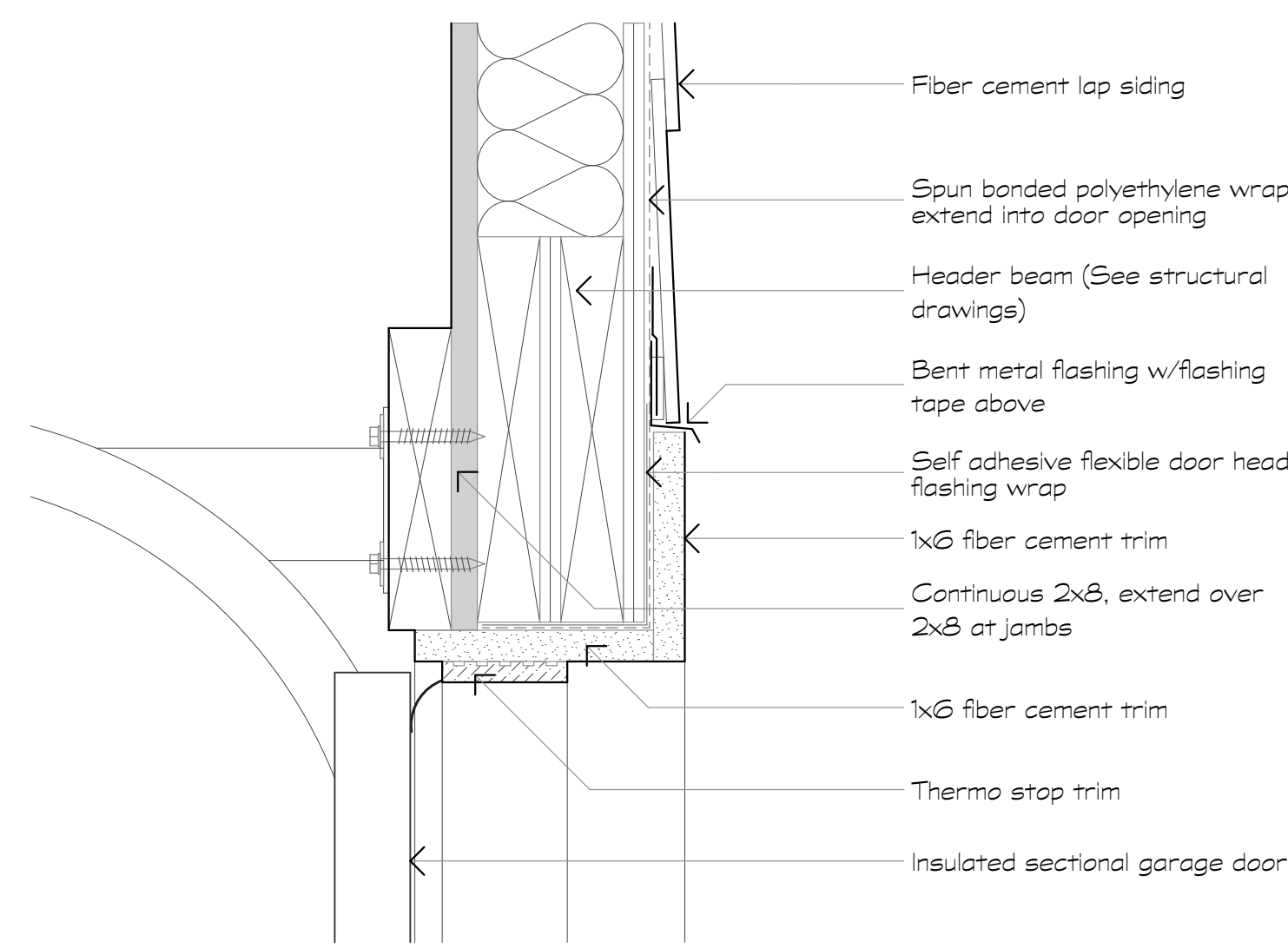
This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Window Details

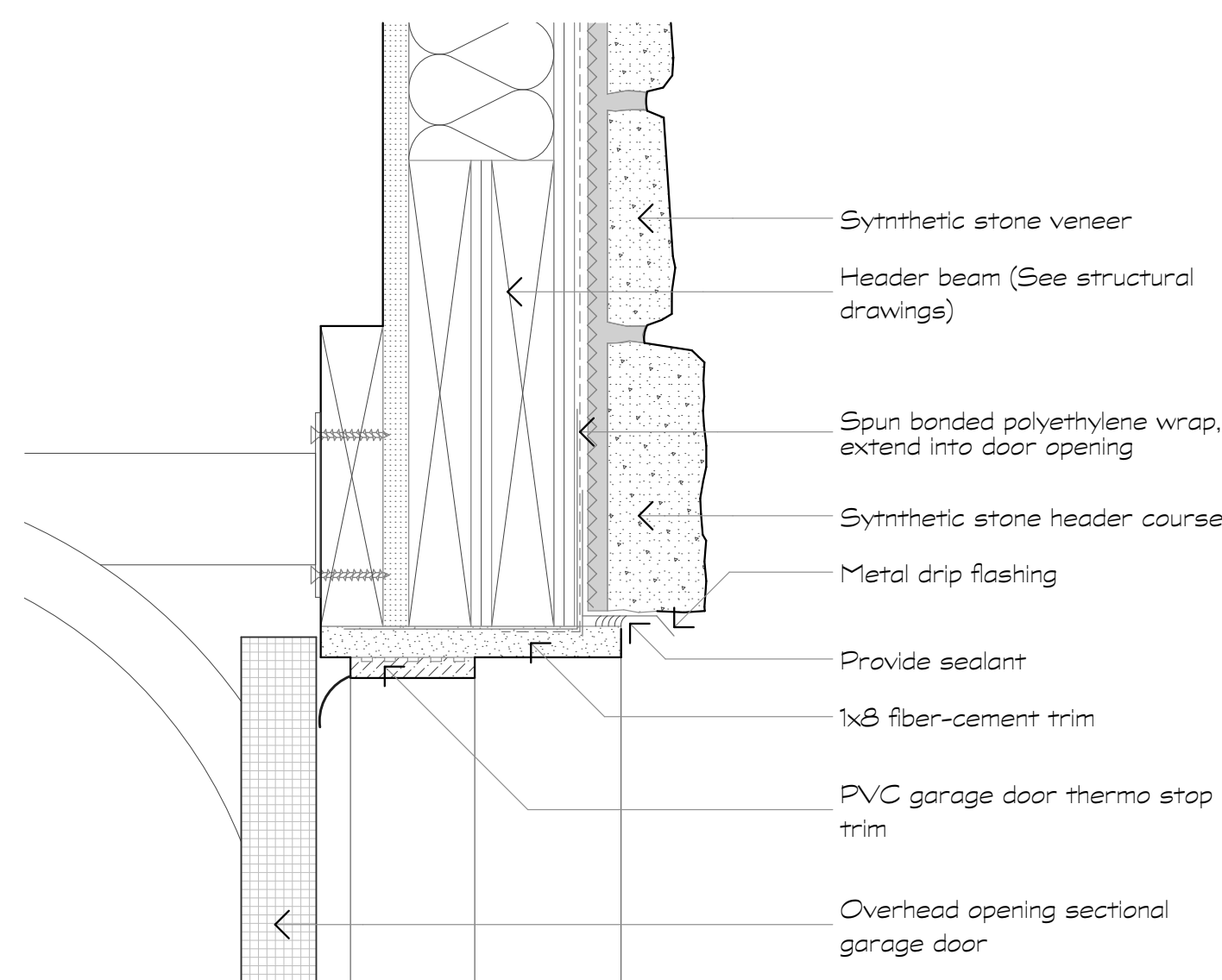
Date:
September 30, 2022

Sheet Number:

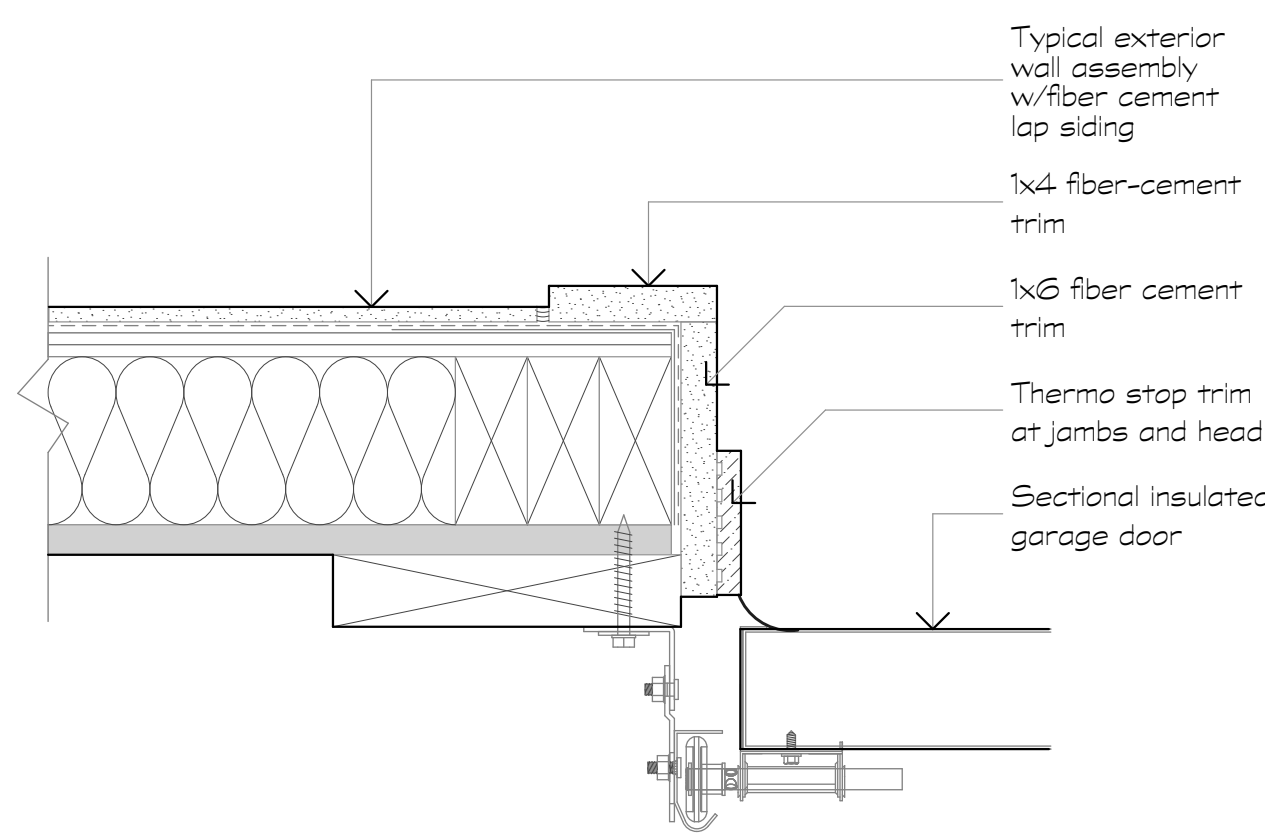
A8.2



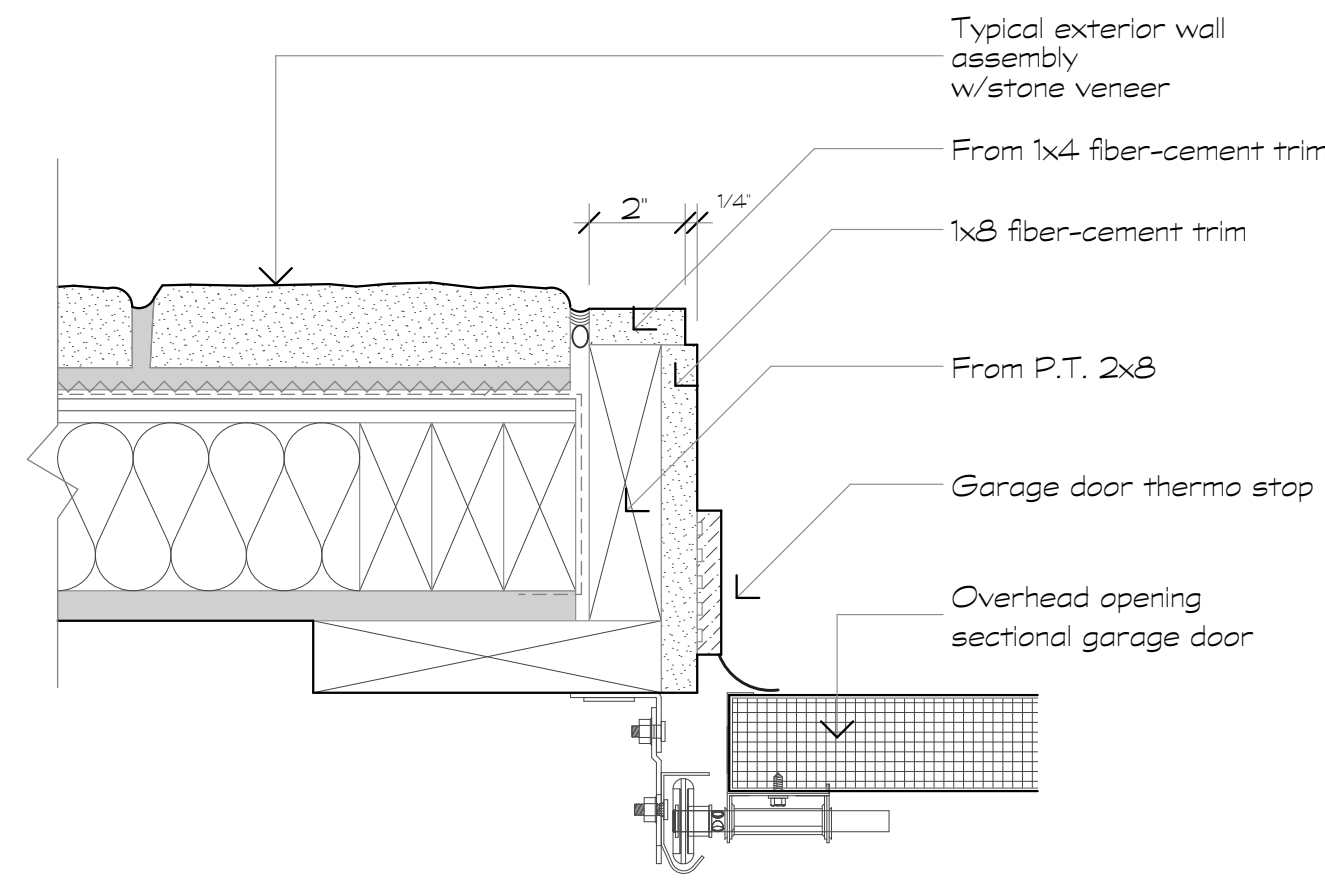
1 Garage Door Head Siding
Scale: 3/8" = 1'-0"



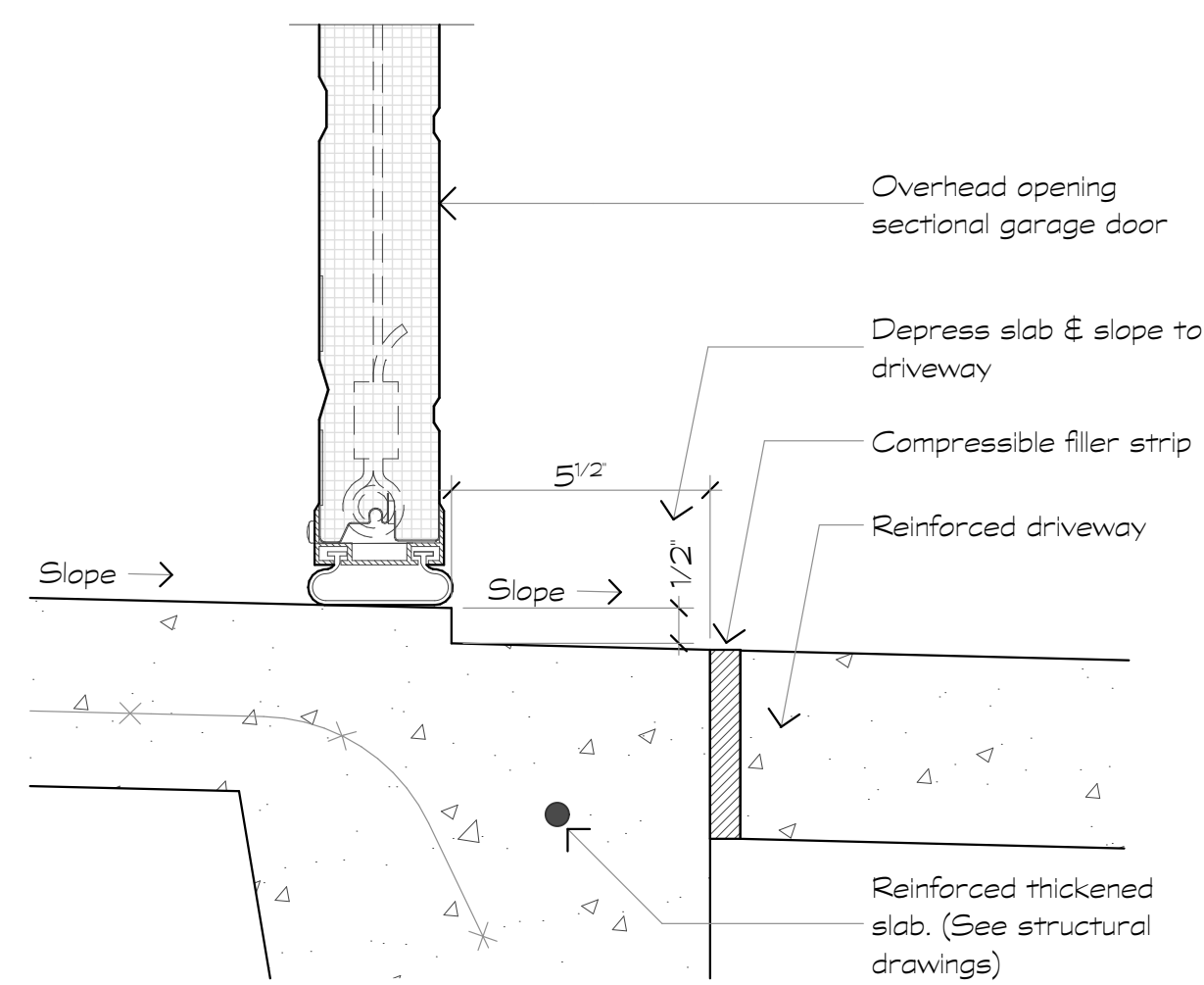
3 Garage Door Head Stone
Scale: 3/8" = 1'-0"



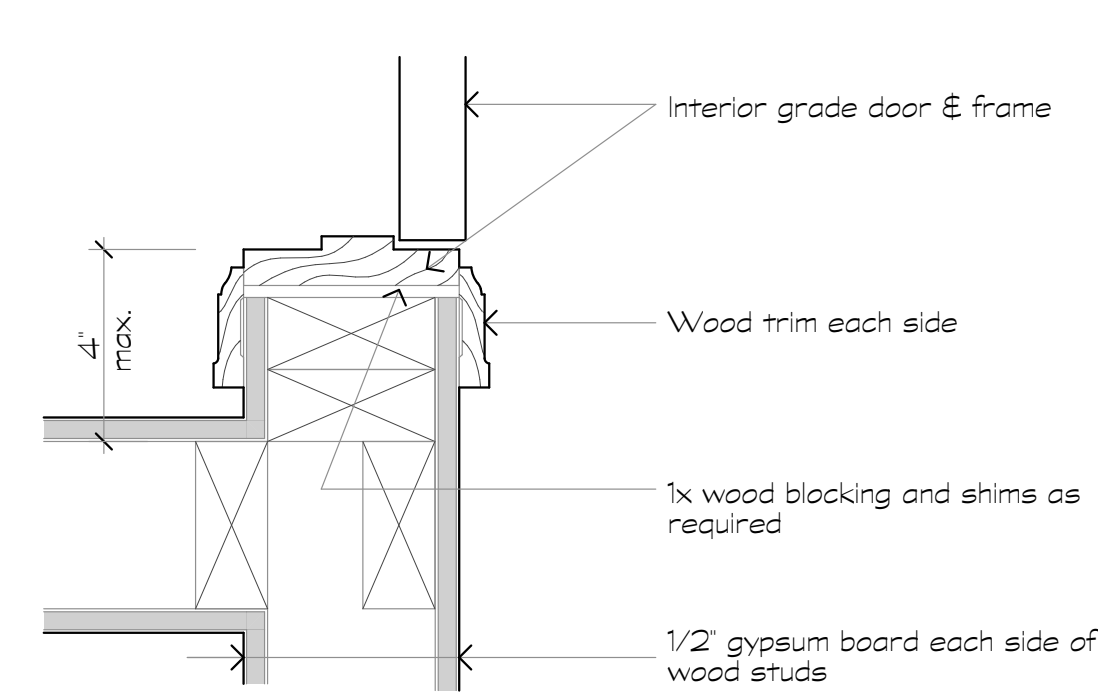
2 Garage Door Jamb Siding
Scale: 3/8" = 1'-0"



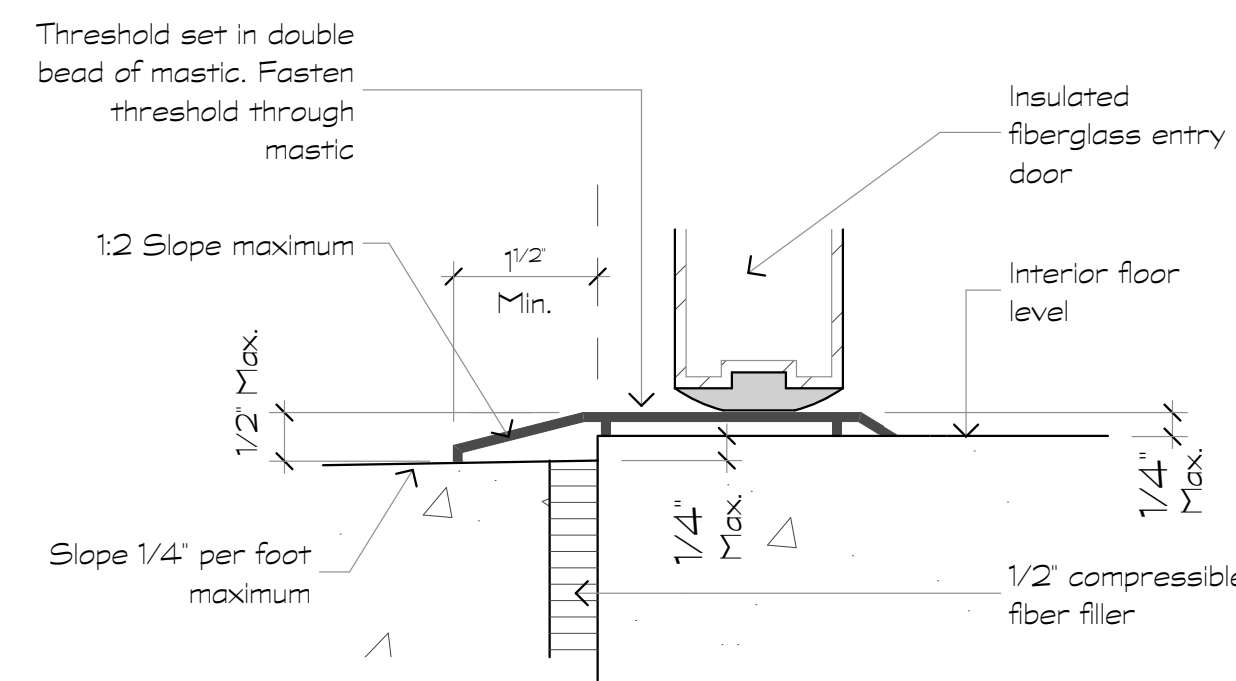
4 Garage Door Jamb Stone
Scale: 3/8" = 1'-0"



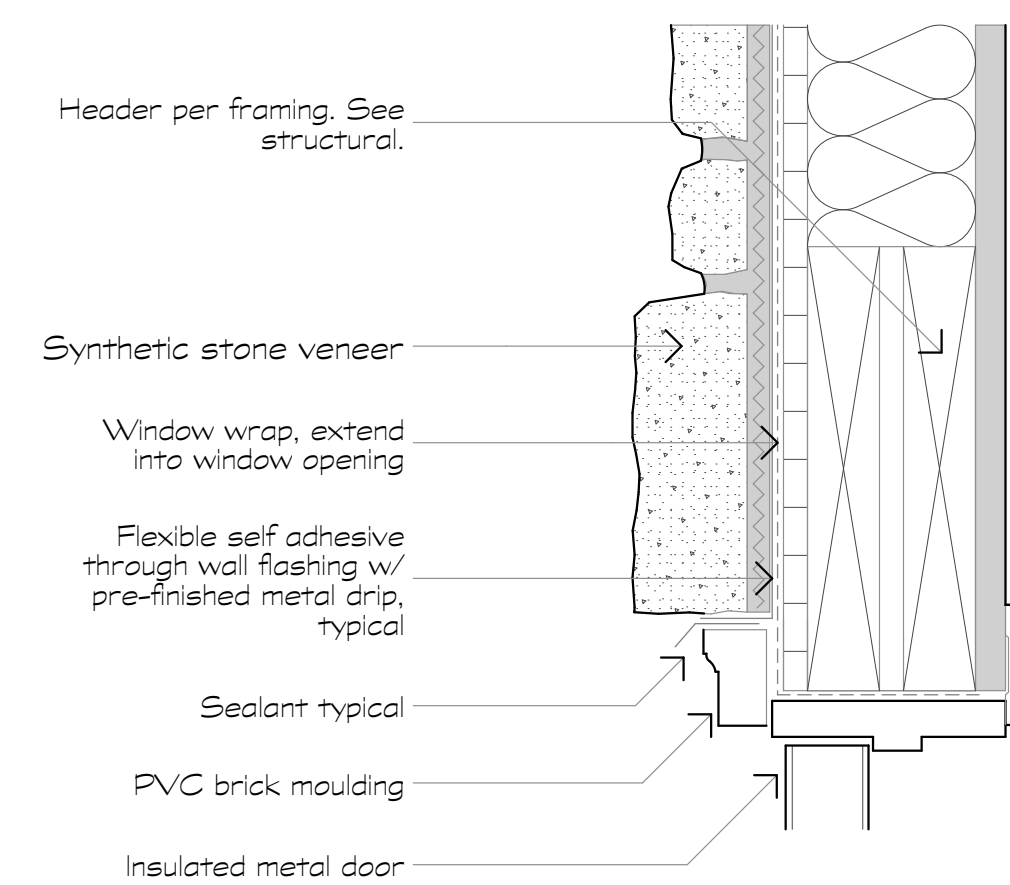
5 Garage Door Sill
Scale: 3/8" = 1'-0"



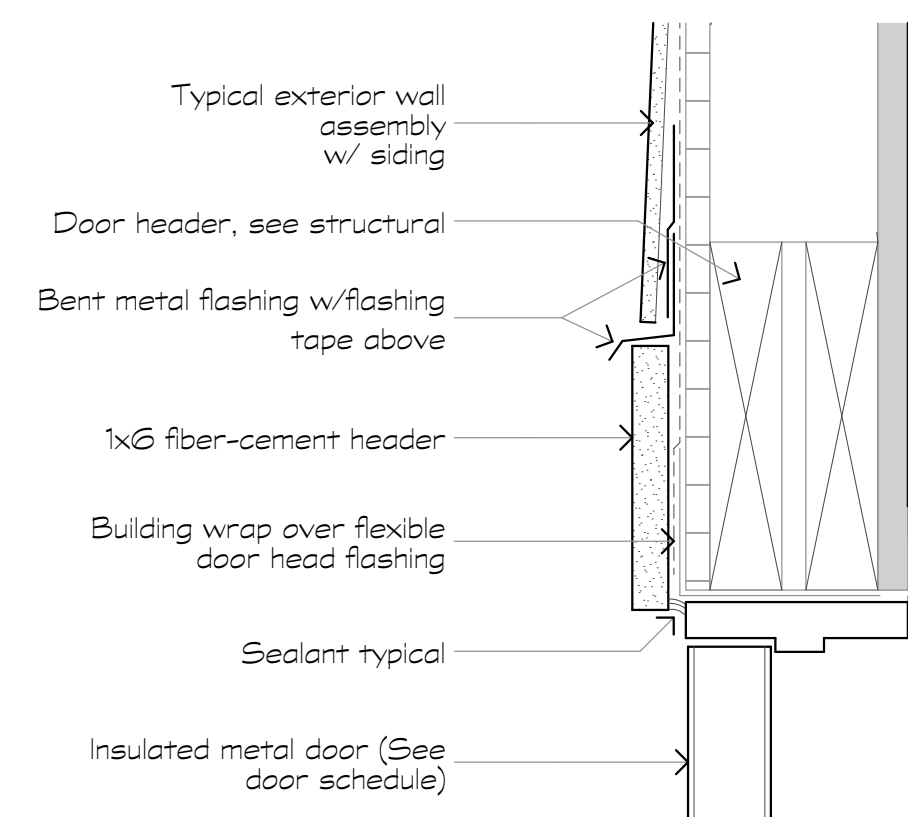
6 Jamb and head at Interior Door
Scale: 3/8" = 1'-0"



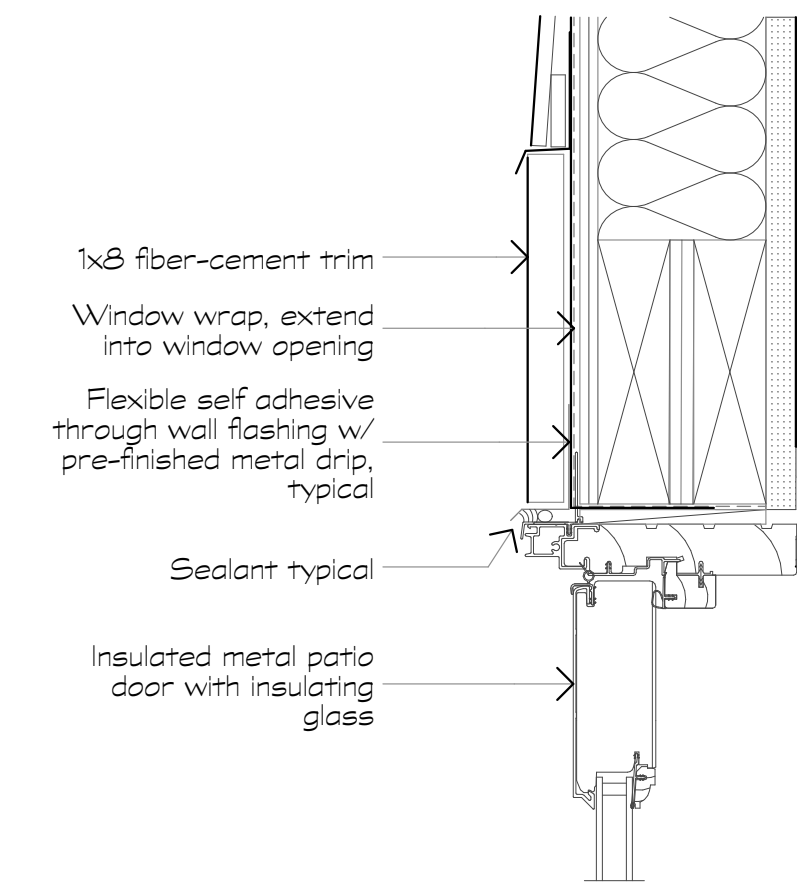
7 Threshold at Entry
Scale: 3/8" = 1'-0"



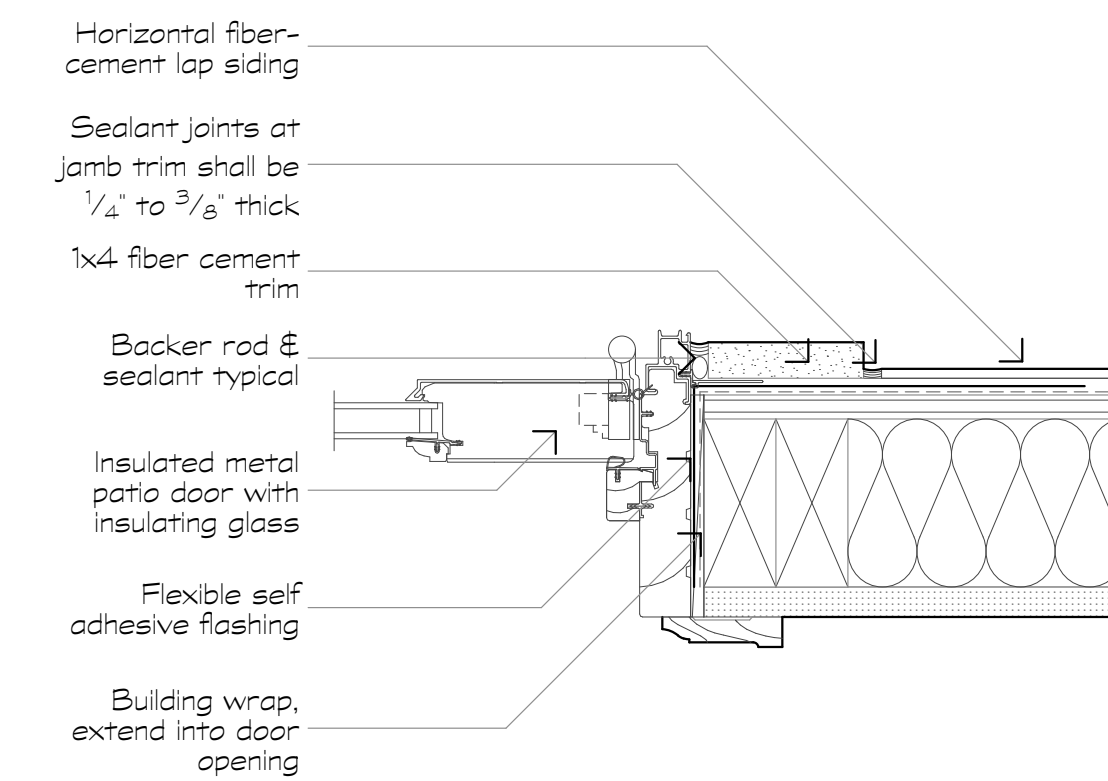
8 Door Head Stone
Scale: 3/8" = 1'-0"



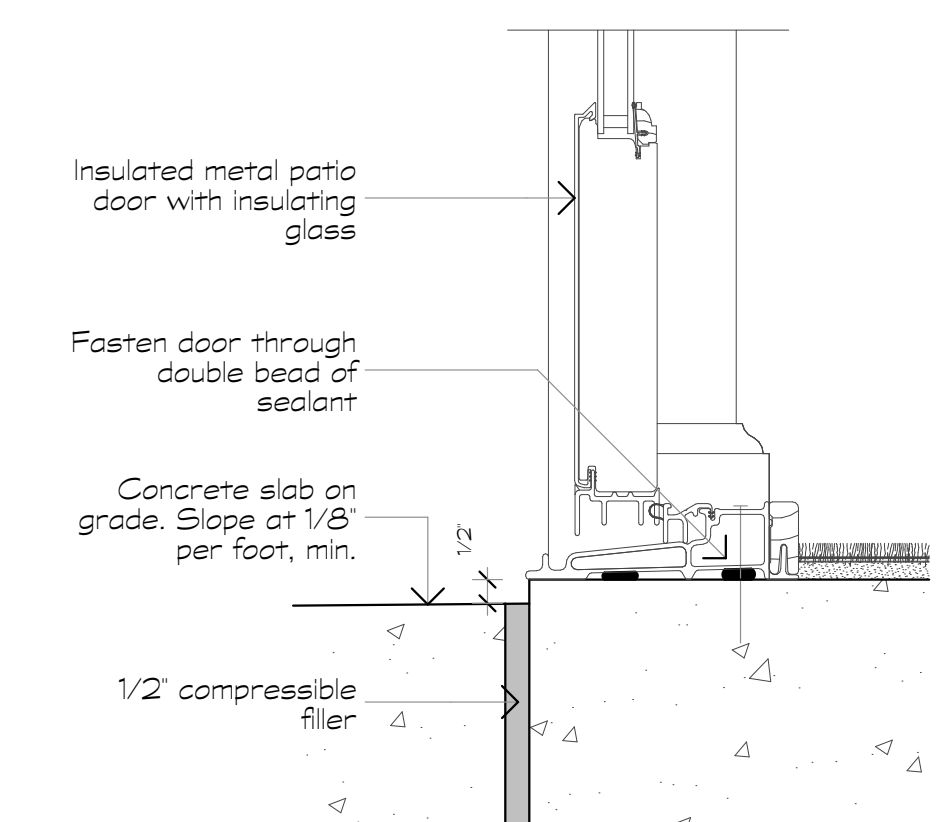
9 Door Head Siding
Scale: 3/8" = 1'-0"



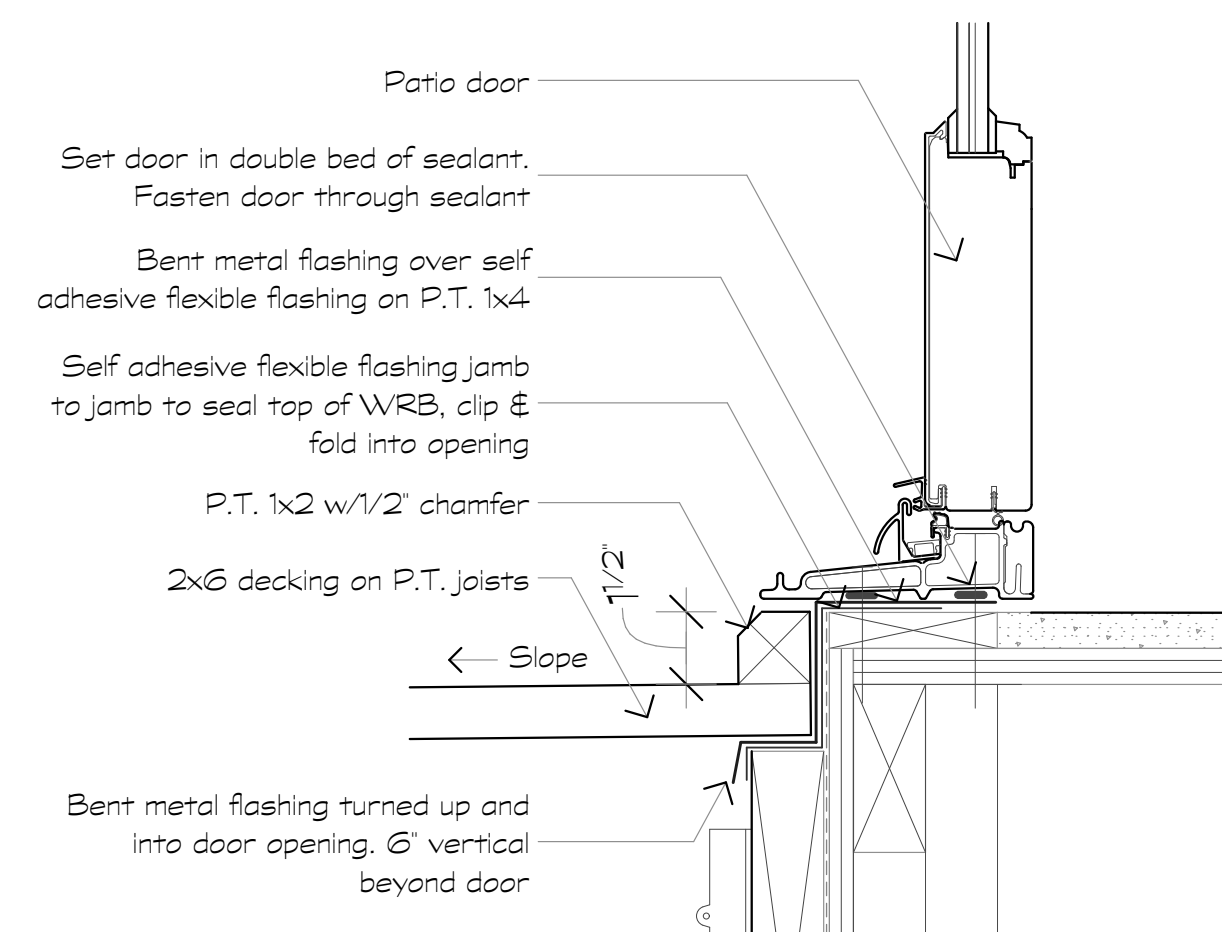
10 Patio Door Head
Scale: 3/8" = 1'-0"



11 Patio Door Jamb
Scale: 3/8" = 1'-0"



12 Patio Door Sill
Scale: 3/8" = 1'-0"



13 Patio Door Sill at Deck
Scale: 3/8" = 1'-0"

Revisions:

Date: Description:

Construction Documents

Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

This drawing as an instrument of services, is and shall remain the property of SGN+A and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
Door Details

Date:
September 30, 2022

Sheet Number:

A8.3