# Construction Documents Lullwater at Ft. Clarke Apartments

# Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC September 30, 2022

# **Project Team**

**Project Code Data** 

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Landscape Architect: SGN+A, Inc. 315 West Ponce de Leon Avenue Suite 755 Decatur, Georgia 30030 Phone: 404-373-7370 Fax: 404-373-7372

Structural Engineer: Davis & Church, LLC 1400 Union Hill Road Alpharetta, Georgia 30005 Phone: 770-642-1213 Fax: 770-752-8891

Mechanical, Electrical, and Plumbing Engineer: Jordan and Skala Engineers, Inc. 4275 Shackleford Road Suite 200 Norcross, Georgia 30093 Phone: 770-447-5547 Fax: 770-448-0262 Direct Consultants to the Owner:

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Bldg #	Туре	A1: four story	A1: walk ups	A2: four story	A2: walk ups; direct entry garage	A3; four story	A3 : carraige	B1: four story	B1: walk ups	B2: four story	B2: walk ups; direct entry garage	C	Total per Bldg	Direct entry garages	Bway entry garage	Detached garage
1	retail															
2	П		12		2				6				20	2		
3	I						2						2		2	4
4	I						2						2		2	4
5	V	12		8		8			4	20			52			
6	I						2						2		2	4
7	IV								12		2	10	24	2		
8	IV								12		2	10	24	2		
9	I						2						2		2	4
10	I						2						2		2	4
11	П		12		2				6				20	2		
12	III				2				22				24	2		
13	I						2						2		2	4
14	I						2						2		2	4
15	П		12		2				6				20	2		
16	П		12		2				6				20	2		
17	I						2						2		2	4
18	I						2						2		2	4
19	IV								12		2	10	24	2		
20	V	12		8		8		4		20			52			
		24	48	16	10	16	18	4	86	40	6	30	298	16	18	36
		I		1	.32		I	I	. 13	36	I			I	70	I
				44	1.3%				45.	.6%		10.1%			23.5%	

# **Project Data Sheet**



Planning • Architecture Landscape Architecture

SGN+A, Inc. 315 W. Ponce De Leon Avenue Suite 755 Decatur, Georgia 30030 Tel: 404.373.7370 Fax: 404.373.7372 www.sgnplusa.com

### Design No. P522 BXUV.P522 Fire-resistance Ratings - ANSI/UL 263

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Design/System/Construction/Assembly Usage Disclaimer • Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL ucts, equipment, system, devices, and materia Authorities Having Jurisdiction should be consulted before construction.
Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot always address every construction nuance encountered in the field. • When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire restance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate

### BXUV - Fire Resistance Ratings - ANSI/UL 263

BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada See General Information for Fire-resistance Ratings - ANSI/UL 263

See General Information for Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada Design No. P522

Only products which bear UL's Mark are considered Certified.

August 01, 2017 Unrestrained Assembly Rating — 1 Hr

Finish Rating — 25 Min (See Items 3 or 3A

This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Desig Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used See Guide <u>BXUV</u> or <u>BXUV</u>

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.





Alternate Insulation Placement . Roofing System\* — Any UL Class A, B or C Roofing System (TGFU) or Prepared Roof Covering (TFWZ acceptable for use over nom 15/32 in. thick wood structural panels, min. grade "C-D" or "Sheathing". Nom 15/32 in. thick wood structural panels secured to trusses with No. 6d ringed shank nails spaced 12 in. OC along each truss. Staples having equal or greater with ce strength may be substituted for the 6d nails. Construction adhesive may be used with either the nails or staples. 2. Trusses - Pitched or parallel chord wood trusses, spaced a max of 24 in. OC, fabricated from nom 2 by 4 umber, with lumber oriented vertically or horizontally. Truss members secured together with min. 0.0.356 in. thick galv steel plates. Plates have 5/16 in. long teeth projecting perpendicular to the plane of the plate. The teeth are in pairs facing each other (made by the same punch), forming a split tooth type plate. Each tooth has a chisel point on

its outside edge. These points are diagonally opposite each other for each pair. The top half of each tooth has a twist The outside edge. These points are inagonally opposite each other for each pair. The top hall of each tooth has a twist for stiffness. The pairs are repeated on approximately 7/8 in. centers with four rows of teeth per inch of plate width. Where the truss intersects with the interior face of the exterior walls, the min truss depth shall be 5-1/4 in. with a min roof slope of 3/12 and a min. area in the plane of the truss of 21 sq/ft. Where the truss intersects with the interior face of the exterior walls, the min truss depth may be reduced to 3 in. if the batts and blankets (Item 3) are used as shown in the above illustration (Alternate Insulation Placement) and are firmly packed against the intersection of the trust of the exterior walls. bottom chords and the plywood sheathing. 3. Batts and Blankets\* – (Optional) – Required when Item 6B is used – Glass fiber insulation, secured to the

wood structural panels with staples spaced 12 in. OC or to the trusses with 0.090 in. diam galv steel wires spaced 12 in. OC. Any glass fiber insulation bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance, having a min density of 0.5 pcf. As an option, the insulation may be fitted in the concealed space, draped odified as specified in Items 6 and 7. When Steel Framing Members (Item 6B) are used, max 3-1/2 in. thick insulation shall be draped over the furring channels (Item 6Ba) and gypsum board ceiling membrane, and friction-

fitted between trusses and Steel Framing Members (Item 6Bd). The finished rating has only been determined when the insulation is secured to the decking. 3A. Fiber, Sprayed\* - As an alternate to Item 3 (not evaluated for use with Item 6B) - Any thickness of sprayapplied cellulose insulation material, having a min density of 0.5 lb/ft<sup>3</sup>, applied with water, over the resilient channel/gypsum board ceiling membrane when resilient channels and gypsum board attachment is modified as specified in Items 6 and 7. Fiber, Spraved is applied with moisture in accordance with the application instruction specified in items 6 and 7, more, sprayed is applied with mosture in accordance with the application instructions supplied with the product. The finish rating when Fiber Sprayed is used has not been determined. Alternate application method: The fiber is applied without water or adhesive in accordance with the application instructions supplied with a minimum density of 0.5 lb/ft<sup>3</sup> over the resilient channel/gypsum board ceiling membrane when resilient channels and gypsum board attachment is modified as specified in Items 6 and 7. Alternate application method: The fiber is applied without water or adhesive to a nominal density of 3.5 lb/f3 black head and the second to the rafters. The netting is stapled at both lower edges of the rafters creating a cavity to accept the cellulose fiber. U S GREENFIBER L L C - INS735 & INS745 for use with wet or dry application. INS510LD, INS515LD, INS541LD, INS735, INS745, INS765LD, and INS770LD are to be used for dry application only.

3B. Foamed Plastic\* — (As an alternate to Item 3 or 3A, Not Shown) — Spray foam insulation applied directly to the underside of the underside of the roofing system (Item 1). Spray foam insulation installed to a maximum thickness of 10 in. at a nominal 0.5  $lb/t^3$  density. When spray foam insulation is used, resilient channels (Item 6) shall be installed maximum 12 in. OC, with channels adjacent to butt joints of gypsum board (Item 7) installed at 6 in. OC to allow for maximum 3 in. spacing off ends of the gypsum board joints. Gypsum board (Item 7) to be installed using 1-1/4 in. long Type S screws, spaced maximum 8 in. OC. If used with a fire damper (Items 5 through 5H) in the concealed space, minimum 1 in. clearance to be maintained between damper housing and spray foam insulation. Not evaluated for use with Items 6A through 6F. SES FOAM INC — Sucraseal 0.5 lb

3C. Cavity Insulation - Batts and Blankets\* or Fiber, Sprayed\* - (As described above) in Items 3 and 3A -For Use with Item 7B, Not Shown) - Min. 3-1/2 in thick with no limit on maximum thickness fitted in the concealed space, draped over the resilient channel (Item 6G)/gypsum board (Item 7B) ceiling membrane. 4. Air Duct\* — Any UL Class 0 or Class 1 flexible air duct installed in accordance with the instructions provided by the 5. Ceiling Damper\* - Max nom area, 324 sq in. Max square size, 18 in. by 18 in. rectangular sizes not to exceed 324 sq in. with a max width of 18 in. Max damper height is 14 in. Installed in accordance with manufacturers installation instructions provided with the damper. Max damper openings not to exceed 162 sq in. per 100 sq ft of

C&S AIR PRODUCTS - Model RD-521 POTTORFF — Model CFD-521

5A. Alternate Ceiling Damper\* — Max nom area, 196 sq in. Max square size, 14 in. by 14 in. Rectangular sizes not to exceed 196 sq in. with a max width of 26 in. Max overall damper height is 7 in. Installed in accordance with the manufacturers installation instructions provided with the damper. Max damper openings not to exceed 98 sq in. per 100 sq ft of ceiling area. C&S AIR PRODUCTS - Model RD-521-BT

POTTORFF - Model CFD-521-BT.

5B. Alternate Ceiling Damper\* - Max nom area shall be 256 sq in. with the length not to exceed 24 in. and the width not to exceed 20 in. Max height of damper shall be 17 in. Aggregate damper openings shall not exceed 128 sq in. per 100 sq ft of ceiling area. Damper installed in accordance with the manufacturers installation instructions provided with the damper. A steel grille shall be installed in accordance with installation instructions. POTTORFF — Models CFD-521-IP, CFD-521-NP

5C. Alternate Ceiling Damper\* - Ceiling damper & fan assembly. Max nom area shall be 75 sq in. with the length not to exceed 8-9/16 in. and the width not to exceed 8-3/4 in. Max height of damper shall be 9-7/8 in. Aggregate damper openings shall not exceed 38 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combination with one of the fan models described in, and in accordance with, the manufacturers installation instructions provided with the damper. A plastic grille shall be installed in accordance with installation instructions. DELTA ELECTRONICS INC - Models CRD2, GBR-CRD, ITG-CRD

5D. Alternate Ceiling Damper\* - Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 75 sq in, with the length not to exceed 9-1/4 in. and the with not to exceed 9-3/4 in. Max height of damper shall be 9-7/8 in. Aggregate damper openings shall not exceed 45 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combination with one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper. A plastic grille shall be installed in accordance with installation

DELTA ELECTRONICS INC - Model SIG-CRD

5E. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 103 sq in. with the length not to exceed 10-1/8 in. and the width not to exceed 10-1/8 in. Aggregate damper openings shall not exceed 52 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combinat one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper. A plastic grille shall be installed in accordance with installation instructions. PANASONIC CORPORATION, PANASONIC CORPORATION OF NORTH AMERICA - Model PC-RD05C5

5F. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 113 sq in. with the length not to exceed 10-1/8 in. and the width not to exceed 11-1/8 in. Aggregate damper openings shall not exceed 57 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combin one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper. A plastic grille shall be installed in accordance with installation instructions. BROAN-NUTONE L L C — Model RDFUWT

5G. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 79 sq in. with the length not to exceed 10 in. and the width not to exceed 7-15/16 in. Aggregate damper openings shall not exceed 40 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combination wit one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper. A metallic grille shall be installed in accordance with installation instructions. BROAN-NUTONE L L C — Models RDJ1 and RDH

5H. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 87 sq in. with the length not to exceed 9 in. and the width not to exceed 9-11/16 in. Aggregate dampe openings shall not exceed 44 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combination with one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper. A plastic grille shall be installed in accordance with installation instructions. BROAN-NUTONE L L C — Model RDMWT

6. Furring Channels – Resilient channels formed of 25 MSG thick galv steel. Installed perpendicular to the trusses (Item 2), spaced a max of 16 in. OC when no insulation (Item 3 or 3A) is fitted in the concealed spaced, or a max of 12 in. OC when insulation (Item 3, 3A or 3B) is fitted in the concealed space, draped over the resilient annel/gypsum board celling membrane, or when insulation ((tem 3B) is applied to the underside of the roofing /stem (Item 1). Two courses of resilient channel positioned 6 in. OC at wallboard butt-joints (3 in. from each end of allboard). Channels oriented opposite at wallboard butt-joints. Channel splices overlapped 4 in. beneath wood trusses. Channels secured to each truss with 1-1/4 in. long Type S screws. 6A. Steel Framing Members\* - (Not Shown) - As an alternate to Item 6, furring channels and Steel Framing

Members as described below: a. Furring Channels — Formed of No. 25 MSG galv steel. 2-9/16 in. or 2-23/32 in. wide by 7/8 in. deep, spaced 24 in. OC perpendicular to trusses when no insulation (Items 3 or 3A) is fitted in the concealed space or 12 in. OC when insulation (Items 3 or 3A) is fitted in the oncealed space, draped over the furring channel/gypsum board ceiling membrane or 24 in. OC when insulation (Items 3 or 3A) is fitted in the concealed space, draped over the furring hannel/gypsum board ceiling membrane and a second layer of gypsum board is attached as described in Item 7 for steel framing members. Channels secured to trusses as described in Item 6Ab. Ends of adjoining channels overlapped 6 in. and tied together with double strand of

No. 18 SWG galv steel wire near each end of overlap. b. Steel Framing Members - Used to attach furring channels (Item a) to trusses (Item 2). through the center hole. Furring channels are friction fitted into clips. RSIC-1 and RSIC-V clips for use with 2-9/16 in. wide furring channels. RSIC-1 (2.75) and RSIC-V (2.75) clips for use with 2-23/32 in. wide furring channels. Adjoining channels are overlapped as described in

Item 6Aa. As an alternate, ends of adjoining channels may be overlapped of i.e. and secured together with two self-tapping No. 6 framing screws, min. 7/16 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Additional clips required to hold furring channel that supports the gypsum board butt joints, as described in Item 7. PAC INTERNATIONAL L L C - Types RSIC-1, RSIC-V, RSIC-1 (2.75), RSIC-V (2.75).

6B. Steel Framing Members\* - (Not Shown) - As an alternate to Items 6 and 6A. a. Furring Channels - Hat-shaped furring channels, 7/8 in. deep by 2-5/8 in. wide at the base and 1-1/4 in. wide at the face, formed from No. 25 ga. galv steel, spaced max 16 in. OC perpendicular to trustee and Cold Rolled Channels (Item 6Bb). Furring channels secured to Cold Rolled Channels at every intersection with a 1/2 in. pan head self-drilling screw through each furring channel leg. Ends of adjoining channels overlapped 4 in. and tied together with two double strand No. 18 SWG galv steel wire ties, one at each end of overlap Supplemental furring channels at base layer and outer layer gypsum board butt joints are no required. Batts and Blankets draped over furring channels as described in Item 3. Two layers of gypsum board attached to furring channels as described in Item 7. b. Cold Rolled Channels - 1-1/2 in. by 1/2 in., formed from No. 16 ga. galv steel, positioned vertically and parallel to trusses, friction-fitted into the channel caddy on the Steel Framing Members (Item 6Bd). Adjoining lengths of cold rolled channels lapped min. 6 in. and wire-tied together with two double strand 18 SWG galv steel wire ties, one at each end of

c. Blocking — Where truss design does not permit direct, full contact of the hanger bracket, a piece of nominal 2 by 4 in. lumber (blocking), min. 6 in. long to permit full contact of the hanger bracket, to be secured vertically to the side of the truss (Item 2) at the top and bottom of the blocking at each Steel Framing Member (Item 6Bd) location. d. Steel Framing Members\* — Hangers spaced 48 in. OC. max along truss, and secured to

the Blocking (Item 6Bc) on alternating trusses with a single 5/16 in. by 2 in. hex head lag bolt or four #6 1-1/4 in. drywall screws through mounting hole(s) on the hanger bracket. The two 1/4 in. long steel teeth on the hanger are embedded in the side of the blocking. Hanger (1/4)n blocking and leveling bolt height adjusted such that furring channels are flu with bottom of trusses before gypsum board installation. Spring gauge of hanger chosen per manufacturer's instructions. KINETICS NOISE CONTROL INC - Type ICW.

6C. Steel Framing Members\* — (Not Shown) — As an alternate to Items 6, 6A and 6B. a. Furring Channels - Formed of No. 25 MSG galv steel, 2-3/8 in. wide by 7/8 in. deep nstalled perpendicular to wood structural members. Channels spaced a max of 24 in. Of when no insulation (Item 3 or 3A) is fitted in the concealed space or a max of 24 min of when insulation (Item 3 or 3A) is fitted in the concealed space. Channels secured to trus as described in Item 6Cb. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18 AWG galvanized steel wire near each end of overlap. b. Steel Framing Members\* — Used to attach furring channels (Item 6Ca) to trusse (Item 2). Clips secured to the bottom chord of each truss (24 in. OC) with one No. 8 by 2-1/2 in. long coarse drywall screw through center grommet. Furring channels are friction fitted into clips. Adjoining channels are overlapped as described in Item 6Ca. As an alternate ends of adjoining channels may be overlapped to detect to detect the with two self-tapping No. 6 framing screws, min 7/16 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Additional clips required to hold furring channel that supports the gypsum board butt joints, as described in Item 7. PLITEQ INC — Type Genie Clip

6D. Steel Framing Members\* - (Not Shown) - As an alternate to Items 6, 6A, 6B and 6C. a. Main runners — Installed perpendicular to trusses — Nom 10 or 12 ft long, 15/16 in. or Ham Himers — Inscaled perpendicular to trustes — Non 12 of 12 (1009, 12) (100, 01)
 1-1/2 in. Wide face, spaced 4 ft OC. Main runners hung a min of 2 in. from bottom chord of trustes with 12 SWG galv steel wire. Wires located a max of 48 in. OC. b. Cross tees or channels - Nom 4 ft long, 15/16 in, or 1-1/2 in, wide face or cross b. Cross tees or channels — Nom 4 tr long, 15/16 in. or 1-1/2 in. whe race or cross channels, nom 4 ft long, 1-1/2 wide face, installed perpendicular to the main runners, spaced 16 in. OC. Additional cross tees or channels used at 8 in. from each side of butted gypsum board end joints. The cross tees or channels may be riveted or screw-attached to the wall angle or channel to facilitate the ceiling installation. c. Wall angles or channels - Used to support steel framing member ends and for screwattachment of the gypsum wallboard — Min 0.016 in. thick painted or galvanized steel angle with 1 in. legs or min. 0.016 in. thick painted or galvanized steel channel with a 1 by 1-1/2 b 1 in. profile, attached to walls at perimeter of ceiling with fasteners 16 in. OC.

**USG INTERIORS LLC** — Type DGL or RX

CGC INC — Type DGL or RX

angle or channel to facilitate the ceiling installatio

6E. Alternate Steel Framing Members\* - (Not Shown) - As an alternate to items 6, 6A, 6B, and 6C, furring annels and Steel Framing Members as described below a. Furring Channels - Formed of No. 25 MSG galv steel, 2-5/8 in, wide by 7/8 in deep. as running channes — ronneo on to: 25 Jun 30 gain science, 25 Jun 3, web sy 7,5 m deep, n spaced 24 in OC, perpendicular to trusses. When insulation, Items 3 or 3A is used, the furring channel spacing shall be reduced to 12 in. OC. Channels secured to joists as described in Item b. Steel Framing Members\* — Used to attach furring channels (Item a) to the wood trusses (Item 2). Clips spaced at 48" OC and secured to the bottom of the trusses with one 2 in. Coarse Drywall Screw with 1 in. diam washer through the center hole. Furring channels are then friction fitted into clips. Ends of channels are overlapped 6" and tied together with double strand of No. 18 AWG galvanized steel wire. Additional clips are required to hold the Gypsum Butt joints as described in Item 7.

STUDCO BUILDING SYSTEMS - RESILMOUNT Sound Isolation Clips - Type A237 or 6F. Steel Framing Members\* - (Not Shown) - As an alternate to Items 6 through 6E- Not for use with Items 3 or 3A. Main runners nom 12 ft long, spaced 72 in. OC. Main runners suspended by min 12 SWG galv steel hanger wires spaced 48 in. OC. Cross tees, nom 6 ft long, installed perpendicular to main runners and spaced 24 in. OC. Additional 6 ft long cross tees required at each gypsum board end joint with butted gypsum board end joints centered between cross tees spaced 8 in. OC. The main runners and cross tees may be riveted or screw attached to the wall

USG INTERIORS LLC — Type DGL or RX 6G. Resilient Channels - For Use With Item 7B - Formed from min 25 MSG galv steel installed perpendicular to Usses and spaced 16 in. OC. Channels secured to each truss with 1-5/8 in. Joing Type 5 bugle head steel screws. channels overlapped 4 in. at splices. Two channels, spaced 6 in. OC, oriented opposite each gypsum panel end joi dditional channels shall extend min 6 in. beyond each side edge of panel. Insulation, Item 3C is applied over the resilient channel/gypsum panel ceiling membrane. 7. Gypsum Board\* — One layer of nom 5/8 in. thick by 48 in. wide boards, installed with long dimension parallel to trusses. Attached to the resilient channels using 1 in. long Type S bugle-head screws. Screws spaced a max of 12 in. OC along butted end-joints and in the field when no insulation (Item 3, 3A or 3B) is fitted in the concealed spaced, or a max of 8 in. OC along butted end-joints and in the field when insulation (Item 3 or 3A) is fitted in the concealed space, draped over the resilient channel/gypsum board ceiling membrane. When insulation (term 3 b) is included in the concealed space, spray-applied to the underside of the roofing system (Item 1), screws are spaced a max of 8 in. OC along resilient channels, and fasteners are increased in length to 1-1/4 in.

When Steel Framing Members\* (Item 6A or 6C) are used, sheets installed with long dimension perpendicular to furing channels and site joints of sheet located beneath trusses. Gypsum board screws are driven through channel spaced 12 in. OC in the field when no insulation (Item 3 or 3A) is fitted in the concealed space, or 8 in. OC in the field when insulation (Item 3 or 3A) is fitted in the concealed space, draped over the furring channel/gypsum board ceiling nembrane. Gypsum board butt joints shall be staggered min. 2 ft within the assembly, and occur between the mair furing channels. At the gypsum board butt joints, each end of the gypsum board shall be supported by a single length of furring channel equal to the width of the wallboard plus 6 in. on each end. The furring channels shall be spaced approximately 3-1/2 in. OC, and be attached to the trusses with one clip at each end of the channel. Screw spacing

aversum board required when furring channels (Itom 6A, a) are enaced 34 in OC and insulation is fitted in the
gypsuin board required when furning channels (term 6A, a) are spaced 24 m. OC and instalation is includ in the concealed space, draped over the furning channels (gypsum board ceiling membrane. Outer layer of gypsum board attached to the furring channels using 1-5/8 in. long Type S bugle-head screws spaced 8 in. OC at butted joints and 12 in. OC in the field. Butted end joints of outer layer to be offset a minimum of 8 in. from base layer end joints. Butted side joints of outer layer to be offset minimum 18 in from butted ide joints of base layer.
When <b>Steel Framing Members</b> (Item 6B) are used, two layers of nom 5/8 in. thick, 4 ft wide gypsum board are installed with long dimensions perpendicular to furring channels (Item 6Ba). Base layer attached to the furring channels using 1 in. long Type S bugle head steel screws spaced 8 in. OC along butted end joints and 12 in. OC in the field of the board. Butted end joints centered on the continuous furring channels using 1-16. In long Type S bugle head steel screws spaced 8 in. OC in the field steel screws spaced 8 in. OC in the field steel screws spaced 8 in. OC in the field steel screws spaced 8 in. OC in the field steel screws spaced 8 in. OC in the field steel screws spaced 8 in. OC at butted end joints and 12 in. OC in the field. Butted end joints centered on the continuous furring channels and offset a min of 16 in. from butted end joints of base layer. Butted side joints of outer layer to be offset min 16 in. from butted side joints of base layer.
When <b>Steel Framing Members</b> (Item 6C) are used, one layer of nom 5/8 in. thick, 4 ft wide gypsum board is installed with long dimensions perpendicular to furring channels. Gypsum board secured to furring channels with nom 1 in. long Type S bugle-head steel screws spaced 8 in. OC in the field of the board. Gypsum board butted end joints the lock of the board. Gypsum board butted is a space of the lock of the board of the board of the lock of the
Shall be staggeted minimum 2 m. At the gryschin board but, joints, each end of early you but solar shall be supported by a single length of furring channel equal to the width of the gypsum board plus 3 in. on each end, spaced approximately 2 in. in from joint. Screw spacing along the gypsum board but; joint shall be 8 in. OC. But joint furring channels shall be attached with a RESILMOUNT Sound Isolation Clip secured to underside of every truss that is located over the but; joint. Over all Gypsum Board side joints, approximately 20 in. lengths of furring channel shall be installed parallel to trusses (Item 2) between main furring channels. Side joint furring channels shall be attached to underside of the joist with RESILMOUNT Sound Isolation Clips - located approximately 2 in. from each end of the approximate 20 in. length of channel. Both Gypsum Boards at side joints fastened into channel with screws spaced 8 in. OC, approximately 1/2 in. from joint edge.
When <b>Steel Framing Members</b> (Item 6E) are used, one layer of nom 5/8 in. thick, 4 ft wide gypsum board is installed with long dimensions perpendicular to furring channels. Gypsum board secured to furring channels with nom 1 in. long Type S bugle-head steel screws spaced 8 in. OC in the field of the board. Gypsum board butted end joints shall be staggered minimum 48 in. and centered over main furring channels. At the gypsum board butt joints, each end of each gypsum board shall be supported by a single length of furring channel equal to the width of the gypsum board plus 3 in. on each end. The two support furring channels shall be spaced approximately 3 in. in from end joint. Screw spacing along the gypsum board butt joint and along both additional channels shall be 8 in. OC. Additional screws shall be placed in the adjacent section of gypsum board into the aforementioned 3 in. extension of the extra butt joint channels as well as into the main channel that runs between. Butt joint furring channels shall be attached with one RESILMOUNT Sound Isolation Clip at each end of the channel.
When alternate <b>Steel Framing Members*</b> (Item 6F) are used, one layer of nom 5/8 in. thick, 4 ft wide gypsum board sheets installed with long dimension (side joints) perpendicular to the 6 ft long cross tees with the end joints staggered min 4 ft and centered between cross tees which are spaced 8 in. OC. Gypsum board side joints may occur beneath or between main runners. Prior to installation of the gypsum board sheets, backer strips consisting of nom 7-3/4 in. wide pieces of gypsum board are to be laid atop the cross tee flanges and centered over each butted end joint location. The backer strips are to be secured to the flanges of the cross tees at opposite corners of the backer strip with hold down clips to prevent the backer strips from being uplifted during screw-stachment of the gypsum board sheets. Gypsum board fastened to cross tees with 1 in. drywall screws spaced 1 in. and 4 in. from the side joints and max 8 in. OC in the field of the board. The butted end joints are to be secured to the backer strip with No. 10 by 1-1/2 in. long Type G laminating screws located 1 in. from the side joints and spaced 1 in. from the side joints and X in. from the side joints and X in. from the side joints and X in. OC in the field of the board.
CGC INC – Types C, IP-X2, IPC-AR
UNITED STATES GYPSUM CO — Types C, IP-X2, IPC-AR
USG BORAL ZAWAWI DRYWALL L L C SFZ - Type C
USG MEXICO S A DE C V — Types C, IP-X2, IPC-AR
7A. <b>Gypsum Board*</b> — For use with Steel Framing Members (Item 6D) when Batts and Blankets* (Item 3) are not used - One layer of nom 5/8 in. thick by 48 in. wide boards, installed with long dimension parallel to the main runners. Gypsum board fastened to each cross tee or channel with five wallboard screws, with one screw located at the midspan of the cross tee or channel, one screw located 12 in. from and on each side of the cross tee or channel mid span and one screw located 1-1/2 in. from each gypsum board side joint. Except at wallboard end joints, wallboard screws shall be located 0.1 in. from the joint. Gypsum board fastened to main runners with wallboard screws 1/2 in. from
side joints, midway between intersections with cross tees or channels (16 in. OC). End joints of adjacent gypsum board sheets shall be staggered not less than 32 in. Gypsum board sheets screw attached to leg of wall angle with wallboard screws spaced 12 in. OC. Joints treated as described in Item 7. For use with <b>Steel Framing Members*</b> (Item 6D) when <b>Batts and Blankets*</b> (Item 3) are used - Ratings limited to 1 Hour - 5/8 in. thick, 4 ft wide; installed with long dimension perpendicular to cross tees with side joints centered along main runners and end joints centered along cross tees. Fastened to cross tees with 1 in. long steel gypsum board screws spaced 8 in. OC in the field and 8 in. OC along end joints. Fastened to main runners with 1 in. long gypsum board screws spaced midway between cross tees. Screws along sides and ends of boards spaced 3/8 to 1/2 in. from board edge. End joints of the sheets shall be staggered with spacing between joints on adjacent boards not less than 4 ft OC. <b>CGC INC</b> — Type C or IP-X2
side joints, midway between intersections with cross tees or channels (16 in. OC). End joints of adjacent gypsum board sheets shall be staggered not less than 32 in. Gypsum board sheets screw attached to leg of wall angle with wallboard screws spaced 12 in. OC. Joints treated as described in Item 7. For use with Steel Framing Members* (Item 6D) when <b>Batts and Blankets</b> * (Item 3) are used - Ratings limited to 1 Hour - 5/8 in. thick, 4 ft wide; installed with long dimension perpendicular to cross tees with side joints centered along main runners and end joints centered along cross tees. Fastened to cross tees with 1 in. long steel gypsum board screws spaced 8 in. OC in the field and 8 in. OC along end joints. Fastened to main runners with 1 in. long gypsum board screws spaced 8 in. OC in the sheets shall be staggered with spacing between joints on adjacent boards not less than 4 ft OC. <b>CGC INC</b> – Type C or IP-X2 <b>UNITED STATES GYPSUM CO</b> – Type C or IP-X2
side joints, midway between intersections with cross tees or channels (16 in. OC). End joints of adjacent gypsum board sheets shall be staggered not less than 32 in. Gypsum board sheets screw atached to leg of wall angle with wallboard screws spaced 12 in. OC. Joints treated as described in Item 7. For use with Steel Framing Members* (Item 6D) when <b>Batts and Blankets*</b> (Item 3) are used - Ratings limited to 1 Hour - 5/8 in. thick, 4 ft wide; installed with long dimension perpendicular to cross tees with side joints centered along main runners and end joints centered along cross tees. Fastened to cross tees with 1 in. long steel gypsum board screws spaced 8 in. OC in the field and 8 in. OC along end joints. Fastened to main runners with 1 in. long gypsum board screws spaced midway between cross tees. Screws along sides and ends of boards spaced 3/8 to 1/2 in. from board edge. End joints of the sheets shall be staggered with spacing between joints on adjacent boards not less than 4 ft OC. <b>CGC INC</b> — Type C or IP-X2 <b>UNITED STATES GYPSUM CO</b> — Type C or IP-X2 <b>USG BORAL ZAWAWI DRYWALL L L C SFZ</b> — Type C
side joints, midway between intersections with cross tees or channels (16 in. OC). End joints of adjacent gypsum board sheets shall be staggered not less than 32 in. Gypsum board sheets screw attached to leg of wall angle with wallboard screws spaced 12 in. OC. Joints treated as described in Item 7. For use with <b>Steel Framing Members*</b> (Item 6D) when <b>Batts and Blankets*</b> (Item 3) are used - Ratings limited to 1 Hour - 5/8 in. thick, 4 ft wide; installed with long dimension perpendicular to cross tees with side joints centered along main runners and end joints centered along cross tees. Fastened to cross tees with 1 in. long steel gypsum board screws spaced 8 in. OC in the field and 8 in. OC along end joints. Fastened to main runners with 1 in. long gypsum board screws spaced midway between cross tees. Screws along sides and ends of boards spaced 3/8 to 1/2 in. from board edge. End joints of the sheets shall be staggered with spacing between joints on adjacent boards not less than 4 ft OC. <b>CGC INC</b> – Type C or IP-X2 <b>UNITED STATES GYPSUM CO</b> – Type C or IP-X2 <b>USG BORAL ZAWAWI DRYWALL L L C SFZ</b> – Type C <b>USG MEXICO S A DE C V</b> – Type C or IP-X2
side joints, midway between intersections with cross tees or channels (16 in. OC). End joints of adjacent gypsum board sheets shall be staggered not less than 32 in. Gypsum board sheets screw attached to leg of wall angle with wallboard screws spaced 12 in. OC. Joints treated as described in Item 7. For use with Steel Framing Members* (Item 6D) when <b>Batts and Blankets</b> * (Item 3) are used - Ratings limited to 1 Hour - 5/8 in. thick, 4 ft wide; installed with long dimension perpendicular to cross tees with side joints centered along main runners and end joints centered along cross tees. Fastened to cross tees with 1 in. long steel gypsum board screws spaced 8 in. OC in the field and 8 in. OC along end joints. Fastened to main runners with 1 in. long gypsum board screws spaced midway between cross tees. Screws along sides and ends of boards spaced 3/8 to 1/2 in. from board edge. End joints of the sheets shall be staggered with spacing between joints on adjacent boards not less than 4 ft OC. CGC INC — Type C or IP-X2 UNITED STATES GYPSUM CO — Type C or IP-X2 USG BORAL ZAWAWI DRYWALL L L C SFZ — Type C USG MEXICO S A DE C V — Type C or IP-X2 78. Gynsum Board* — Enc use with Items 3C and 66. Nom 5/8 in. thick. 48 in. wide gynsum pages installed with
side joints, midway between intersections with cross tees or channels (16 in. OC). End joints of adjacent gypsum board sheets shall be staggered not less than 32 in. Gypsum board sheets screw attached to leg of wall angle with wallboard screws spaced 12 in. OC. Joints treated as described in Item 7. For use with <b>Steel Framing Members*</b> (Item 6D) when <b>Batts and Blankets*</b> (Item 3) are used - Ratings limited to 1 Hour - 5/8 in. thick, 4 ft wide; installed with long dimension perpendicular to cross tees with side joints centered along main runners and end joints centered along cross tees. Fastened to cross tees with 1 in. long steel gypsum board screws spaced 8 in. OC in the field and 8 in. OC along end joints. Fastened to main runners with 1 in. long dypsum board screws spaced midway between cross tees. Screws along sides and ends of boards spaced 3/8 to 1/2 in. from board edge. End joints of the sheets shall be staggered with spacing between joints on adjacent boards not less than 4 ft OC. <b>CGC INC</b> – Type C or IP-X2 <b>UNITED STATES GYPSUM CO</b> – Type C or IP-X2 <b>USG BORAL ZAWAWI DRYWALL L L C SFZ</b> – Type C <b>USG MEXICO S A DE C V</b> – Type C or IP-X2 <b>78. Gypsum Board*</b> — For use with Items 3C and 66. Nom 5/8 in. thick, 48 in. wide gypsum panels installed with long dimension perpendicular to resilient channels. Gypsum panels secured with 1 in. long Type S bugle head steel screws spaced 8 in. OC and located a min of 1/2 in. from side joints and 3 in. from the end joints. Finish Rating with this ceiling system is 20 min.
side joints, midway between intersections with cross tees or channels (16 in. OC). End joints of adjacent gypsum board sheets shall be staggered not less than 32 in. Gypsum board sheets screw attached to leg of wall angle with wallboard screws spaced 12 in. OC. Joints treated as described in Item 7. For use with Steel Framing Members* (Item 6D) when <b>Batts and Blankets*</b> (Item 3) are used - Ratings limited to 1 Hour - 5/8 in. thick, 4 ft wide; installed with long dimension perpendicular to cross tees with side joints centered along main runners and end joints centered along cross tees. Fastened to cross tees with 1 in. long steel gypsum board screws spaced 8 in. OC in the field and 8 in. OC along end joints. Fastened to main runners with 1 in. long gypsum board screws spaced midway between cross tees. Screws along sides and ends of boards spaced 3/8 to 1/2 in. from board edge. End joints of the sheets shall be staggered with spacing between joints on adjacent boards not less than 4 ft OC. CGC INC – Type C or IP-X2 UNITED STATES GYPSUM CO – Type C or IP-X2 USG BORAL ZAWAWI DRYWALL L L C SFZ – Type C USG MEXICO S A DE C V – Type C or IP-X2 7B. Gypsum Board* — For use with Items 3C and 6G. Nom 5/8 in. thick, 48 in. wide gypsum panels installed with long dimension perpendicular to resilient channels. Gypsum panels secured with 1 in. long Type S bugle head steel screws spaced 8 in. OC and located a min of 1/2 in. from side joints and 3 in. from the end joints. Finish Rating with this ceiling system is 20 min.
side joints, midway between intersections with cross tees or channels (16 in. OC). End joints of adjacent gypsum board sheets shall be staggered not less than 32 in. Gypsum board sheets screw attached to leg of wall angle with wallboard screws spaced 12 in. OC. Joints treated as described in Item 7. For use with Steel Framing Members* (Item 6D) when <b>Batts and Blankets*</b> (Item 3) are used - Ratings limited to 1 Hour - 5/8 in. thick, 4 ft wide; installed with long dimension perpendicular to cross tees with side joints centered along main runners and end joints centered along cross tees. Fastened to cross tees with 1 in. long steel gypsum board screws spaced 8 in. OC in the field and 8 in. OC along end joints. Fastened to main runners with 1 in. long dypsum board screws spaced midway between cross tees. Screws along sides and ends of boards spaced 3/8 to 1/2 in. from board edge. End joints of the sheets shall be staggered with spacing between joints on adjacent boards not less than 4 ft OC. CGC INC – Type C or IP-X2 UNITED STATES GYPSUM CO – Type C or IP-X2 USG BORAL ZAWAWI DRYWALL L L C SFZ – Type C USG MEXICO S A DE C V – Type C or IP-X2 7B. Gypsum Board* — For use with Items 3C and 6G. Nom 5/8 in. thick, 48 in. wide gypsum panels installed with long dimension perpendicular to resilient channels. Gypsum panels secured with 1 in. long Type S bugle head steel screws spaced 8 in. OC and located a min of 1/2 in. from side joints and 3 in. from the end joints. Finish Rating with this ceiling system is 20 min. UNITED STATES GYPSUM CO – Type ULIX 8. Finishing System — (Not Shown) – Vinyl, dry or premixed joint compound, applied in two coats to joints and screw-heads; paper tape, 2 in. wide, embedded in first layer of compound over all joints. As an alternate, nom 3/32 in. thick veneer plaster may be applied to the entire surface of gypsum board. Alternate Ceiling Membrane — Not Shown.
side joints, midway between intersections with cross tees or channels (16 in. OC). End joints of adjacent gypsum board sheets shall be staggered not less than 32 in. Gypsum board sheets screw attached to leg of wall angle with wallboard screws spaced 12 in. OC. Joints treated as described in Item 7. For use with <b>Steel Framing Members*</b> (Item 6D) when <b>Batts and Blankets*</b> (Item 3) are used - Ratings limited to 1 Hour - 5/8 in. thick, 4 ft wide; installed with long dimension perpendicular to cross tees with side joints centered along main runners and end joints centered along cross tees. Fastened to cross tees with side joints centered along main runners and end joints centered along cross tees. Fastened to cross tees with side joints centered along main runners and end joints centered along cross tees. Fastened to cross tees with side joints centered along main runners and end joints centered along cross tees. Fastened to cross tees with side joints centered along data screws spaced 8 in. OC in the field and 8 in. OC along end joints. Fastened to main runners with 1 in. long stepsystem board screws spaced 8 in. OC in the field and 8 in. OC along end joints. Fastened to main runners with 1 in. long stepsystem and the screws spaced 8 in. OC in the sheets shall be staggered with spacing between joints on adjacent boards not less than 4 ft OC. <b>CGC INC</b> — Type C or IP-X2 <b>USG BORAL ZAWAWI DRYWALL L L C SFZ</b> — Type C <b>USG MEXICO S A DE C V</b> — Type C or IP-X2 7B. <b>Gypsum Board*</b> — For use with Items 3C and 6G. Nom 5/8 in. thick, 48 in. wide gypsum panels installed with long dimension perpendicular to resilient channels. Gypsum panels secured with 1 in. long Type S bugle head steel screws spaced 8 in. OC and located a min of 1/2 in. from side joints and 3 in. from the end joints. Finish Rating with this ceiling system is 20 min. <b>UNITED STATES GYPSUM CO</b> — Type ULIX 8. <b>Finishing System</b> — (Not Shown) — Vinyl, dry or premixed joint compound, applied in two coats to joints and screw-heads; paper taep. 2 in. wide,

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### Design No. U356 **BXUV.U356** Fire-resistance Ratings - ANSI/UL 263 Page Bottom Design/System/Construction/Assembly Usage Disclaimer Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Certified products, equipment, system, devices, and materials. Certained products, equipment, system, devices, and materials. Authorities Having Jurisdiction should be consulted before construction. Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot always address every construction nuance encountered in the field. When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate methods of construction. Only products which bear UL's Mark are considered Certified. BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada See General Information for Fire-resistance Ratings - ANSI/UL 263 Certified for United States Design Criteria and Allowable Variances

See General Information for Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada Design Criteria and Allowable Variances Design No. U356

> December 12, 2018 Bearing Wall Rating - 1 Hr Rating Exposed to Fire on Interior Face Only Bearing Wall Rating — 1 Hr Rating Exposed to Fire on Exterior Face (See Item 6E) Finish Rating — 23 Min or 25 Min (See Item 2C)

This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide <u>BXUV</u> or <u>BXUV7</u>



#### Wood Studs — Nom 2 by 4 in. spaced 16 in. OC with two 2 by 4 in. top and one 2 by 4 in. bottom plates. Studs laterally-braced by wood structural panel sheathing (Item 5). When Mineral and Fiber Boards\* (Item 5A) are onsidered as bracing for the studs, the load is restricted to 76% of allowable axial load. Walls effectively fire stopped

 Gypsum Board\* — Any 5/8 in. thick UL Classified Gypsum Board that is eligible for use in Design Nos. L501, G512 or U305. Nom 5/8 in. thick, 4 ft wide, applied vertically and nailed to studs and bearing plates 7 in. O with 6d cement-coated nails, 1-7/8 in. long with 1/4 in. diam head. When Item 7, 7B, 7C, 7D or 7E Steel Framing Members\*, is used, gypsum panels attached to furring channels with

### 1 in. long Type S bugle-head steel screws spaced 12 in. OC.

at top and bottom of wall.

When Item 7A Steel Framing Members\*, is used, two layers of gypsum panels attached to furring channels. Base yer attached to furring channels with 1 in. long Type S bugle-head steel screws spaced 12 in. OC. Face layer ttached to furring channels with 1-5/8 in. long Type S bugle-head steel screws spaced 12 in. OC. All joints in face layers staggered with joints in base layers. CADIA DOVINALL CUDDLIEC LED (View

AMERICAN GYPSUM CO (View Classification) - CKNX.R14196

BEIJING NEW BUILDING MATERIALS PUBLIC LTD CO (View Classification) - CKNX.R19374

CERTAINTEED GYPSUM INC (View Classification) - CKNX.R3660

CGC INC (View Classification) — CKNX.R19751

CONTINENTAL BUILDING PRODUCTS OPERATING CO, L L C (View Classification) - CKNX.R18482

GEORGIA-PACIFIC GYPSUM L L C (View Classification) - CKNX.R2717

LOADMASTER SYSTEMS INC (View Classification) - CKNX.R11809

NATIONAL GYPSUM CO (View Classification) - CKNX.R3501

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM (View Classification) — CKNX.R7094

PANEL REY S A (View Classification) — CKNX.R21796

SIAM GYPSUM INDUSTRY (SARABURI) CO LTD (View Classification) - CKNX.R19262

THAI GYPSUM PRODUCTS PCL (View Classification) - CKNX.R27517

UNITED STATES GYPSUM CO (View Classification) - CKNX.R1319

USG BORAL DRYWALL SFZ LLC (View Classification) - CKNX.R38438

USG MEXICO S A DE C V (View Classification) - CKNX.R16089

2A. Gypsum Board\* - (As an alternate to Item 2, Not Shown) - Any 5/8 in. thick 4 ft wide gypsum panels that are eligible for use in Design Nos. L501, G512 or U305, supplied by the Classified Companies listed below shown in the **Gypsum Board\*** (CKNX) category. Applied vertically and attached to studs and bearing plates with 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced a max 8 n. OC, with last screw 1 in. from edge of board.

CGC INC

UNITED STATES GYPSUM CO USG BORAL DRYWALL SFZ LLC

USG MEXICO S A DE C V

2B. Gypsum Board\* – (As an alternate to Item 2, Not Shown) – 5/8 in. thick 4 ft wide gypsum panels applie vertically and attached to studs and bearing plates with 1-1/4 in. long Type W coarse thread gypsum panel stee

# AMERICAN GYPSUM CO - Types AGX-1, M-Glass, AG-C, LightRoc PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM - Types PG-11, PGS-WRS. THAI GYPSUM PRODUCTS PCL — Type C or Type X ACADIA DRYWALL SUPPLIES LTD - 5/8 Type X, Type Blueglass Exterior Sheathing PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Types PG-11, PGS-WRS NATIONAL GYPSUM CO - SoundBreak XP Type X Gypsum Board PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM - Type QuietRock ES. **CERTAINTEED GYPSUM INC** — Type SilentFX PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM - Type QuietRock 527.

AMERICAN GYPSUM CO — Types AGX-1 (finish rating 25 min.), M-Glass (finish rating 25 min.), AG-C (finish rating 25 min.), LightRoc (finish rating 25 min.)

CERTAINTEED GYPSUM INC — Type C, Type X-2, Type X or Type X-1(finish rating 26 min), Easi-Lite Type X (finish rating 24 min), Easi-Lite Type X-2, Type EGRG or GlasRoc or GlasRoc Sheathing (finish rating 23 min)

NU-WOOL CO INC - Cellulose Insulation INTERNATIONAL CELLULOSE CORP — Celbar-RI

AMERICAN ROCKWOOL MANUFACTURING, LLC — Type Rockwool Premium Plus

12 in. OC along interior studs. and Fiber Boards.

### screws spaced a max 8 in. OC, with last screw 1 in. from edge of board.

ACADIA DRYWALL SUPPLIES LTD — Type X, 5/8 Type X, Type Blueglass Exterior Sheathing

CERTAINTEED GYPSUM INC — Type C, Type X-2, Type X, Type X-1, Easi-Lite Type X-2

**EORGIA-PACIFIC GYPSUM L L C** — Types X, Veneer Plaster Base-Type X, Water Rated-Type X, Sheathing Type-

2C. Gypsum Board\* — (As an alternate to Item 2, Not Shown) — For Use with Item 5A only - 5/8 in. thick 4 ft wide gypsum panels applied horizontally and attached to studs and bearing plates with 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced a max 8 in. OC, with last screws 1 in.and 4 in. from edges of board. Finish Rating is 25 min.

GEORGIA-PACIFIC GYPSUM L L C — Type X, Veneer Plaster Base-Type X, Water Rated-Type X, Sheathing Type-

2D. Gypsum Board\* – (As an alternate to Item 2) – Not to be used with item 7. 5/8 in. thick, 4 ft. wide, paper surfaced, applied vertically only and fastened to the studs and plates with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 1/4 in. diam heads, 7 in. OC.

2E Gypsum Board\* – (As an alternate to Items 2 through 2D) – Nominal 5/8 in. thick, 4 ft wide panels, secured as

2F. Gypsum Board\* - (As an alternate to Item 2) - Not to be used with item 7. 5/8 in. thick, 4 ft. wide, paper surfaced, applied vertically or horizontally and fastened to the studs and plates with 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced a max 8 in. OC, with last screw 1 in. from edge of board.

2G. Wall and Partition Facings and Accessories\* — (As an alternate to Items 2 through 2F) — Nominal 5/8 in. thick, 4 ft wide panels, secured as described in Item 2.

2H. Gypsum Board\* – (As an alternate to Item 2) – 5/8 in. thick gypsum panels, with beveled, square, or tapered edges, applied either horizontally or vertically. Gypsum panels fastened to framing with 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced a maximum 10 in. OC with the last two screws 4 and 1 in. from the edges of the board. When used in widths other than 48 in., gypsum panels are to be installed horizontally.

CONTINENTAL BUILDING PRODUCTS OPERATING CO, L L C — Type LGFC6A (finish rating 21 min), Type LGFC2A, Type LGFC-C/A, Type LGFC-WD, Type LGLLX 2I. Gypsum Board\* – (As an alternate to Item 2) - 5/8 in. thick gypsum panels, with beveled, square, or tapered edges, applied either horizontally or vertically. Gypsum panels fastened to framing with 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced a max 8 in. OC, with last screw 1 in. from edge of board. When used in widths of other than 48 in., gypsum boards are to be installed horizontally.

**NATIONAL GYPSUM CO** — Type FSK, Type FSK-G, Type FSW, Type FSW-3, Type FSW-5, Type FSW-G, Type FSK-C, Type FSM-C, Type FSW-6, Type FSL

2]. Gypsum Board\* - (As an alternate to Item 2) - 5/8 in. thick gypsum panels, with beveled, square, or tapered cugsa, applied enter nonzontally or vertically. Gypsum panels fastened to framing with 1-1/4 in. long Type W coarse thread steel screws spaced a max 8 in. OC with the last screw 1 in. from edge of board. When used in widths other than 48 in., gypsum boards are to be installed horizontally.

3. Joints and Fastener Heads - (Not Shown) - Gypsum board joints covered with tape and joint compound. 4. Batts and Blankets\* — Mineral fiber or glass fiber insulation, 3-1/2 in. thick, pressure fit to fill wall cavities between studs and plates. Mineral fiber insulation to be unfaced and to have a min density of 3 pcf. Glass fiber insulation to be faced with aluminum foil or kraft paper and to have a min density of 0.9 pcf (min R-13 thermal insulation extend).

See Batts and Blankets\* (BKNV) Category in the Building Materials Directory and Batts and Blankets\* (BZJZ) Category in the Fire Resistance Directory for names of Classified

4A. **Fiber**, **Sprayed\*** — As an alternate to Batts and Blankets (Item 4) — Spray applied cellulose material. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product with a nominal dry density of 2.7 lb/ft<sup>3</sup>. Alternate Application Method: The fiber is applied without water or adhesive at a nominal dry density of 3.5 lb/ft<sup>3</sup>, in accordance with the application instructions supplied with the U S GREENFIBER L L C — INS735 & INS745 for use with wet or dry application. INS510LD, INS515LD, INS541LD, INS735, INS745, INS765LD, and INS770LD are to be used for dry application only.

4B. Fiber, Sprayed\* – As an alternate to Item 4 and 4A – Spray applied cellulose material. The fiber is applied with water to completely till the enclosed cavity in accordance with t Nominal dry density of 4.58 lb/ft  $^3.\,$ 

4C. Fiber, Sprayed\* — As an alternate to Batts and Blankets (Item 4) — Spray applied cellulose fiber. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. The minimum dry density shall be  $4.30 \text{ lbs/ft}^3$ .

4D. Fiber, Sprayed\* — As an alternate to Batts and Blankets (Item 4) — Spray applied, granulated mineral fiber material. The fiber is applied with adhesive, at a minimum density of 4.0 pcf, to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. See Fiber, Sprayed (CCAZ).

5. Wood Structural Panel Sheathing — Min 7/16 in. thick, 4 ft wide wood structural panels, min grade "C-D" or "Sheathing". Installed with long dimension of sheet (strength axis) or face grain of plywood parallel with or perpendicular to studs. Vertical joints centered on studs. Horizontal joints backed with nom 2 by 4 in. wood blockin ched to studs on exterior side of wall with 6d cement coated box nails spaced 6 in. OC at perimeter of panels and

5A. Mineral and Fiber Boards\* — As an alternate to Item 5 - Min 1/2 in. thick, 4 ft wide sheathing, installed vertically to studs. Vertical joints centered on studs. Horizontal joints backed with nom 2 by 4 in. wood blocking. Attached to studs on exterior side of wall with 1-1/2 in. long galvanized roofing nails spaced 6 in. OC at perimeter of panels and 12 in. OC along interior studs. As an option a weather resistive barrier may be applied over the Mineral of the study of the study.

6. Exterior Facings — Installed in accordance with the manufacturer's installation instructions. One of the following exterior facings is to be applied over the sheathing: A. Vinyl Siding — Molded Plastic\* — Contoured rigid vinyl siding having a flame spread value of 20 or less. See Molded Plastic (BTAT) category in the Building Materials ctory for names of manufa B. Particle Board Siding - Hardboard exterior sidings including patterned panel or lap siding. C. Wood Structural Panel or Lap Siding — APA Rated Siding, Exterior, plywood, OSB or

omposite panels with veneer faces and structural wood core, per PS 1 or APA Standard RP-108, including textured, rough sawn, medium density overlay, brushed, grooved and lap D. Cementitious Stucco - Portland cement or synthetic stucco systems with self-furring metal lath or adhesive base coat. Thickness from 3/8 to 3/4 in., depending on system E. Brick Veneer — Any type on nom 4 in. wide brick veneer. When brick veneer is used, the rating is applicable with exposure on either face. Brick veneer fastened with corrugated metal wall ties attached over sheathing to wood studs with 8d nail per tie: ties spaced not more than each sixth course of brick and max 32 in. OC horizontally. One in. air space provided between brick veneer and sheathing.

F. Exterior Insulation and Finish System (EIFS) - Nom 1 in. Foamed Plastic\* insulation bearing the UL Classification Marking, attached over sheathing and finished with coating system, or Portland cement or synthetic stucco systems, in accordance with manufacturer's instructions. See **Foamed Plastic** (BRYX and CCW) categories for names of Classified companies. G. Siding – Aluminum or steel siding attached over sheathing to studs. H. Fiber-Cement Siding - Fiber-cement exterior sidings including smooth and patterned panel or lap siding.

I. Wall and Partition Facings and Accessories\* — Stone veneer is mortar bonded to a lath, scratch coat and water resistant barrier applied to sheathing, installed in accordance with the manufacturers installation instructions, and meeting the requirements of local code acception. ELDORADO STONE OPERATIONS L L C — Type Eldorado Stone

6A. Building Units\* — As an alternate to Exterior Facing Item 6 — Insulated steel panels, 12 through 42 in. wide. Attached over sheathing through retainer clips to studs or support steel with No. 14 hex head self-tapping screws located at each joint in the concealed lip of the units and spaced in accordance with the structural design requirements. KINGSPAN INSULATED PANELS INC — Types 200, 300, 400, 900, or KS series, 2 through 6 in.

hickness; CWP-V, H, 2 through 3 in. nominal thickness or Designwall 2000 or Designwall 4000, 2 and 3 in. nominal 7. Steel Framing Members\* — (Optional, Not Shown) — Furring Channels and Steel Framing Members as described below: a. Furring Channels - Formed of No. 25 MSG galv steel. 2-9/16 in. or 2-23/32 in. wide by 7/8 in. deep, spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels are overlapped 6 in. and tied together with double strand of No. 18 SWG galv steel wire near each end of overlap. As an alternate, ends of adjoining channels may be overlapped 6 in, and secured together with two self-tapping #6 framing screws, min. 7/16 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Gypsum board attached to furring channels as described in Item 2. b. Steel Framing Members\* — Used to attach furring channels (Item 7A) to studs. Clips spaced 48 in. OC., and secured to studs with No. 8 x 2-1/2 in. coarse drywall screw throug the center grommet. Furring channels are friction fitted into clips. RSIC-1 clip for use with 2-9/16 in. wide furring channels. RSIC-1 (2.75) clip for use with 2-23/32 in. wide furring

PAC INTERNATIONAL L L C - Types RSIC-1, RSIC-1 (2.75). 7A. Steel Framing Members\* - (Optional, Not Shown) - Furring channels and Steel Framing Members as

a. Furring Channels — Formed of No. 25 MSG galv steel, spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels are overlapped 6 in. and tied together with double strand of No. 18 SWG galv steel wire near each end of overlap. Two layers of gypsum board attached to furring channels as described in Item 2. b. Steel Framing Members\* — Used to attach furring channels (Item 7Aa) to interior side

of studs. Clips spaced 48 in. OC., and secured to studs with two No. 8 x 2-1/2 in. coarse drywall screws, one through the hole at each end of the clip. Furring channels are friction fitted into clips. KINETICS NOISE CONTROL INC - Type Isomax

7B. Steel Framing Members\* – (Optional, Not Shown) – Furring channels and Steel Framing Members as a. Furring Channels — Formed of No. 25 MSG galv steel. 2-3/8 in. wide by 7/8 in. deep, spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels are overlapped 6 in. and tied together with double strand of No. 18 SWG galv steel wire near each end of overlap. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two self-tapping #6 framing screws, min. 7/16 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Gypsum board attached to furring channels as described in Item 2. b. Steel Framing Members\* — Used to attach furring channels (Item a) to studs. Clips spaced 48 in. OC. Genie clips secured to studs with No. 8 x 1-1/2 in. coarse drywall screw through the center hole. Furring channels are friction fitted into clips. PLITEQ INC — Type Genie Clip

7C. Steel Framing Members\* - (Optional, Not Shown) - Furring channels and Steel Framing Members as a. Furring Channels - Formed of No. 25 MSG galv steel. Spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels overlapped 6 in, and tied together with double strand of No. 18 AWG galvanized steel wire.Gypsum board attached to furring channels as described in Item 2. b. Steel Framing Members\* — Used to attach furring channels (Item 7Ca) to studs. Clips spaced 48 in. OC., and secured to studs with 2 in. coarse drywall screw with 1 in. diam washer through the center hole. Furring channels are friction fitted into clips. STUDCO BUILDING SYSTEMS — RESILMOUNT Sound Isolation Clips - Type A237R

7D. Steel Framing Members\* – (Optional, Not Shown) – Furring channels and Steel Framing Members as a. Furring Channels — Formed of No. 25 MSG galv steel. Spaced 24 in. OC perpendic studs. Channels secured to studs as described in Item 7Db. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18 AWG galvanized steel wire. Gypsum board attached to furring channels as described in Item 2. b. Steel Framing Members\* — Used to attach furring channels (Item 7Da) to studs. Clips spaced 48 in. OC., and secured to studs with No. 8  $\times$  2-1/2 in. coarse drywall screw through the center hole. Furring channels are friction fitted into clips. REGUPOL AMERICA — Type SonusClip

7E. Steel Framing Members\* - (Optional, Not Shown) - Resilient channels and Steel Framing Members as a. Resilient Channels — Formed of No. 25 MSG galv steel, spaced 24 in. OC, and perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels overlapped 6 in. and secured in place with two No. 8 15 x 1/2 in. Philips Modified Truss screws spaced 2–1/2 in. from the center of the overlap. Gypsum board attached to resilient channels as described in Item 2. b. Steel Framing Members\* - Used to attach resilient channels (Item 7Ea) to studs. Clips paced 48 in. OC, and secured to studs with No. 8 x 2-1/2 in. coarse drywall screw throug he center hole. Resilient channels are secured to clips with one No.  $10 \times 1/2$  in. pan-head self-drilling screw.

8. Non-Bearing Wall Partition Intersection — (Optional) — Two nominal 2 by 4 in. stud or nominal 2 by 6 in. stud nailed together with two 3 in. long 10d nails spaced a max. 16 in. OC. vertically and fastened to one side of the minimum 2 by 4 in. stud with 3 in. long 10d nails spaced a max. 16 in. OC. vertically and fastened to one side of the wood studs to be flush with the 2 by 4 in. studs. The wall partition wood studs are to be framed by with 3 in. long 10d nails spaced a max. 16 in. OC. vertically. Intersection between partition wood studs to be flush with the 2 by 4 in. studs. The wall partition wood studs are to be framed by with 3 in. long 10d nails spaced a max. 16 in. OC. vertically. Maximum one non-bearing wall partition intersection per stud cavity. Non-bearing wall partition stud depth shall be at a minimum equal to the depth of the bearing wall. \* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

**KEENE BUILDING PRODUCTS CO INC** — Type RC+ Assurance Clip

Last Updated on 2018-12-12

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Planning • Architecture Landscape Architecture

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### **Kevisions:**

Description: Date:

# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. **Clarke Apartments** Residences, LLC

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Sheet Title: U.L. Assemblies, P522 & U356

Date: September 30, 2022

### Design No. L521 January 18, 2019

### Unrestrained Assembly Rating — 1 Hr

Finish Rating — 25 Min (See Items 5 and 5A), 20 Min (See Items 6H and 7A) This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide BXUV or BXUV7 \* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada),





#### 1. Flooring System — The flooring system shall consist of one of the following

System No. 1 Subflooring - Nom 23/32 in. thick wood structural panels installed perpendicular to trusses with end joints stagger Plywood or panels secured to trusses with construction adhesive and No. 6d ringed shank nails, spaced 12 in. OC along each truss. Staples having equal or greater withdrawal and lateral resistance strength may be substituted for the 6d

Vapor Barrier - (Optional) - Nom 0.030 in. thick commercial asphalt saturated felt. Finish Floor - Min 1 by 4 in. T & G lumber installed perpendicular to trusses, or min 15/32 in. thick wood structure panels, min grade "Underlayment" or "Single-Floor". Face grain of plywood or strength axis of panel to be perpendicular to joists with joints staggered.

### System No. 2

Subflooring - Nom 23/32 in. thick wood structural panels installed perpendicular to trusses with end joints staggered Physicol or panels secured to trusses with construction adhesive and No. 6d ringed shark halls, spaced 12 in. OC along each truss. Staples having equal or greater withdrawal and lateral resistance strength may be substituted for the 6d Vapor Barrier - (Optional) - Nom 0.030 in. thick commercial asphalt saturated felt.

Finish Flooring\* — Floor Topping Mixture — Min 3/4 in. thickness of floor topping mixture having a minimum compressive strength of 1800 psi. Refer to manufacturer's instructions accompanying the material for specific mix

UNITED STATES GYPSUM CO - Types LRK, HSLRK, CSD

### LATICRETE SUPERCAP L L C - Types LRK, HSLRK

USG MEXICO S A DE C V - Types LRK, HSLRK, CSD

Floor Mat Materials\* - (Optional) - Floor mat material loose laid over the subfloor. Refer to manufacture instructions regarding the minimum thickness of floor topping over each floor mat material. UNITED STATES GYPSUM CO - Types SAM, LEVELROCK® Brand Sound Reduction Board, LEVELROCK® Brand Floor

Alternate Floor Mat Materials\* — (Optional) — Nom 3/8 in. thick floor mat material loose laid over the subfloor GRASSWORX L L C - Type SC50

#### System No. 3 (For Use with Item 7A Only)

**Finish Floor** — Nom 23/32 in. thick wood structural panels installed perpendicular to trusses with end joints staggered. Plywood or panels secured to trusses with construction adhesive and 2-1/2 in. long nails, spaced 12 in. OC along each truss and 8 in. OC at the perimeter.

#### System No. 4

Structural Cement-Fiber Units\* — Nom 3/4 in. thick, with long edges tongue and grooved. Long dimension of panels to be perpendicular to wood trusses with end joints staggered a min of 2 ft and centered over the trusses. Panels secured to wood trusses with 1-5/8 in. long, No. 8, selfcountersinking wood screw spaced a max of 12 in. OC in the field with a screw located 1 in. and 2 in. from each edge, and 8 in. OC on the perimeter with a screw located 2 in. from each edge, located 1/2 in. from the end edges of the panel. UNITED STATES GYPSUM CO - Types STRUCTO-CRETE, USGSP

Finish Flooring — Floor Topping Mixture\* — Min 3/4 in. thickness of floor topping mixture having a minimum compressive strength of 1800 psi. Refer to manufacturer's instructions accompanying the material for specific mix design. UNITED STATES GYPSUM CO — Types LRK, HSLRK, CSD

LATICRETE SUPERCAP L L C - Types LRK, HSLRK

USG MEXICO S A DE C V - Types LRK, HSLRK, CSD

Floor Mat Materials\* — (Optional) — Floor mat material loose laid over the subfloor. Refer to manufacturer's instructions regarding the minimum thickness of floor topping over each floor mat material. UNITED STATES GYPSUM CO - Types SAM, LEVELROCK® Brand Sound Reduction Board, LEVELROCK® Brand Floor Underlayment SRM-25

#### System No. 5

Structural Cement-Fiber Units\* — Nom 3/4 in. thick, with long edges tongue and grooved. Long dimension of panels to be perpendicular to wood trusses with end joints staggered a min of 2 ft and centered over the trusses. Panels secured to wood trusses with 1-5/8 in. long, No. 8, selfcountersinking wood screw spaced a max of 12 in. OC in the field with a screw located 1 in. and 2 in. from each edge, and 8 in. OC on the perimeter with a screw located 2 in. from each edge, located 1/2 in. from the end edges of the panel.

UNITED STATES GYPSUM CO - Types STRUCTO-CRETE, USGSP

#### System No. 6

**Subflooring** — Nom 23/32 in. thick wood structural panels installed perpendicular to trusses with end joints staggered. Plywood or panels secured to trusses with construction adhesive and No. 6d ringed shank nails, spaced 12 in. OC along each truss. Staples having equal or greater withdrawal and lateral resistance strength may be substituted for the 6d nails. **Vapor Barrier** — (Optional) — Nom 0.030 in. thick commercial asphalt saturated felt. Floor Mat Materials\* — (Optional) — Floor mat material nom 1/8 in. (3 mm) thick loose laid over the subfloor. Floor topping thickness shall be a min of 3/4 in. (19 mm). HACKER INDUSTRIES INC - FIRM-FILL SCM 125

Alternate Floor Mat Materials — (Optional) — Floor mat material nom 1/4 in. (6 mm) thick loose laid over the subfloor. Floor topping thickness shall be a min of 1 in. (25 mm). HACKER INDUSTRIES INC - Type FIRM-FILL SCM 250

Alternate Floor Mat Materials — (Optional) — Floor mat material nom 3/8 in. (10 mm) thick loose laid over the subfloor. Floor topping thickness shall be a min of 1-1/4 in. (32 mm) HACKER INDUSTRIES INC - FIRM-FILL SCM 400

Alternate Floor Mat Materials — (Optional) — Floor mat material nom 3/4 in. (19 mm) thick loose laid over the subfloor. Floor topping thickness shall be a min of 1-1/2 in. (38 mm). HACKER INDUSTRIES INC - Type FIRM-FILL SCM 750

Metal Lath (Optional) — (Optional) — For use with 3/8 in. (10 mm), or greater, floor mat materials, 3/8 in. expanded steel diamond mesh, 3.4 lbs/sq yd placed over the floor mat material. Hacker Floor Primer to be applied prior to the placement of the metal lath. When metal lath is used, floor topping thickness a nom 1 in. (25 mm) over the floor mat. Finish Flooring — Floor Topping Mixture\* — Min 3/4 in. thickness of floor topping mixture having a min compressive strength of 1100 psi. Mixture shall consist of 6.8 gal of water to 80 lbs of floor topping mixture to 1.9 cu ft of sand. HACKER INDUSTRIES INC - Firm-Fill Gypsum Concrete, Firm-Fill 2010, Firm-Fill 3310, Firm-Fill 4010, Gyp-Span

#### System No. 7

Subflooring — Nom 23/32 in. thick wood structural panels installed perpendicular to trusses with end joints staggered. Plywood or panels secured to trusses with construction adhesive and No. 6d ringed shank nails, spaced 12 in. OC along each truss. Staples having equal or greater withdrawal and lateral resistance strength may be substituted for the 6d nails.**Vapor Barrier** — (Optional) — Nom 0.030 in. thick commercial asphalt saturated felt.Finish Floor\* — Mineral and Fiber Board — Min 1/2 in. thick, supplied in sizes ranging from 3 ft by 4 ft to 8 ft by 12 ft. HOMASOTE CO - Type 440-32 Mineral and Fiber Board

### System No. 8

Subflooring -Nom 23/32 in. thick wood structural panels installed perpendicular to trusses with end joints staggered Plywood or panels secured to trusses with construction adhesive and No. 6d ringed shank nails, spaced 12 in. OC along each truss. Staples having equal or greater withdrawal and lateral resistance strength may be substituted for the 6d

Vapor Barrier -- (Optional) - Nom 0.030 in. thick commercial asphalt saturated felt. Floor Mat Materials\* - (Optional) - Floor mat material nom 5/64 in. (2 mm) thick adhered to subfloor with Hacke Floor Primer. Primer to be applied to the surface of the mat prior to the placement of floor-topping mixture. Floor topping thickness a min 1 in. over the floor mat. ECORE INTERNATIONAL INC - Type QTscu 400

HACKER INDUSTRIES INC - Type Hacker Sound-Ma

Alternate Floor Mat Materials - (Optional) - Floor mat material nom 1/4 in. (6 mm) thick adhered to subfloor wit Hacker Floor Primer. Primer to be applied to the surface of the mat prior to the placement of a min 1-1/4 in. (32 mm) of floor-topping mixture ECORE INTERNATIONAL INC - Type OTrbm 3006-3

HACKER INDUSTRIES INC - Type Hacker Sound-Mat II

sq yd placed over the floor mat material. Hacker Floor Primer to be applied prior to the placement of the metal lath When metal lath is used, floor topping thickness a nom 1-1/4 in. over the floor mat. Finish Flooring — Floor Topping Mixture\* — Min 3/4 in. thickness of floor topping mixture having a min comprese strength of 1100 psi. Mixture shall consist of 6.8 gal of water to 80 lbs of floor topping mixture to 1.9 cu ft of sand. HACKER INDUSTRIES INC - Firm-Fill Gypsum Concrete, Firm-Fill High Strength, Gyp-Span Radiant

Metal Lath (Optional) — For use with 3/8 in, (10 mm) floor mat materials, 3/8 in, expanded steel diamond mesh, 3,-

2. **Trusses** — Parallel chord trusses, spaced a max of 24 in. OC, fabricated from nom 2 by 4 lumber, with lumber oriented vertically or horizontally. Min truss depth is 12 in. when no **Ceiling Damper\*** is used and 18 in. when a Ceiling Damper\* is used. Truss members secured together with min 0.0356 in. thick galv steel plates. Plates have 5/16 in. long teeth projecting perpendicular to the plane of the plate. The teeth are in pairs facing each other (made by the same punch), forming a split tooth type plate. Each tooth has a chisel point on its outside edge. These points are diagonally opposite each other for each pair. The top half of each tooth has a twist for stiffness. The pairs are repeated on approx. 7/8 in. centers with four rows of teeth per inch of plate width.

3. Air Duct\* — Any UL Class 0 or Class 1 flexible air duct installed in accordance with the instructions provided by the damper manufacturer.

4. **Ceiling Damper\*** — For use with min 18 in. deep trusses. Max nom area shall be 324 sq in. with the length not to exceed 24 in. and the width not to exceed 20 in. Max height of damper shall be 14 in. Aggregate damper openings shall not exceed 162 sq in. per 100 sq ft of ceiling area. Damper installed in accordance with the manufacturers installation instructions provided with the damper. A steel grille (Item 9) shall be installed in accordance with installation instructions. C&S AIR PRODUCTS — Model RD-521

POTTORFF — Model CFD-521

4A. Alternate Ceiling Damper\* - For use with min 18 in. deep trusses. Max nom area shall be 196 sq in. with the length not to exceed 26 in. and the width not to exceed 14 in. Max height of damper shall be 7 in. Aggregate damper openings shall not exceed 98 sq in. per 100 sq ft of ceiling area. Damper installed in accordance with the manufacturers installation instructions provided with the damper. A steel grille (Item 9) not to exceed 144 in.<sup>2</sup> shall be installed in accordance with installation instructions. C&S AIR PRODUCTS - Model RD-521-BT

# in accordance with installation instructions. C&S AIR PRODUCTS — Models RD-521-IP, RD-521-NP

POTTORFF - Models CFD-521-IP, CFD-521-NF

4C. Alternate Ceiling Damper\* — For use with min 18 in. deep trusses. Max nom area shall be 144 sq in. with the length not to exceed 14 in. and the width not to exceed 12 in. Max height of damper shall be 17-7/8 in. Aggregate damper openings shall not exceed 74 sq in. per 100 sq ft of ceiling area. Damper installed in accordance with the manufacturers installation instructions provided with the damper. A steel grille (Item 9) shall be installed in accordance with installation instructions. C&S AIR PRODUCTS - Models RD-521-90, RD-521-NP90

POTTORFF - Models CFD-521-90, CFD-521-90N

# DELTA ELECTRONICS INC - Models CRD2, GBR-CRD, ITG-CRD

4E. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 75 sq in. with the length not to exceed 9-1/4 in. and the width not to exceed 9-3/4 in. Max height of damper shall be 9-7/8 in. Aggregate damper openings shall not exceed 45 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combination with one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper. A plastic grille (Item 9) shall be installed in accordance with installation instructions. DELTA ELECTRONICS INC - Model SIG-CRD

4G. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 103 sq in. with the length not to exceed 10-1/8 in. and the width not to exceed 10-1/8 in. Aggregate damper openings shall not exceed 52 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combination with one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper. A plastic grille (Item 9) shall be installed in accordance with installation instructions. PANASONIC CORPORATION, PANASONIC CORPORATION OF NORTH AMERICA - Model PC-RD05C

4H. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 113 sq in. with the length not to exceed 10-1/8 in. and the width not to exceed 11-1/8 in. Aggregate damper openings shall not exceed 57 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combination with one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper. A plastic grille (Item 9) shall be installed in accordance with installation instructions. BROAN-NUTONE L L C - Model RDFUWT

# installed in accordance with installation instructions. BROAN-NUTONE L L C — Models RDJ1 and RDH

4J. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 87 sq in. with the length not to exceed 9 in. and the width not to exceed 9-11/16 in. Aggregate damper openings shall not exceed 44 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combination with one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper. A plastic grille (Item 9) shall be installed in accordance with installation instructions. BROAN-NUTONE L L C - Model RDMWT

5. Batts and Blankets\* - (Optional) - Glass fiber or mineral wool insulation bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance. When the resilient channels (Item 6) or furring channels (Item 6A) are spaced 24 in. OC, no insulation shall be installed in the concealed space. When the resilient channels (Item 6) or furring channels (Item 6A) are spaced 16 in. OC, the insulation shall be a max of 3-1/2 in. thick, and shall be secured against the subflooring with staples at 12 in. OC or held suspended in the concealed space with 0.090 in. diam galv steel wires attached to the wood trusses at 12 in. OC. When the resilient channels (Item 6) or furring channels (Item 6A) are spaced a max of 12 in. OC or when the Steel Framing Members (Item 6B) are used, there is no limit in the overall thickness of insulation, and the insulation can be secured against the subflooring, held suspended in the concealed space or draped over the resilient or furring channels (or Steel Framing Members) and gypsum panel membrane. When Steel Framing Members (Item 6C) are used, max 3-1/2 in. thick insulation shall be draped over the furring channels (Item 6Ca) and gypsum board ceiling membrane, and friction-fitted between trusses and Steel Framing Members (Item 6Cd). The finished rating has only been determined when the insulation is secured to the subflooring.

5A. Fiber, Sprayed\* — (Dry Dense Packed 100% Borate Formulation) — (Optional) — As an alternate to Item 5, When used, the resilient channel and gypsum board attachment is modified as specified in Items 6 and 7 and wire mesh (Item 10) shall be attached to the furring channels to facilitate installation of the material. The finished rating when Fiber, Sprayed is used has not been determined. The fiber is applied without water or adhesive at a nominal dry density of 3.5 lb/ft<sup>3</sup>, in accordance with the application instructions supplied with the product. When Item 5A (Fiber, Sprayed) is used, two layers of gypsum board required as described in Item 7. Not evaluated for use with Item 6B. 6C. 6G or 6H. U S GREENFIBER L L C - INS735, INS745, INS765LD & INS770LD to be used with dry application only

4B. Alternate Ceiling Damper\* — For use with min 18 in. deep trusses. Max nom area shall be 256 sq in. with the length not to exceed 24 in. and the width not to exceed 20 in. Max height of damper shall be 17 in. Aggregate damper openings shall not exceed 128 sq in. per 100 sq ft of ceiling area. Damper installed in accordance with the manufacturers installation instructions provided with the damper. A steel grille (Item 9) shall be installed

4D. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 75 sq in. with the length not to exceed 8-9/16 in. and the width not to exceed 8-3/4 in. Max height of damper shall be 9-7/8 in. Aggregate damper openings shall not exceed 38 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combination with one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper. A plastic grille (Item 9) shall be installed in accordance with installation instructions.

4F. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 131 sq in. with the length not to exceed 11-1/16 in. and the width not to exceed 11-7/8 in. Aggregate damper openings shall not exceed 66 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combination with one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper. A plastic grille (Item 9) shall be installed in accordance with installation instructions. DELTA ELECTRONICS INC - Model SMT-CRD

4I. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 79 sq in. with the length not to exceed 10 in. and the width not to exceed 7-15/16 in. Aggregate damper openings shall not exceed 40 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combination with one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper. A metallic grille (Item 9) shall be

5B. Fiber, Sprayed\* — (Loose Fill 100% Borate Formulation) — (Optional) — As an alternate to Items 5 and 5A, The finished rating when Fiber, Sprayed is used has not been determined. The fiber is applied without water or adhesive at a minimum dry density of 0.5 lb/ft<sup>3</sup> and at a max thickness of 3-1/2 in., in accordance with the application instructions supplied with the product. Wire mesh (Item 10) shall be attached to the furring channels to facilitate installation of the material. When Item 5B (Fiber, Sprayed) is used, two layers of gypsum board required as described in Item 7. Not evaluated for use with Item 6B, 6C, 6D, 6E, 6F, 6G, 6H or 6I. U S GREENFIBER L L C - INS735, INS745, INS765LD & INS770LD to be used with dry application only

5C. Foamed Plastic\* — (As alternate to Item 5, 5A, or 5B, Not Shown) — Spray foam insulation applied directly to the underside of the plywood subflooring. Spray foam insulation installed to a maximum thickness of 10 in. at a nominal 0.5 lb/ft<sup>3</sup> density. Spray foam insulation is limited to use with minimum 18 in. deep trusses (Item 2). When spray foam insulation is installed, resilient channels (Item 6) shall be installed maximum 12 in. OC, with channels adjacent to butt joints of gypsum board (Item 7) spaced maximum 3 in. away from gypsum butt joints. Gypsum board (Item 7) to be installed using minimum 1-1/4 in. long Type S screws, spaced maximum 8 in. OC, and butted end joints shall be staggered min. 2 ft within the assembly, and occur midway between the continuous furring channels. If used with a fire damper (Items 4 through 4H) in the concealed space, minimum 1 in. clearance to be maintained between damper housing and spray foam insulation. Not evaluated for use with Items 5 through 5B, or 6A through 6I. SES FOAM INC — Sucraseal

5D. Cavity Insulation - Batts and Blankets\* or Fiber, Sprayed\* - (As described above in Items 5 through 5B) — (For Use with Item 7A, Not Shown) — Min. 3-1/2 in thick with no limit on maximum thickness fitted in the concealed space, draped over the resilient channel (Item 6H)/gypsum board (Item 7A) ceiling membrane.

5E. Foamed Plastic\* — (As alternate to Item 5, 5A, or 5C, Not Shown) — Spray foam insulation applied directly to the underside of the plywood subflooring. Spray foam insulation installed to a maximum thickness of 10 in. at a nominal 0.5 lb/ft<sup>3</sup> or 2.0 lb/ft<sup>3</sup> density, depending on the product installed. Spray foam insulation is limited to use with minimum 18 in. deep trusses (Item 2). When spray foam insulation is installed, resilient channels (Item 6) shall be installed maximum 12 in. OC, with channels adjacent to butt joints of gypsum board (Item 7) spaced maximum 3 in. away from gypsum butt joints. Gypsum board (Item 7) to be installed using minimum 1-1/4 in. long Type S screws, spaced maximum 8 in. OC, and butted end joints shall be staggered min. 2 ft within the assembly, and occur midway between the continuous furring channels. If used with a fire damper (Items 4 through 4H) in the concealed space, minimum 1 in. clearance to be maintained between damper housing and spray foam insulation. Not evaluated for use with Items 5 through 5B, or 6A through 6I. BASF CORP - Enertite® NM, Enertite® G, FE178®, Spraytite® 178, Spraytite® 81206, Walltite® 200, Walltite® US, Walltite® US-N, and Walltite® HP+

6. **Resilient Channels** — Formed from min 25 MSG galv steel installed perpendicular to trusses. When there is no insulation installed in the concealed space the resilient channels are spaced 24 in. OC. When insulation (Item 5) is secured to the underside of the subfloor the resilient channels are spaced 16 in. OC. When insulation, Items 5, 5A or 5B is applied over the resilient channel/gypsum panel ceiling membrane, or when Item 5C or 5E is applied to underside of subflooring, the resilient channels are spaced 12 in. OC. Channels secured to each truss with 1-1/4 in. long Type S bugle head steel screws. Channels overlapped 4 in. at splices. Two channels, spaced 6 in. OC, oriented opposite each gypsum panel end joint as shown in the above illustration. Additional channels shall extend min 6 in. beyond each side edge of panel.

6A. Steel Framing Members\* — (Not Shown) — As an alternate to Item 6. a. Furring Channels — Formed of No. 25 MSG galv steel, 2-9/16 in. or 2-23/32 in. wide by 7/8 in. deep, spaced 16 in. OC perpendicular to wood structural members. When insulation, Items 5, 5A or 5B is applied over the furring channel/gypsum panel ceiling membrane, the furring channel spacing shall be reduced to 12 in. OC. Channels secured to trusses as described in Item b. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18 AWG galv steel wire near each end of overlap.

b. Steel Framing Members\* — Used to attach furring channels (Item a) to trusses (Item 2). Clips spaced 48 in. OC. RSIC-1 and RSIC-1 (2.75) clips secured to alternating trusses with No. 8 x 2-1/2 in. course drywall screw through the center grommet. RSIC-V and RSIC-V (2.75) clips secured to alternating trusses with No. 8 x 1-1/2 in. coarse drywall screw through the center hole. Furring channels are friction fitted into clips. RSIC-1 and RSIC-V clips for use with 2-9/16 in. wide furring channels. RSIC-1 (2.75) and RSIC-V (2.75) clips for use with 2-23/32 in. wide furring channels. Adjoining channels are overlapped as described in Item a. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two self-tapping No. 6 framing screws, min 7/16 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Additional clips required to hold furring channel that supports the gypsum board butt joints, as described in Item 7. When Fiber, Sprayed (Item 5B) is used, two layers of nom 5/8 in. thick, 4 ft wide gypsum board shall be installed as described in Item 7. PAC INTERNATIONAL L L C - Types RSIC-1, RSIC-V, RSIC-1 (2.75), RSIC-V (2.75)

6B. Steel Framing Members — (Not Shown) — As an alternate to Item 6, main runners, cross tees, cross channels and wall angle as listed below. a. Main Runners — Nom 10 or 12 ft long, 15/16 in. or 1-1/2 in. wide face, spaced 4 ft. OC. Main runners suspended by min 12 SWG galv steel hanger wires spaced 48 in. OC. Hanger wires to be located adjacent to main runner/cross tee intersections. Hanger wires wrapped and twisttied on 16d nails driven in to side of trusses at least 5 in. above the bottom face.

b. Cross Tees or Channels — Nom 4 ft long cross tees, with 15/16 in. or 1-1/2 in. wide face, or nom 4 ft long cross channels, with 1-1/2 in. wide face, either spaced 16 in. OC, installed perpendicular to the main runners. Additional cross tees or channels used 8 in. from each side of butted gypsum board end joints. The cross tees or channels may be riveted or screw-attached to the wall angle or channel to facilitate the ceiling installation.

c. Wall Angle or Channel — Painted or galv steel angle with 1 in. legs or channel with 1 in. legs, 1-9/16 in. deep attached to walls at perimeter of ceiling with fasteners 16 in. OC. To support steel framing member ends and for screw-attachment of the gypsum panel. CGC INC — Type DGL or RX

USG INTERIORS LLC - Type DGL or RX

6C. **Steel Framing Members\*** — (Not Shown) — As an alternate to Item 6. a. Furring Channels — Hat-shaped furring channels, 7/8 in. deep by 2-5/8 in. wide at the base and 1-1/4 in. wide at the face, formed from No. 25 ga. galv steel, spaced max. 16 in. OC perpendicular to trusses and Cold Rolled Channels (Item 6Cb). Furring channels secured to Cold Rolled Channels at every intersection with a 1/2 in. pan head self-drilling screw through each furring channel leg. Ends of adjoining channels overlapped 4 in. and tied together with two double strand No. 18 SWG galv steel wire ties, one at each end of overlap. Supplemental furring channels at base layer and outer layer gypsum board butt joints are not required. Batts and Blankets draped over furring channels as described in Item 5. Two layers of gypsum board attached to furring channels as described in Item 7.

b. Cold Rolled Channels — 1-1/2 in. by 1/2 in., formed from No. 16 ga. galv steel, positioned vertically and parallel to trusses, friction-fitted into the channel caddy on the Steel Framing Members (Item 6Cd). Adjoining lengths of cold rolled channels lapped min. 6 in. and wire-tied together with two double strand 18 SWG galv steel wire ties, one at each end of

c. Blocking — Where truss design does not permit direct, full contact of the hanger bracket, a piece of nominal 2 by 4 in. lumber (blocking), min. 6 in. long to permit full contact of the hanger bracket, to be secured vertically to the side of the truss (Item 2) at the top and bottom of the blocking at each Steel Framing Member (Item 6Cd) location.

d. Steel Framing Members\* — Hangers spaced 48 in. OC. max along truss, and secured to the Blocking (Item 6Cc) on alternating trusses with a single 5/16 in. by 2 in. hex head lag bolt or four #6 1-1/4 in. drywall screws through mounting hole(s) on the hanger bracket. The two 1/4 in. long steel teeth on the hanger are embedded in the side of the blocking. Hanger positioned on blocking and leveling bolt height adjusted such that furring channels are flush with bottom of trusses before gypsum board installation. Spring gauge of hanger chosen per manufacturer's instructions. **KINETICS NOISE CONTROL INC** - Type ICW

5E. Foamed Plastic\* - (As alternate to Item 5, 5A, or 5C, Not Shown) -Spray foam insulation applied directly to the underside of the plywood subflooring. Spray foam insulation installed to a maximum thickness of 10 in at a nominal 0.5 lb/ft<sup>3</sup> or 2.0 lb/ft<sup>3</sup> density, depending on the product installed. Spray foam insulation is limited to use with minimum 18 in. deep trusses (Item 2). When spray foam insulation is installed, resilient channels (Item 6) shall be installed maximum 12 in. OC, with channels adjacent to butt joints of gypsum board (Item 7) spaced maximum 3 in. away from gypsum butt joints. Gypsum board (Item 7) to be installed using minimum 1-1/4 in. long Type S screws, spaced maximum 8 in. OC, and butted end joints shall be staggered min. 2 ft within the assembly, and occur midway between the continuous furring channels. If used with a fire damper (Items 4 through 4H) in the concealed space, minimum 1 in. clearance to be maintained between damper housing and spray foam insulation. Not evaluated for use with Items 5 through 5B, or 6A through 6I. BASF CORP — Enertite® NM, Enertite® G, FE178®, Spraytite® 178, Spraytite® 81206, Walltite® 200, Walltite® US Walltite® US-N, and Walltite® HP+

6. Resilient Channels — Formed from min 25 MSG galv steel installed perpendicular to trusses. When there is no insulation installed in the concealed space the resilient channels are spaced 24 in. OC. When insulation (Item 5) is secured to the underside of the subfloor the resilient channels are spaced 16 in. OC. When insulation, Items 5, 5A or 5B is applied over the resilient channel/gypsum panel ceiling membrane, or when Item 5C or 5E is applied to underside of subflooring, the resilient channels are spaced 12 in. OC. Channels secured to each truss with 1-1/4 in. long Type S bugle head steel screws. Channels overlapped 4 in. at splices. Two channels, spaced 6 in. OC, oriented opposite each gypsum panel end joint as shown in the above illustration. Additional channels shall extend min 6 in. beyond each side edge

6E. Steel Framing Members\* — (Not Shown) — As an alternate to Item 6 a. Furring Channels — Formed of No. 25 MSG galv steel, 2-3/8 in. wide by 7/8 in. deep, spaced 16 in. OC perpendicular to wood structural members. When insulation, Items 5 or 5A is applied over the furring channel/gypsum panel ceiling membrane, the furring channel spacing shall be reduced to 12 in. OC. Channels secured to trusses as described in Item b. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18 AWG galvanized steel wire near each end of overlap.

b. Steel Framing Members\* — Used to attach furring channels (Item a) to trusses (Item 2). Clips spaced 48 in. OC, and secured to the bottom chord of alternating trusses with one No. 8 x 2-1/2 in. coarse drywall screw through center grommet. When insulation, Items 5 or 5A is applied over the furring channel/gypsum panel ceiling membrane, the clip spacing shall be reduced to 24 in. OC and secured to consecutive trusses. Furring channels are friction fitted into clips. Adjoining channels are overlapped as described in Item a. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two selftapping No. 6 framing screws, min 7/16 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Additional clips required to hold furring channel that supports the gypsum board butt joints, as described in Item 7. Not evaluated for use with Item 5B. PLITEQ INC — Type Genie Clip

6F. Steel Framing Members\* — (Not Shown) — As an alternate to Items 6, furring channels and Steel Framing Members as described below. a. Furring Channels — Formed of No. 25 MSG galv steel, 2-5/8 in. wide by 7/8 in deep, spaced 16 in OC, perpendicular to joists. When insulation, Items 5 or 5A is applied over the furring channel/gypsum panel ceiling membrane, the furring channel spacing shall be reduced to 12 in. OC. Channels secured to joists as described in Item b.

b. Steel Framing Members\* - Used to attach furring channels (Item a to the trusses (Item 2). Clips spaced at 48" OC and secured to the bottom of the joists with one 2 in. Coarse Drywall Screw with 1 in. diam washer through the center hole. Furring channels are then friction fitted into clips. Ends of channels are overlapped 6" and tied together with double strand of No. 18 AWG galvanized steel wire. Additional clips are required to hold furring channel that supports the gypsum board butt joints as described in Item 7. STUDCO BUILDING SYSTEMS - RESILMOUNT Sound Isolation Clips - Type A237 or A237R

6G. Steel Framing Members\* — (Not Shown) — As an alternate to Item 6 – Not for use with Items 5, 5A or 5B — Main runners nom 12 ft long, spaced 72 in. OC. Main runners suspended by min 12 SWG galv steel hanger wires spaced 48 in. OC. Cross tees, nom 6 ft long, installed perpendicular to main runners and spaced 24 in. OC. Additional 6 ft long cross tees required at each gypsum board end joint with butted gypsum board end joints centered between cross tees spaced 8 in. OC. The main runners and cross tees may be riveted or screw attached to the wall angle or channel to facilitate the ceiling installation. USG INTERIORS LLC — Type DGL or RX

6H. Resilient Channels — For Use With Item 7A - Formed from min 25 MSG galv steel installed perpendicular to trusses and spaced 16 in. OC. Channels secured to each truss with 1-5/8 in. long Type S bugle head steel screws. Channels overlapped 4 in. at splices. Two channels, spaced 6 in. OC, oriented opposite each gypsum panel end joint. Additional channels shall extend min 6 in. beyond each side edge of panel. Insulation, Item 5D is applied over the resilient channel/gypsum panel ceiling membrane.

b. Steel Framing Members\* — Used to attach furring channels (Item 6Ia) to the trusses (Item 2). Clips spaced 48 in. OC on alternating trusses and secured to the bottom chord of the trusses with one 2-1/2 in. coarse drywall screw through the center grommet in accordance with the manufacturer's installation instructions. Furring channels are then friction fitted into clips. Ends of channels are overlapped 6 in. and tied together with double strand of No. 18 AWG galvanized steel wire. Additional clips are required to hold the furring channel that supports one end of the gypsum board butt joints as described in Item 7. REGUPOL AMERICA - Type SonusClip

**Gypsum Board\*** — Nom 5/8 in. thick, 48 in. wide gypsum panels. When resilient channels (Item 6) are used, gypsum panels installed with long dimension perpendicular to resilient channels. Gypsum panels secured with 1 n. long Type S bugle head steel screws spaced 12 in. OC and located a min of 1/2 in. from side joints and 3 in. from the end joints. When insulation (Items 5 or 5A) is applied over the resilient channel/gypsum panel ceiling membrane screw spacing shall be reduced to 8 in. OC. When insulation (Item 5C or 5E) is applied to the underside of the subflooring, screw spacing shall be reduced to 8 in. OC and minimum 1-1/4 in. long Type S screws to install gypsum to the resilient channels (Item 6), and butted end joints shall be staggered min. 2 ft within the assembly, and occur midway between the continuous furring channels. End joints secured to both resilient channels as shown in end joint detail. When Steel Framing Members (Item 6A) are used, gypsum panels installed with long dimensions perpendicular to furring channels. Panels attached to the furring channels using 1 in. long Type S bugle-head steel screws spaced 8 in. OC along butted end joints and in the field of the panel. Butted end joints shall be staggered min. 2 ft within the assembly, and occur midway between the continuous furring channels. Each end of each gypsum panel shall be supported by a single length of furring channel equal to the width of the gypsum panel plus 6 in. on each end. The two support furring channels shall be spaced approximately 3-1/2 in. OC, and be attached to underside of the truss with one clip at each end of the channel. When Steel Framing Members\* (Item 6B) are used, gypsum panels nstalled with long dimension perpendicular to cross tees with side joints centered along main runners and end joints centered along cross tees. Panels fastened to cross tees with 1 in. long . Type S bugle-head screws spaced in the field and 8 in. OC along end joints. Panels fastened to main runners with 1 in. long . Type S bugle-head screws spaced midway between cross tees. Screws along sides and ends of panels spaced 3/8 to 1/2 in. from panel edge. End joints of panels shall be staggered with spacing between joints on adjacent panels not less than 4 2 ft OC. When Fiber, Sprayed (Items 5A or 5B) is used, two layers of nom 5/8 in. thick, 4 ft wide gypsum board are installed with long dimensions perpendicular to furring channels. Base layer gypsum board secured with 1 in. long Type S bugle head steel screws spaced 12 in. OC and located a min of 1/2 in. from side joints and 3 in. from the end joints. End joints secured to both resilient channels as shown in end joint detail. Outer layer gypsum board secured with 1-5/8 in. long Type S bugle head steel screws spaced 12 in. OC and located a min of 1/2 in. from side joints and 3 in. from the end joints. Outer layer shall be finished as described in Item 8. When both Steel Framing Members (Item 6A) and Fiber, Sprayed (Items 5A or 5B) are used, furring channels spaced 12 in. OC and two layers of nom 5/8 in. thick, 4 ft wide gypsum board are installed with long dimension perpendicular to furring channels. Base layer secured to furring channels with nom 1 in. long Type S bugle head screws spaced 8 in. OC along butted end joints and in the field of the board. Butted end joints shall be staggered min. 2 ft within the assembly, and occur midway between the continuous furring channels. Each end of each gypsum board shall be supported by a single length of furring channel equal to the width of the gypsum board plus 6 in. on each end. The two support furring channels shall be spaced approximately 3-1/2 in. OC, and be attached to the underside of the truss with one clip at

each end of the channel. Outer layer secured to furring channels using 1-5/8 in. long Type S screws spaced 8 in. OC and 1-1/2 in. from the end joint. Butted end joints to be offset a min. of 8 in. from base layer end joints. Butted side joints of outer layer to be offset min. 18 in. from butted side joints of base layer. When Steel Framing Members (Item 6C) are used, two layers of nom 5/8 in. thick, 4 ft wide gypsum board are installed with long dimensions perpendicular to furring channels (Item 6Ca). Base layer attached to the furring channels using 1 in. long Type S bugle head steel screws spaced 8 in. OC along butted end joints and 12 in. OC in the field of the board. Butted end joints centered on the continuous furring channels. Butted base layer end joints to be offset a min of 16 in. in adjacent courses. Outer layer attached to the furring channels using 1-5/8 in. long Type S bugle head steel screws spaced 8 in. OC at butted end joints and 12 in. OC in the field. Butted end joints centered on the continuous furring channels and offset a min of 16 in. from butted end joints of base layer. Butted side joints of outer layer to be offset min 16 in. from butted side joints of base layer. When Steel Framing Members (Item 6D) are used, two layers of nom 5/8 in. thick, 4 ft wide gypsum board are installed with long dimensions perpendicular to furring channels. Base layer attached to the furring channels using 1 in. long Type S bugle-head steel screws spaced 12 in. OC in the field of the board. Butted end joints shall be staggered min 2 ft. within the assembly, and occur midway between the continuous furring channels. Each end of each gypsum board shall be supported by a single length of furring channel equal to the width of the gypsum board plus 6 in. on each end. The two furring channels shall be spaced approximately 4 in. OC, and be attached to underside of the truss with one Isomax clip at each end of the channel. Screw spacing along

the gypsum board butt joint shall be 8 in. OC. Outer layer attached to the furring channels using 1-5/8 in. long Type S bugle-head steel screws spaced 12 in. OC in the field. The end of the outer layer boards at the butt joint shall be attached to the base layer boards with 1-5/8 in. long Type G screws spaced 8 in. OC and 1-1/2 in. from the end joint. Butted end joints to be offset a min of 8 in. from base layer end joints. Butted side joints of outer layer to be offset min 18 in. from butted side joints of base layer. Outer layer shall be finished as described in Item 8. When Steel Framing Members (Item 6E) are used, one layer of nom 5/8 in. thick, 4 ft wide are installed with long dimensions perpendicular to furring channels. Gypsum board secured to furring channels using 1 in. long No. 6 Type S bugle-head steel screws spaced 12 in. OC in the field of the board. Butted end joints shall be staggered minimum 2 ft. within the assembly. Additional furring channels constructed as per Item 6E shall be used to support each end of each gypsum board. These additional furring channels shall be attached to underside of the truss with Genie clips as described in Item 6E. Screw spacing along the gypsum

board butt joint shall be 8 in. OC. Outer layer attached to the furring channels using 1-5/8 in. long No. 6 Type S bugle-head steel screws spaced 12 in. OC in the field. The outer layer boards at the butt joint shall be attached to the base layer boards with No. 10, 1-1/2 in. long drywall screws spaced 8 in. OC and 1-1/2 in. from the end joint. Butted end joints to be offset a min of 24 in. from base layer end joints. Butted side joints of outer layer to be offset min 16 in. from butted side joints of base layer. When **Steel Framing Members** (Item 6F) are used, one layer of nom 5/8 in. thick, 4 ft wide gypsum board is installed with long dimensions perpendicular to furring channels. Gypsum board secured to furring channels with nom 1 in. long Type S bugle-head steel screws spaced 8 in. OC in the field of the board. Gypsum board butted end joints shall be staggered minimum 48 in. and centered over main furring channels. At the gypsum board butt joints, each end of each gypsum board shall be supported by a single length of furring channel equal to the width of the gypsum board plus 3 in. on each end. The two support furring channels shall be spaced approximately 3 in. in from joint. Screw spacing along the gypsum board butt joint and along both additional channels shall be 8 in. OC. Additional screws shall be placed in the adjacent section of gypsum board into the aforementioned 3 in. extension of the extra butt joint channels as well as into the main channel that runs between. Butt joint furring channels shall be attached with one RESILMOUNT Sound Isolation Clip at each end of the channel.

6I. Steel Framing Members\* — (Not Shown) — As an alternate to Item 6, furring channels and Steel Framing Members as described below. a. Furring Channels — Formed of No. 25 MSG galvanized steel, 2-1/2 in. wide by 7/8 in deep, spaced 16 in OC, perpendicular to trusses. When insulation, Items 5 or 5A is applied over the furring channel/gypsum panel ceiling membrane, the furring channel spacing shall be reduced to 12 in. OC. Channels secured to trusses as described in Item b.

10. Wire Mesh — (Not Shown) — For use with Item 5A and 5B — 1 in. 20 gauge galvanized poultry netting installed between the furring channels and gypsum board. The poultry netting is attached with washers and 1/2 in. wafer head screws, spaced 24 in. OC., to the furring channels. The Fiber, Sprayed (Item 5A or 5B) is installed through cut-openings in the poultry netting, inbetween trusses. The cut-openings in the poultry netting shall be staggered at a maximum of 6 ft.

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

Last Updated on 2019-01-18

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### Planning • Architecture Landscape Architecture

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### **Kevisions:**

Date: Description:

Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft.

**Clarke Apartments** Residences, LLC

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Sheet Title: U.L. Assemblies, L521

Date: September 30, 2022



### Design No. U305

January 22, 2019

### Bearing Wall Rating — 1 Hr Finish Rating — See Items 3, 3A, 3D, 3E, 3F, 3G, 3H, 3J and 3L.

STC Rating - 56 (See Item 9)

This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a

load restriction factor shall be used — See Guide BXUV or BXUV7

#### \* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively



L. Wood Studs — Nom 2 by 4 in. spaced 16 in. OC max, effectively firestopped

2. Joints and Nail-Heads — Joints covered with joint compound and paper tape. Joint compound and paper tape may be omitted when square edge boards are used. As an alternate, nom 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard with the joints reinforced with paper tape. Nailheads exposed or covered with joint compound

3. Gypsum Board\* — 5/8 in. thick paper or vinyl surfaced, with beveled, square, or tapered edges, applied either horizontally or vertically. Gypsum panels nailed 7 in. OC with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 15/64 in. diam heads. When used in widths other than 48 in., gypsum panels are to be installed horizontally. For an alternate method of attachment of gypsum panels, refer to Items 6 through 6E, Steel Framing Members\*

When Items 6, 6B, 6C, 6D, or 6E, Steel Framing Members\*, are used, gypsum panels attached to furring channels with 1 in. long Type S bugle-head steel screws spaced 12 in. OC

When Item 6A, Steel Framing Members\*, is used, two layers of gypsum panels attached to furring channe Base layer attached to furring channels with 1 in. long Type S bugle-head steel screws spaced 12 in. OC. Face layer attached to furing channels with 1-5/8 in. Jong Type 5 bugle-head steel screws spaced 12 in. OC. All joints in face layers staggered with joints in base layers. One layer of gypsum board attached to opposite side of wood stud without furring channels as described in Item 3. When Item 7, resilient channels are used, 5/8 in. thick, 4 ft wide gypsum panels applied vertically. Screw

attached furring channels with 1 in. long, self-drilling, self-tapping Type S or S-12 steel screws spaced 8 in. O vertical joints located midway between stude ACADIA DRYWALL SUPPLIES LTD — Type X (finish rating 22 min), 5/8 Type X, Moisture Resistant Type X, Gypsum Sheathing Type X, Mold & Mildew Resistant Type X and Mold & Mildew Resistant AR Type X, Type Blueglass Exterior Sheathing

AMERICAN GYPSUM CO — Types AGX-1(finish rating 23 min.), M-Glass (finish rating 23 min.), Type AGX-11 rating 26 min), Type AGX-12 (finish rating 22 min), Type LightRoc (finish rating 23 min.) or Type AG-

BEIJING NEW BUILDING MATERIALS PUBLIC LTD CO — Type DBX-1 (finish rating 24 min)

CERTAINTEED GYPSUM INC — Type 1, Type SF3 (finish rating 20 min) or FRPC: Type C, Type X-2, Type X or rating 26 min).

CGC INC — Type AR (finish rating 24 min), Type C (finish rating 24 min), Type IP-AR (finish rating 24 min), Type PC-AR (finish rating 24 min), Type IP-X1 (finish rating 24 min), Type IP-X2 (finish rating 24 min), Type SCX (finish rating 24 min), Type SHX (finish rating 24 min), Type ULX (finish rating 22 min), Type WRC (finish rating 24 min), Type WRX (finish rating 24 min)

CONTINENTAL BUILDING PRODUCTS OPERATING CO, L L C - Type LGFC6A (finish rating 34 min), Type GFC2A, Type LGFC-C/A, Type LGFC-WD, Type LGLLX (finish rating 21 min), Type CLLX (finish rating 24 mir

GEORGIA-PACIFIC GYPSUM L L C — Type 5 (finish rating 26 min), Type 6 (finish rating 23 min), Type 9 finish rating 26 min), Type C (finish rating 26 min), Type DGG (finish rating 20 min), Type GPFS1 (finish 20 min), Type GPES2 (finish rating 20 min), Type GPES6 (finish rating 26 min), Type DS, Type DAP, Type DF (finish rating 20 min), Type DA, Type DA, Type DAPC, Type LS (finish rating 23 min), Type X, Veneer Plaster Base - Ty X, Water Rated - Type X, Sheathing - Type X, Soffit - Type X, Type LWX (finish rating 22 min), Veneer Plaster Base-Type | WX (finish rating 22 min), Water Rated-Type | WX (finish rating 22 min), Sheathing Type-I WX (finis DGLW (finish rating 22 min), Sheathing Type- DGLW (finish rating 22 min), Soffit-Type DGLW (finish rating 22 min), Sheathing Type- DGLW (finish rating 22 min), Soffit-Type DGLW (finish rating 22 min), min), Type LWX (finish rating 22 min), Type LW2X (finish rating 22 min), Veneer Plaster Base - Type LW2X (finish rating 22 min), Variet Rated - Type LW2X (mish rating 22 min), Veneti matering 22 min), Veneti matering 22 min), Shart Rated - Type LW2X (finish rating 22 min), Soffit - Type LW2X (finish rating 22 min), Type DL2X (finish rating 22 min), Soffit - Type LW2X (finish rating 22 min), Type DL2X (finish rating 22 min), Water Rated - Type DL2X (finish rating 22 min), Sheathing - Type DGL2W (finish rating 22 min)

NATIONAL GYPSUM CO — Type FSK (finish rating 20 min), Type FSK-G (finish rating 20 min), Type FSW (finish rating 20 min), Type FSW-2 (finish rating 24 min), Type FSW-3 (finish rating 20 min), Type FSW-6 (finish rating 22 min), Type FSW-6 (finish rating 20 min), Type FSW-6 (finish rating 2 20 min), Type FSMR-C, Type FSW-6 (finish rating 20 min), Type FSL (finish rating 24 min), Type FSW-8, Typ FSLX (finish rating 21 min).

NATIONAL GYPSUM CO — Riyadh, Saudi Arabia — Type FR, or WR.

#### PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM - Types C, PG-2 (finish rating 20 min), PG-3 finish rating 20 min), Types PG-3W, PG-5W (finish rating 20 min), Type PG-4 (finish rating 20 min), Type PG-6 finish rating 23 min). Types PG-3WS, PG-5WS, PGS-WRS (finish rating 20 min), Types PG-5, PG-9 (finish rating 5 min), PG-11 PG-13 (Nails increased to 2 in.), or Type PG-

PANEL REY S A - Type GREX, PRX, PRC, PRC2; Types RHX, Guard Rey, MDX, ETX (finish rating 22 min

SIAM GYPSUM INDUSTRY (SARABURI) CO LTD - Type EX-1 (finish rating 26 min

THAI GYPSUM PRODUCTS PCL — Type C, Type X (finish rating 26 min)

UNITED STATES GYPSUM CO — Type AR (finish rating 24 min), Type C (finish rating 24 min), Type FRX-G (finish rating 29 min), Type IP-AR (finish rating 24 min), Type IPC-AR (finish rating 24 min), Type IP-X1 (finish ating 24 min). Type IP-X2 (finish rating 24 min). Type SHX (finish rating 24 min). Type SCX (finish rating 24 min), Type GGX (finish rating 24 min), Type ULX (finish rating 22 min), Type WRX (finish rating 24 min), Type WRX (finish rating 24 min), Type ULX (finish rating 20 min)

USG BORAL DRYWALL SFZ LLC - Type SGX (finish rating 24 min)

in), Type SHX (finish rating 24 min), SCX (finish rating 24 min), Type IP-AR (finish rating 24 min), Type IPC-AR inish rating 24 min), Type ULX (finish rating 22 mi

A. **Gypsum Board\*** — (As an alternate to Item 3) — 5/8 in. thick gypsum panels, with beveled, square, or tapered edges, applied either horizontally or vertically. Gypsum panels fastened to framing with 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced a max 8 in. OC, with last screw 1 in. from edge of board. When used in widths of other than 48 in., gypsum boards are to be installed horizontally. AMERICAN GYPSUM CO — Types AGX-1 (finish rating 25 min.), M-Glass (finish rating 25 min.), AG-C (finish rating 25 min.), LighttRoc (finish rating 25 min.)

**CERTAINTEED GYPSUM INC** — Type C, Type X-2, Type X or Type X-1 (finish rating 26 min)

(finish rating 24 min), Type IP-X1 (finish rating 24 min), Type IP-X2 (finish rating 24 min), Type SCX (finish rating 24 min), Type SHX (finish rating 24 min), Type WRC (finish rating 24 min), Type WRX (finish rating 24 min)

NATIONAL GYPSUM CO — Type FSW (finish rating 24 min)

rating 24 min), Type C (finish rating 24 min), Type WRX (finish rating 24 min), Type WRC (finish rating 24 min), Type IP-X1 (finish rating 24 min), Type IP-X2 (finish rating 24 min), Type SHX (finish rating 24 min), Type FRX-G (finish rating 24 min), Type IP-AR (finish rating 24 min), Type IPC-AR (finish rating 24 min)

USG BORAL DRYWALL SFZ LLC — Types C, SCX, SGX (finish rating 24 min).

min), Type WRC (finish rating 24 min), Type IP-X1 (finish rating 24 min), Type IP-X2 (finish rating 24 min), Type SHX (finish rating 24 min), Type SCX, Type IP-AR (finish rating 24 min), Type IPC-AR (finish rating 24 min)

3B. **Gypsum Board\*** — (As an alternate to Item 3) — Nom 3/4 in. thick, installed with 1-7/8 in. long cement coated nails as described in Item 3 or 1-3/8 in. long Type W coarse thread gypsum panel steel screws as described in Item 3A CGC INC - Types AR, IP-AR

UNITED STATES GYPSUM CO - Types AR, IP-AR

USG MEXICO S A DE C V - Types AR, IP-AR

3C. **Gypsum Board\*** — (As an alternate to Items 3, 3A and 3B) — 5/8 in. thick, 2 ft wide, tongue and groove edge, applied horizontally to one side of the assembly. Installed with 1-7/8 in. long cement coated nails as described in Item 3 or 1-1/4 in. long Type W coarse thread gypsum panel steel screws as described in Item 3A. Joint covering (Item 2) not required. CGC INC - Type SHX

### UNITED STATES GYPSUM CO - Type SHX

USG MEXICO S A DE C V - Type SHX

**Board\*** — (As an alternate to Items 3, 3A, 3B, or 3C — Not Shown) — For Direct Application to Studs Only- Nom 5/8 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of studs. Wallboard secured to studs with 1-5/8 in. long Type W coarse thread gypsum panel steel screws spaced 8 in. OC at perimeter and in the field. Lead batten strips required behind vertical joints of lead backed gypsum wallboard and optional at remaining stud locations. Lead batten strips, min 1-1/2 in. wide, max 10 ft long with a max thickness of 0.125 in. placed on the face of studs and attached to the stud with two 1 in. long Type S-12 pan head steel screws, one at the top of the strip and one at the bottom of the strip. Lead discs or tabs may be used in lieu of or in addition to the lead batten strips or optional at other locations. Max 3/4 in. diam by max 0.125 in. thick lead discs compression fitted or adhered over steel screw heads or max 1/2 in. by 1-1/4 in. by max 0.125 in. thick lead tabs placed on gypsum boards underneath screw locations prior to the installation of the screws. Lead batten strips to have a purity of 99.9% meeting the Federal specification QQ-L-201f, Grade "C". RAY-BAR ENGINEERING CORP — Type RB-LBG (finish rating 24 min)

3E. **Gypsum Board\*** — (As an alternate to Items 3, 3A, 3B, 3C, and 3D) — 5/8 in. thick gypsum panels, with square edges, applied either horizontally or vertically. Gypsum panels fastened to framing with 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced a max 8 in. OC, with last 2 screws 1 and 4 in. from edge of board or nailed 7 in. OC with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 15/64 in. diam heads. When used in widths of other than 48 in., gypsum boards are to be installed horizontall GEORGIA-PACIFIC GYPSUM L L C - Type DGG (finish rating 20 min), GreenGlass Type X (finish rating 23 min)

3F. Gypsum Board\* — (As an alternate to Items 3, 3A, 3B, 3C, 3D, and 3E) — 5/8 in. glass-mat faced with square edges, applied either horizontally or vertically. Gypsum panels nailed 7 in. OC around the perimeter and in the field with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 15/64 in. diam heads. Nails shall be placed 1 inch and 3 inch from horizontal joints and 7 inch OC thereafter. CGC INC - Type USGX (finish rating 22 min)

UNITED STATES GYPSUM CO - Type USGX (finish rating 22 min.)

USG BORAL DRYWALL SFZ LLC - , Type USGX (finish rating 22 min.)

USG MEXICO S A DE C V - Type USGX (finish rating 22 min.)

3G. **Gypsum Board\*** — (As an alternate to Items 3 through 3F) — 5/8 in. thick paper surfaced applied vertically. Gypsum panels nailed 7 in. OC with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 15/64 in. diam GEORGIA-PACIFIC GYPSUM L L C - Type X ComfortGuard Sound Deadening Gypsum Board (finish rating 27 min)

3H. **Gypsum Board\*** — (As an alternate to Items 3) — Not to be used with items 6 or 7. 5/8 in. thick paper surfaced applied vertically only. Gypsum panels nailed 7 in. OC with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 15/64 in. diam heads. NATIONAL GYPSUM CO — SoundBreak XP Type X Gypsum Board

USG MEXICO S A DE C V - Type AR (finish rating 24 min), Type C (finish rating 24 min), Type WRX (finish ating 24 min), Type WRC (finish rating 24 min), Type IP-X1 (finish rating 24 min), Type IP-X2 (finish rating 2

CGC INC – Type AR (finish rating 24 min), Type C (finish rating 24 min), Type IP-AR (finish rating 24 min), Type IPC-AR

UNITED STATES GYPSUM CO - Type AR (finish rating 24 min), Type SCX (finish rating 24 min), Type SGX (finish

USG MEXICO S A DE C V - Type AR (finish rating 24 min), Type C (finish rating 24 min), Type WRX (finish rating 24

BI. Gypsum Board\* — (As an alternate to Items 3 through 3H, Not Shown) — Nominal 5/8 in. thick, 4 ft wide panels, applied vertically. Panels nailed 7 in. OC with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 15/64 in. diam heads. Panel joints covered with paper tape and two layers of joint compound. Nailheads covered with two layers of joint compound. PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM - Type QuietRock ES (finish rating 20 min)

3J. Gypsum Board\* — (As an alternate to Item 3) — Not to be used with items 6 or 7. 5/8 in. thick paper surfaced applied vertically or horizontally Gypsum panels secured per item 3 or 3A. **CERTAINTEED GYPSUM INC** — Type SilentFX

3K. Gypsum Board\* — (As an alternate to Item 3) — 5/8 in. thick gypsum panels, with beveled, square, or tapered edges, applied either horizontally or vertically. Gypsum panels fastened to framing with 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced a maximum 8 in. OC with the last screw 1 in. from the edge of the board. When used in widths other than 48 in., gypsum panels are to be installed horizontally. NATIONAL GYPSUM CO - Type FSK (finish rating 20 min), Type FSK-G (finish rating 20 min), Type FSW (finish rating min, Type FSW-2 (finish rating 24 min), Type FSW-3 (finish rating 20 min), Type FSW-5 (finish rating 20 min), Type FSW-6 (finish rating 20 min), Type FSW-C (finish rating 20 min), Type FSW-C

FSW-6 (finish rating 20 min), Type FSL (finish rating 24 min).

3L. **Gypsum Board\*** — (As an alternate to Item 3) — For Direct Application to Studs Only — Nom 5/8 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of studs. Wallboard secured to studs with 1-5/8 in. long Type W coarse thread gypsum panel steel screws spaced 8 in. OC at perimeter and in the field. Lead batten strips required behind vertical joints of lead backed gypsum wallboard and optional at remaining stud locations. Lead batten strips, min 2 in. wide, max 10 ft long with a max thickness of 0.140 in. placed on the face of studs and attached to the stud with two 1 in. long Type S-8 pan head steel screws, one at the top of the strip and one at the bottom of the strip. Lead discs, max 5/16 in. diam by max 0.140 in. thick. compression fitted or adhered over the screw heads. Lead batten strips to have a purity of 99.5% meeting the Federal specification QQ-L-201f, Grades "B, C or D". MAYCO INDUSTRIES INC - "X-Ray Shielded Gypsum

3M. Gypsum Board\* — (As an alternate to Items 3) — For Direct Application to Studs Only — For use as the base layer or as the face layer. Nom 5/8 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of studs. Wallboard secured to studs with 1-5/8 in. long Type W coarse thread gypsum panel steel screws spaced 8 in. OC at perimeter and in the field when applied as the base layer. When applied as the face layer screw length to be increased to 2-1/2 in. Lead batten strips required behind vertical joints of lead backed gypsum wallboard and optional at remaining stud locations. Lead batten strips, min 2 in. wide, max 8 ft long with a max thickness of 0.14 in. placed on the face of studs and attached to the stud with construction adhesive and two 1 in. long Type S-12 pan head steel screws, one at the top of the strip and one at the bottom of the strip. Lead discs, nominal 3/8 in. diam by max 0.085 in. thick. Compression fitted or adhered over the screw heads. Lead batten strips and discs to have a purity of 99.9% meeting the Federal specification QQ-L-201f, Grade "C". Fasteners for face layer gypsum panels (Items 4, 4A or 4B) when installed over lead backed board to be min 2-1/2 in. Type S-12 bugle head steel screws spaced as described in Item 4.

3N. Gypsum Board\* — (As an alternate to Item 3) — 5/8 in. thick, 4 ft. wide, applied horizontally or vertically with vertical joints centered over study and staggered one stud cavity on opposite sides of studs. Secured as described in Item 3 or 3A.

RADIATION PROTECTION PRODUCTS INC - Type RPP - Lead Lined Drywall

CERTAINTEED GYPSUM INC - Easi-Lite Type X (finish rating 24 min), Easi-Lite Type X-2 (finish rating 24 min

30. Wall and Partition Facings and Accessories\* — (As an alternate to Item 3, Not Shown) — Nominal 5/8 in. thick, 4 ft wide panels, applied vertically. Panels nailed 7 in. OC with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 15/64 in. diam heads. Panel joints covered with paper tape and two layers of joint compound. Nailheads covered with two layers of joint compound

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM – Type QuietRock 527 (finish rating 24 min).

**Gypsum Board\*** — (As an alternate to Item 3, Not Shown) — Two layers nom. 5/16 in. thick gypsum panels applied vertically or horizontally. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered or backed by wood studs. Horizontal joints on the same side between face and base layers need not be staggered. Base layer gypsum panels fastened to studs with 1-1/4 in. long drywall nails spaced 8 in. OC. Face layer gypsum panels fastened to studs with 1-7/8 in. long drywall nails spaced 8 in. OC starting with a 4" stagger. NATIONAL GYPSUM CO - Type FSW (finish rating 25 min)

. **Gypsum Board\*** — (As an alternate to Item 3) — 5/8 in. thick gypsum panels, with beveled, square, or tapered edges, applied either horizontally or vertically. Gypsum panels fastened to framing with 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced a maximum 10 in. OC with the last two screws 4 and 1 in. from the edges of the board. When used in widths other than 48 in., gypsum panels are to be installed horizontally. CONTINENTAL BUILDING PRODUCTS OPERATING CO, L L C - Type LGFC6A (finish rating 21 min), Type LGFC2A, Type LGFC-C/A, Type LGFC-WD, Type LGLLX

3R. Gypsum Board\* — (As an alternate to Item 3. For use with Item 5H) — Any 5/8 in. thick, 4 ft. wide, Gypsum Board listed in Item 3 above. Applied either horizontally or vertically, and screwed to panels with 1-5/8 in. long Type W coarse thread steel screws at 8 in. OC at perimeter and in the field with the last two screws 4 and 3/4 in. from the edges of the board when applied as the base layer. When used in widths other than 48 in., gypsum panels are to be installed horizontally.

3S. **Gypsum Board\*** — 3/4 in. thick paper or vinyl surfaced, with beveled, square, or tapered edges, applied either horizontally or vertically. Gypsum panels secured as described in Item 3 with nail length increased to 2 in. PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM - Type PG-13

3T. Wall and Partition Facings and Accessories\* — (As an alternate to 5/8 in. thick board as outlined in Item 3) — Nominal 1-1/4 in. thick, 4 ft wide panels, applied vertically or horizontally. Fastened with #6 x 2 in. long drywall screws spaced 8 in. OC along the perimeter and 12 in. OC in the field. PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM - Type QuietRock 545

4. Steel Corner Fasteners — (Optional) — For use at wall corners. Channel shaped, 2 in. long by 1 in. high on the back side with two 1/8 in. wide cleats protruding into the 5/8 in. wide channel, fabricated from 24 gauge galv steel. Fasteners applied only to the end or cut edge (not along tapered edges) of the gypsum board, no greater than 2 in. from corner of gypsum board, max spacing 16 in. OC. Nailed to adjacent stud through tab using one No. 6d cement coated nail per fastener. Corners of wall board shall be nailed to top and bottom plate using No. 6d cement coated nails.

5C. Batts and Blankets\* — Required for use with resilient channels, Item 7, 3 in thick mineral wool batts, friction-fitted to fill interior of wall. THERMAFIBER INC — Type SAFB, SAFB F

5D. Glass Fiber Insulation — (As an alternate to Item 5C) — 3 in. thick glass fiber batts bearing the UL Classification Marking as to Surface Burning and/or Fire Resistance, friction-fitted to fill the interior of the wall. See Batts and **Blankets** (BKNV or BZJZ) Categories for names of Classified companies.

5E. Batts and Blankets\* — (Required for use with Wall and Partition Facings and Accessories, Item 3D) — Glass fiber insulation, nom 3-1/2 in. thick, min. density of 0.80 pcf, with a flame spread of 25 or less and a smoke developed of 50 or less, friction-fitted to completely fill the stud cavities. See Batts and Blankets Category (BKNV) for names of manufacturers.

5F. Fiber, Sprayed\* - (Optional, Not Shown - Not for use with Items 6, 6A, 6B, 6C, or 6D) — As an alternate to Batts and Blankets (Item 5) and Item 5A -Spray applied granulated mineral fiber material. The fiber is applied with adhesive, at a minimum density of 4.0 pcf, to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. See Fiber, Sprayed (CCAZ). MERICAN ROCKWOOL MANUFACTURING, LLC - Type Rockwool Premium Plus

5G. Fiber, Sprayed\* — (Optional, Not Shown — Not for use with Items 6, 6A, 6B, 6C, or 6D). — As an alternate to Batts and Blankets (Item 5) and Item 5A -Brown Colored Spray applied cellulose fiber. The fiber is applied with water to completely fill the enclosed stud cavity in accordance with the application instructions supplied with the product. The minimum dry density shall be 4.30 **INTERNATIONAL CELLULOSE CORP** — Celbar-F

I. Foamed Plastic\* — (Optional -For use with Item 3R) — Spray applied, foamed plastic insulation, at any thickness from partial fill to completely filling stud cavity

SES FOAM INC — Nexseal<sup>™</sup> 2.0 or Nexseal<sup>™</sup> 2.0 LE Spray Foam and Sucraseal Spray Foam

5C. Batts and Blankets\* — Required for use with resilient channels, Item 7, 3 in. thick mineral wool batts, friction-fitted to fill interior of wall. THERMAFIBER INC - Type SAFB, SAFB

5D. Glass Fiber Insulation — (As an alternate to Item 5C) — 3 in. thick glass fiber batts bearing the UL Classification Marking as to Surface Burning and/or Fire Resistance, friction-fitted to fill the interior of the wall. See **Batts and** Blankets (BKNV or BZJZ) Categories for names of Classified companies.

5E. Batts and Blankets\* — (Required for use with Wall and Partition Facings and Accessories, Item 3D) — Glass fiber insulation, nom 3-1/2 in. thick, min. density of 0.80 pcf, with a flame spread of 25 or less and a smoke developed of 50 or less, friction-fitted to completely fill the stud cavities. See Batts and Blankets Category (BKNV) for names of manufacturers.

5F. Fiber, Sprayed\* — (Optional, Not Shown — Not for use with Items 6, 6A, 6B, 6C, or 6D) — As an alternate to Batts and Blankets (Item 5) and Item 5A -Spray applied granulated mineral fiber material. The fiber is applied with adhesive, at a minimum density of 4.0 pcf, to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. See Fiber, Sprayed (CCAZ). ERICAN ROCKWOOL MANUFACTURING, LLC — Type Rockwool Premium Plus

5G. Fiber, Sprayed\* — (Optional, Not Shown — Not for use with Items 6, 6A, 6B, 6C, or 6D). — As an alternate to Batts and Blankets (Item 5) and Item 5A -Brown Colored Spray applied cellulose fiber. The fiber is applied with water to completely fill the enclosed stud cavity in accordance with the application tions supplied with the product. The minimum dry density shall be 4.30 INTERNATIONAL CELLULOSE CORP — Celbar-RL

5H. Foamed Plastic\* — (Optional -For use with Item 3R) — Spray applied, foamed plastic insulation, at any thickness from partial fill to completely filling stud cavity SES FOAM INC - Nexseal<sup>™</sup> 2.0 or Nexseal<sup>™</sup> 2.0 LE Spray Foam and Sucraseal Spray Foam

6A. Steel Framing Members\* — (Optional, Not Shown) — Furring channels

and Steel Framing Members on one side of studs as described below: a. Furring Channels — Formed of No. 25 MSG galv steel, spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels are overlapped 6 in. and tied together with double strand of No. 18 SWG galv steel wire near each end of overlap. Batts and Blankets placed in stud cavity as described in Item 5. Two layers of gypsum board attached to furring channels as described in Item 3.

b. Steel Framing Members\* — Used to attach furring channels (Item 6Aa) to one side of studs only. Clips spaced 48 in. OC., and secured to studs with two No. 8 x 2-1/2 in. coarse drywall screws, one through the hole at each end of the clip. Furring channels are friction fitted into clips. **KINETICS NOISE CONTROL INC** — Type Isomax

6B. Steel Framing Members\* — (Optional, Not Shown) — Furring channels and Steel Framing Members as described below:

a. Furring Channels — Formed of No. 25 MSG galv steel. 2-3/8 in. wide by 7/8 in. deep, spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels are overlapped 6 in. and tied together with double strand of No. 18 SWG galv steel wire near each end of overlap. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two self-tapping #6 framing screws, min. 7/16 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Gypsum board attached to furring channels as described in Item 3.

b. Steel Framing Members\* - Used to attach furring channels (Item 6Ba) to studs. Clips spaced 48 in. OC. Genie clips secured to studs with No. 8 x 1-1/2 in. coarse drywall screw through the center hole. Furring channels are friction fitted into clips. PLITEQ INC — Type Genie Clip

6A. Steel Framing Members\* — (Optional, Not Shown) — Furring channels and Steel Framing Members on one side of studs as described below: a. Furring Channels — Formed of No. 25 MSG galv steel, spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels are overlapped 6 in. and tied together with double strand of No. 18 SWG galv steel wire near each end of overlap. Batts and Blankets placed in stud cavity as described in Item 5. Two layers of gypsum board attached to furring channels as

described in Item 3.

b. Steel Framing Members\* - Used to attach furring channels (Item 6Aa) to one side of studs only. Clips spaced 48 in. OC., and secured to studs with two No. 8 x 2-1/2 in. coarse drywall screws, one through the hole at each end of the clip. Furring channels are friction fitted into clips. KINETICS NOISE CONTROL INC - Type Isoma

6B. **Steel Framing Members\*** — (Optional, Not Shown) — Furring channels and Steel Framing Members as described below: a. Furring Channels — Formed of No. 25 MSG galv steel. 2-3/8 in. wide by 7/8 in. deep, spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels are overlapped 6 in. and tied together with double strand of No. 18 SWG galv steel wire near each end of overlap. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two self-tapping #6 framing screws, min. 7/16 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Gypsum board attached to furring channels as described in Item 3.

b. Steel Framing Members\* — Used to attach furring channels (Item 6Ba) to studs. Clips spaced 48 in. OC. Genie clips secured to studs with No. 8 x 1-1/2 in. coarse drywall screw through the center hole. Furring channels are friction fitted into clips. PLITEQ INC — Type Genie Clip

6C. Steel Framing Members\* — (Optional, Not Shown) — Furring channels and Steel Framing Members as described below: a. Furring Channels — Formed of No. 25 MSG galv steel. Spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18 AWG galvanized steel wire. Gypsum board attached to furring channels as described in Item 3.

b. Steel Framing Members\* — Used to attach furring channels (Item 6Ca) to studs. Clips spaced 48 in. OC., and secured to studs with No. 2 in. coarse drywall screw with 1 in. diam washer through the center hole. Furring channels are friction fitted into clips. TUDCO BUILDING SYSTEMS - RESILMOUNT Sound Isolation Clips - Type A237 or A237F

D. Steel Framing Members\* — (Optional, Not Shown) — Furring channels and Steel Framing Members as described below: a. Furring Channels — Formed of No. 25 MSG galv steel, spaced 24 in.

OC, and perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels overlapped 6 in. and secured in place with a double strand of No. 18 AWG twisted steel wire. Gypsum board attached to furring channels as described in Item 3. b. Steel Framing Members\* — Used to attach furring channels (Item

are friction fitted into clips. REGUPOL AMERICA - Type SonusClip

6E. Steel Framing Members\* — (Optional, Not Shown) — Resilient channels and Steel Framing Members as described below: a. **Resilient Channels** — Formed of No. 25 MSG galv steel, spaced 24 in. OC, and perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels overlapped 6 in. and secured in

place with two No. 8 15 x 1/2 in. Philips Modified Truss screws spaced 2-1/2 in. from the center of the overlap. Gypsum board attached to resilient channels as described in Item 3.

joint compound.

b. Steel Framing Members\* — Used to attach resilient channels (Item 6Ea) to studs. Clips spaced 48 in. OC., and secured to studs with No. 8 x 2-1/2 in. coarse drywall screw through the center hole. Resilient channels are secured to clips with one No. 10 x 1/2 in. pan-head selfdrilling screw. KEENE BUILDING PRODUCTS CO INC - Type RC+ Assurance Clip

7. Furring Channel — Optional — Not Shown — For use on one side of the wall - Resilient channels, 25 MSG galv steel, spaced vertically 24 in. OC, flange portion screw attached to one side of studs with 1-1/4 in. long diamond shaped point, double lead Phillips head steel screws. When resilient channels are used, insulation, Items 5C or 5D is required.

8. Caulking and Sealants — (Not Shown, Optional) — A bead of acoustical sealant applied around the partition perimeter for sound control.

9. **STC Rating** — The STC Rating of the wall assembly is 56 when it is constructed as described by Items 1 through 6, except:

A. Item 2, above — Nailheads Shall be covered with joint compound. B. Item 2, above — Joints As described, shall be covered with fiber tape and

C. Item 5, above — Batts and Blankets\* The cavities formed by the studs shall be friction fit with R-19 unfaced fiberglass insulation batts measuring 6-1/4 in. thick and 15-1/4 in. wide.

D. Item 6, above — Steel Framing Members\* Type RSIC-1 clips shall be used to attach gypsum board to studs on either side of the wall assembly.

E. Item 8, above — Caulking and Sealants (Not Shown) A bead of acoustical sealant shall be applied around the partition perimeter for sound control.

F. Steel Corner Fasteners (Item 4), Fiber, Sprayed (Items 5A and 5B) and Steel Framing Members (Item 6A), not evaluated as alternatives for obtaining STC

10. Wall and Partition Facings and Accessories\* — (Optional, Not Shown) - Nominal 1/2 in. thick, 4 ft wide panels, for optional use as an additional layer on one or both sides of the assembly. Panels attached in accordance with manufacturer's recommendations. When the QR-500 or QR-510 panel is installed between the wood framing and the UL Classified gypsum board, the required UL Classified gypsum board layer(s) is/are to be installed as indicated as to fastener type and spacing, except that the required fastener length shall be increased by a minimum of 1/2 in. Not evaluated or intended as a substitute for the required layer(s) of UL Classified Gypsum Board. PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM - Type QuietRock QR-500 and QR-510

11. Cementitious Backer Units\* — (Optional Item Not Shown — For Use On Face Of 1 Hr Systems With All Standard Items Required) - 7/16 in., 1/2 in., 5/8 in., 3/4 in. or 1 in. thick, min. 32 in. wide. Applied vertically or horizontally with vertical joints centered over studs. Fastened to studs and runners with cement board screws of adequate length to penetrate stud by a minimum of 3/8 in. for steel framing members, and a minimum of 3/4 in. for wood framing members spaced a max of 8 in. OC. When 4 ft. wide boards are used, horizontal joints need not be backed by framing. NATIONAL GYPSUM CO — Type DuraBacker, PermaBase, DuraBacker Plus, or PermaBase Plus

6Da) to studs. Clips spaced 48 in. OC., and secured to studs with No. 8 x 2-1/2 in. coarse drywall screw through the center hole. Furring channels

12. Non-Bearing Wall Partition Intersection — (Optional) — Two nominal 2 by 4 in. studs or nominal 2 by 6 in. studs nailed together with two 3 in. long 10d nails spaced a max. 16 in. OC. vertically and fastened to one side of the minimum 2 by 4 in. stud with 3 in. long 10d nails spaced a max. 16 in. OC. vertically. Intersection between partition wood studs to be flush with the 2 by 4 in. studs. The wall partition wood studs are to be framed by with a second 2 by 4 in. wood stud fastened with 3 in. long 10d nails spaced a max. 16 in. OC. vertically. Maximum one non-bearing wall partition intersection per stud cavity. Non-bearing wall partition stud depth shall be at a minimum equal to the depth of the bearing wall.

13. **Mesh Netting** — (Not Shown) — Any thin, woven or non-woven fibrous netting material attached with staples to the outer face of one row of studs to facilitate the installation of the sprayed fiber from the opposite row.

14. Mineral and Fiber Board\* — (Optional, Not Shown) — For optional use as an additional layer on one side of wall. Nom 1/2 in. thick, 4 ft wide with long dimension parallel and centered over studs. Attached to framing with 2 in. long Type W steel screws, spaced 12 in. OC. The required UL Classified gypsum board layer(s) is/are to be installed as indicated as to fastener type and spacing, except that the required fastener length shall be increased by a minimum of 1/2 in. Not evaluated or intended as a substitute for the required layer(s) of UL Classified Gypsum Board. HOMASOTE CO - Homasote Type 440-32

14A. Mineral and Fiber Board\* — (Optional, Not Shown) — For use with Items 14B-14E) — For optional use as an additional layer on one side of wall. Nom 1/2 in. thick, 4 ft wide with long dimension parallel and centered over studs. Attached to framing with minimum 1-3/8 in. long ring shanked nails or 1-1/4 in. long Type W steel screws, spaced 12 in. OC along board edges and 24 in. OC in field of board along intermediate framing. Not evaluated or intended as a substitute for the required layer(s) of UL Classified Gypsum Board.

HOMASOTE CO — Homasote Type 440-32

14B. Glass Fiber Insulation — (For use with Item 14A) — 3-1/2 in. thick glass fiber batts bearing the UL Classification Marking as to Surface Burning and/or Fire Resistance, placed to fill the interior of the wall. See Batts and Blankets (BKNV or BZJZ) categories for names of Classified companies.

14C. Batts and Blankets\* --- (As an alternate to Item 14B, For use with Item 14A), 3 in. thick mineral wool batts, placed to fill interior of wall, attached to the 3-1/2 in. face of the studs with staples placed 24 in. OC. THERMAFIBER INC - Type SAFB, SAFB FF

14D. **Adhesive** — (For use with Item 14A) — Construction grade adhesive applied in vertical, serpentine, nominal 3/8 in. wide beads down the length of both vertical edges of Mineral and Fiber Board (Item 14A).

14E. Gypsum Board\* — (For use with Item 14A) — 5/8 in. thick, 4 ft wide, applied vertically over Mineral and Fiber Board (Item 14A) with vertical ioints located anywhere over stud cavities. Secured to mineral and fiber boards with 1-1/2 in. Type G Screws spaced 8 in. OC along edges of each vertical joint and 12 in. OC in intermediate field of the Mineral and Fiber Board (Item 14A). Secured to outermost studs and bearing plates with 2 in. long Type S screws spaced 8 in. OC. Gypsum Board joints covered with paper tape and joint compound. Screw heads covered with joint compound. Finish Rating 30 Min. AMERICAN GYPSUM CO - Type AG-C

**CERTAINTEED GYPSUM INC** — Type FRPC, Type C, Type X-2

CGC INC - Types C, IP-X2, IPC-AR CONTINENTAL BUILDING PRODUCTS OPERATING CO, L L C - Type LGFC-C/A

GEORGIA-PACIFIC GYPSUM L L C - Types 5, DAPC, TG-C

NATIONAL GYPSUM CO - Types FSK-C, FSW-C

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM - Type PG-C

PANEL REY S A - Type PRC

THAI GYPSUM PRODUCTS PCL - Type 0

UNITED STATES GYPSUM CO - Types C, IP-X2, IPC-AR

USG BORAL DRYWALL SFZ LLC - Type C

USG MEXICO S A DE C V - Types C, IP-X2, IPC-AR

14F. Mineral and Fiber Board — (Optional, Not Shown) — For optional use as an additional layer on one side of wall - Nom 1/2 in. thick, 4 ft wide, square edge fiber boards applied vertically to studs on one side of the wall in between the wood studs and the UL Classified Gypsum Board (Item 3). Fiber boards installed with 1-1/4 in. long, Type W, bugle head, coarse thread gypsum board screws spaced 12 in. OC max, with the last screws spaced 2 in. and 6 in. from edge of board. Gypsum board (Item 3) installed as indicated as to fastener type and spacing, except that the required fastener length shall be increased by a minimum of 1/2 in. Not evaluated or intended as a substitute for the required layer(s) of UL Classified Gypsum Board. BLUE RIDGE FIBERBOARD INC - SoundStop

Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

Last Updated on 2019-01-22

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# **Kevisions:**

Date: Description:

# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. **Clarke Apartments** Residences, LLC

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Sheet Title: U.L. Assemblies, U305

Date: September 30, 2022



#### Design No. L546 June 11, 2021

Unrestrained Assembly Rating — 1 H Finish Rating — 24 or 25 Min (See Item 5) This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide <u>BXUV</u> or <u>BXUV7</u>

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.



#### . Flooring System — The flooring system shall consist of one of the following: System No. 1

Subflooring — Min 15/32 or 19/32 in. thick wood structural panels, min grade "C-D" or "Sheathing". Face grain of plywood or strength axis of panel to be perpendicular to trusses with joints staggered. Finish Flooring - Floor Topping Mixture\* — Min 3/4 thickness of floor topping mixture having a minimum compressive strength of 1500 psi. Refer to manufacturer's instructions accompanying the material for specific mix design.

MAXXON CORP — Types Maxxon Standard and Maxxon High Strength

#### Floor Mat Materials\* — (Optional) — Floor mat material loose laid over the subfloor. Refer to manufacturer's instructions regarding the ninimum thickness of floor topping over each floor mat material. MAXXON CORP — Type Encapsulated Sound Mat

Floor Mat Reinforcement — (Optional) Refer to manufacturer's instructions regarding minimum thickness of floor topping for use with floor mat reinforcement.

Metal Lath — (Optional) — 3/8 in. expanded galvanized steel diamond mesh, 3.4 lbs/sq yd loose laid over the floor mat material

Fiber Glass Reinforcement - (Optional, Not Shown) - 0.015 in. thick PVC coated non-woven fiberglass mesh, 0.368 lbs/sq yd loose laid over the floor mat material.

System No. 2 Subflooring — Min 1 by 6 in. T & G lumber fastened diagonally to joists, or min 15/32 in. thick plywood or min 7/16 in. thick oriented strand board (OSB) wood structural panels, min grade "C-D" or "Sheathing". Face grain of plywood or strength axis of panel to be perpendicular to trusses with joints staggered. Finish Floor — Mineral and Fiber Board\* — Min 1/2 in. thick, supplied in sizes ranging from 3 ft by 4 ft to 8 ft by 12 ft. All joints to be

taggered a min of 12 in. with adjacent sub-floor joints. HOMASOTE CO — Type 440-32 Mineral and Fiber Board

System No. 3 Subflooring — Min 15/32 in. thick wood structural panels, min grade "C-D" or "Sheathing". Face grain of plywood or strength axis of panels to be perpendicular to the trusses with joints staggered

Vapor Barrier — (Optional) — Nom 0.030 in thick commercial asphalt saturated felt.

Finish Flooring — Floor Topping Mixture\* — Min 1-1/2 in. thickness of floor topping mixture having a min compressive strength of 1000 psi and a cast density of 100 plus or minus 5 pcf. Foam concentrate mixed 40:1 by volume with water and expanded at 100 psi through nozzle. Mixture shall consist of 1.4 cu feet of preformed foam concentrate to 94 lbs Type I Portland cement, 300 lbs of sand with 5-1/2 gal of water. ELASTIZELL CORP OF AMERICA — Type FF

#### System No. 4 Subflooring — Min 15/32 or 19/32 in. thick wood structural panels, min grade C-D or Sheathing. Face grain of plywood or strength axis of panel to be perpendicular to trusses with joints staggered.

Vapor Barrier — (Optional) Nom 0.030 in. thick commercial asphalt saturated felt. Finish Flooring — Floor Topping Mixture\* — Min 3/4 in. thickness of floor topping mixture having a minimum compressive strength of 1500 psi. Refer to manufacturer's instructions accompanying the material for specific mix design.

FORMULATED MATERIALS LLC — Types FR-25, FR-30, and SiteMix Alternate Floor Mat Material\* - (Optional) Floor mat material nominal 2 - 9.5 mm thick loose laid over the subfloor. Floor topping thickness shall be a minimum of 3/4 in.

#### FORMULATED MATERIALS LLC — Types M1, M2, M3, Elite, Duo, R1, and R2

System No. 5 Subflooring — Min 15/32 in. thick wood structural panels, min grade "C-D" or "Sheathing". Face grain of plywood or strength axis of panel to be perpendicular to trusses with joints staggered Floor Mat Materials\* — (Optional) — Floor mat material nom 5/64 in. (2 mm) thick adhered to subfloor with Hacker Floor Primer. Primer to be applied to the surface of the mat prior to the placement of a min 1 in. of floor-topping mixture.

HACKER INDUSTRIES INC — Type Hacker Sound-Mat.

Alternate Floor Mat Materials — (Optional) — Floor mat material nom 1/4 in. (6 mm) thick adhered to subfloor with Hacker Floor Primer. Primer to be applied to the surface of the mat prior to the placement of a min 1-1/4 in. (32 mm) of floor-topping mixture HACKER INDUSTRIES INC — Type Hacker Sound-Mat II.

#### Alternate Floor Mat Materials — (Optional) — Floor mat material nom 1/8 in. (3mm) thick loose laid over the subfloor. Floor topping thickness shall be a min of 3/4 in. (19 mm) HACKER INDUSTRIES INC — FIRM-FILL SCM 125

Alternate Floor Mat Materials — (Optional) — Floor mat material nom 1/4 in. (6 mm) thick loose laid over the subfloor. Floor topping thickness shall be a min of 1 in. (25 mm) HACKER INDUSTRIES INC — Type FIRM-FILL SCM 250, Quiet Qurl 55/025

Alternate Floor Mat Materials — (Optional) — Floor mat material nom 3/8 in. (10 mm) thick loose laid over the subfloor. Floor topping thickness shall be a min of 1-1/4 in. (32mm)

HACKER INDUSTRIES INC - FIRM-FILL SCM 400, Quiet Qurl 60/04 Alternate Floor Mat Materials — (Optional) — Floor mat material nom 3/4 in. (19 mm) thick loose laid over the subfloor. Floor topping

thickness shall be a min of 1-1/2 in. (38mm) HACKER INDUSTRIES INC — Type FIRM-FILL SCM 750, Quiet Qurl 65/075

Metal Lath — (Optional) — For use with 3/8 in. (10 mm) floor mat materials, 3/8 in. expanded steel diamond mesh, 3.4 lbs/sq yd placed over the floor mat material. Hacker Floor Primer to be applied prior to the placement of the metal lath. When metal lath is used, floor topping thickness a nom 1-1/4 in. over the floor ma

Finish Flooring — Floor Topping Mixture\* — Min 3/4 in. thickness of floor topping mixture having a min compressive strength of 1100 psi. Mixture shall consist of 6.8 gal of water to 80 lbs of floor topping mixture to 1.9 cu ft of sand.

HACKER INDUSTRIES INC — Firm-Fill Gypsum Concrete, Firm-Fill 2010, Firm-Fill 3310, Firm-Fill 4010, Firm-Fill High Strength, Gyp-Span

System No. 6 Subflooring — Min 15/32 or 19/32 in. thick wood structural panels, min grade "C-D" or "Sheathing". Face grain of plywood or strength axis of panel to be perpendicular to trusses with joints staggered.

Vapor Barrier — (Optional) — Nom 0.030 in. thick commercial asphalt saturated felt. Finish Flooring — Floor Topping Mixture\* — Min 3/4 or 1 in. thickness of floor topping mixture for 19/32 or 15/32 in. thick wood structural

panels respectively, having a min compressive strength of 1000 psi. Refer to manufacturer's instructions accompanying the material for specific mix design. ARCOSA SPECIALTY MATERIALS — AccuCrete® Types NexGen, Green, Prime and PrePour, AccuRadiant®, AccuLevel® Types G40, G50 and

Alternate Floor Mat Material\* — (Optional) — Floor mat material nominal 2 - 9.5 mm thick loose laid over the subfloor. Floor topping shall be a min of 3/4 in. or 1 in. thickness of floor topping for 19/32 or 15/32 in. thick wood structural panels respectively. ARCOSA SPECIALTY MATERIALS — AccuQuiet® Types D13, D-18, D25, DX38, EM.125, EM.1255, EM.250, EM.2505, EM.375, EM.3755, EM.3750, E and EM.750S.

System No. 7 Subflooring - 15/32 or 19/32 in. thick wood structural panels, min. grade "C-D" or "Sheathing". Face grain of plywood or strength axis of

panels to be perpendicular to joists with joints staggered. Vapor Barrier — (Optional) — Commercial asphalt saturated felt 0.030 in. thick.

Finish Flooring — Floor Topping Mixture\* — Compressive strength to be 2100 psi min. Thickness to be 3/4 in. min for 19/32 in thick wood structural panels or 1 in. min. for 15/32 in thick wood structural panels. Refer to manufacturer's instructions accompanying the material for specific mix design.

System No. 8 Subflooring — Min 15/32 in. thick wood structural panels, min grade "C-D" or "Sheathing". Face grain of plywood or strength axis of panels to be perpendicular to the trusses with joints staggered

Vapor Barrier — (Optional) — Nom 0.010 in. thick commercial asphalt saturated felt. Finish Flooring — Floor Topping Mixture\* — Min 3/4 in. thickness of floor topping mixture having a minimum compressive strength of 1800 psi. Refer to manufacturer's instructions accompanying the material for specific mix design UNITED STATES GYPSUM CO — Types LRK, HSLRK, CSD

USG MEXICO S A DE C V — Types LRK, HSLRK, CSD

minimum thickness of floor topping over each floor mat material. UNITED STATES GYPSUM CO - Types SAM, LEVELROCK® Brand Sound Reduction Board, LEVELROCK® Brand Floor Underlayment SRM-25

Alternate Floor Mat Materials\* — (Optional) - Floor mat material loose laid over the subfloor. Refer to manufacturer's instructions regarding ninimum thickness of floor topping over floor mat. GRASSWORX L L C — SC Types

and No. 6d ringed shank nails spaced 12 in. OC along each truss. Staples having equal or greater withdrawal and lateral resistance strength

Gypsum Board\* — One layer of nom 5/8 in. thick, 4 ft wide gypsum board, installed with long dimension perpendicular to joists. Gypsum board secured with 1 in. long No. 6 Type W bugle head steel screws spaced 12 in. OC and located a min of 1-1/2 in. from side and end joints. The joints of the gypsum board are to be staggered a minimum of 12 inches from the joints of the subfloor.

GEORGIA-PACIFIC GYPSUM L L C — Type DS Floor Mat Materials\* — (As an alternate to the single layer gypsum board) — Floor mat material loose laid over the subfloor

MAXXON CORP — Type Encapsulated Sound Mat Sypsum Board\* — (For use when floor mat is used) Two layers of nom 5/8 in. thick, 4 ft wide gypsum board, installed with long dimensi perpendicular to joists on top of the floor mat material. Gypsum board secured to each other with 1 in. long No. 6 Type G bugle head steel screws spaced 12 in. OC and located a min of 1-1/2 in. from side and end joints. The joints of the gypsum board are to be staggered a

minimum of 12 inches in between layers and from the joints of the subfloor. GEORGIA-PACIFIC GYPSUM L L C — Type DS

Subflooring — Min 15/32 or 19/32 in. thick wood structural panels, min grade "C-D" or "Sheathing". Face grain of plywood or strength axis of panel to be perpendicular to trusses with joints staggered Vapor Barrier — (Optional) — Nom 0.030 in, thick commercial asphalt saturated felt. specific mix design.

DEPENDABLE LLC — GSL M3.4, GSL K2.6, GSL-CSD and GSL RH. Floor Mat Materials\* — (Optional) — Nom. 1/4 in. thick loose laid over the subfloor. Floor topping thickness shall be a minimum of 3/4 in

shall be a minimum of 1 in.

KEENE BUILDING PRODUCTS CO INC - Type Quiet Qurl 60/040 and Quiet Qurl 60/040 N

shall be a minimum of 1-1/2 in KEENE BUILDING PRODUCTS CO INC — Type Quiet Qurl 65/075, Quiet Qurl 65/075 N

Alternate Floor Mat Materials\* — (Optional) — Floor mat material Nom. 1/8 in. thick loose laid over the subfloor. Floor topping thickness shall be a minimum of 3/4 in.

KEENE BUILDING PRODUCTS CO INC - Type Quiet Qurl 52/013 and Quiet Qurl 52/013 N

the bottom loose laid over the subfloor. Floor topping thickness shall be a minimum of 1 in. KEENE BUILDING PRODUCTS CO INC — Quiet Qurl 55/025 MT and Quiet Qurl 55/025 N MT

strength axis of panel to be perpendicular to trusses with joints staggered. 4500 psi. Refer to manufacturer's instructions accompanying the material for specific mix design. SIKA DEUTSCHLAND GMBH — Type SCHONOX AP Rapid Plus

Subflooring — Min 15/32 or 19/32 in. thick wood structural panels, min grade "C-D" or "Sheathing". Face grain of plywood or strength axis of panel to be perpendicular to trusses with joints staggered

Vapor Barrier — (Optional) - Commercial asphalt saturated felt, 0.030 in. thick. Finish Flooring - Floor Topping Mixture\* — Min 3/4 in. thickness of any Floor Topping Mixture bearing the UL Classification

instructions regarding the minimum thickness of floor topping over each floor mat material. LOW & BONAR INC — EnkaSonic® by Colbond a member of the Low & Bonar group Types 125, 250, 250 Plus, 400, 400 Plus, 750, and 750

Floor Mat Reinforcement — (Optional) - Refer to manufacturer's instructions regarding minimum thickness of floor topping for

use with floor mat reinforcement.

#### the damper manufacturer

4. Ceiling Damper\* — (Optional. To be used with Air Duct Item 3) — For use with min 18 in. deep trusses. Max nom area shall be 324 sq in. Max square size shall be 18 in. by 18 in. Rectangular sizes not to exceed 324 sq in. with a max width of 18 in. Max height of damper shall be 14 in. Aggregate damper openings shall not exceed 162 sq in. per 100 sq ft of ceiling area. Damper installed in accordance with the manufacturers installation instructions provided with the damper. A steel grille (Item 9) shall be installed in accordance with installation instructions.

### POTTORFF — Model CFD-521

C&S AIR PRODUCTS — Model RD-521

4A. Alternate Ceiling Damper\* - For use with min 18 in. deep trusses. Max nom area shall be 196 sq in. Max square size shall be 14 in. by 14 in. Rectangular sizes not to exceed 196 sq in. with a max width of 26 in. Max height of damper shall be 7 in. Aggregate damper openings shall not exceed 98 sq in. per 100 sq ft of ceiling area. Damper installed in accordance with the manufacturers installation instructions provided with the damper. A steel grille (Item 9) not to exceed 144 in.<sup>2</sup> shall be installed in accordance with installation instructions. C&S AIR PRODUCTS - Model RD-521-BT

POTTORFF — Model CFD-521-BT.

installation instructions.

# C&S AIR PRODUCTS — Model RD-521-IP, RD-521-NP

POTTORFF — Models CFD-521-IP, CFD-521-NP 4C. Alternate Ceiling Damper\* — For use with min 18 in. deep trusses. Max nom area shall be 144 sq in. with the length not to exceed 14 in. and the width not to exceed 12 in. Max height of damper shall be 17-7/8 in. Aggregate damper openings shall not exceed 74 sq in. per 100 sq ft of ceiling area. Damper installed in accordance with the manufacturers installation instructions provided with the damper. A steel grille (Item 9) shall be installed in accordance with installation instructions. C&S AIR PRODUCTS — Model RD-521-90, RD-521-NP90

### POTTORFF --- Models CFD-521-90, CFD-521-90NP

4D. Alternate Ceiling Damper\* — For use with min. 18 in. deep trusses. Max. nom area shall be 349 sq in. Max. overall length and width shall not exceed 18-11/16 in. by 18-11/16 in. with max. 16 in. by 16 in. register opening. Aggregate damper openings shall not exceed 175 sq in. per 100 sq ft of ceiling area. Damper installed in accordance with the manufacturers installation instructions provided with the damper. An aluminum or steel grille (Item 9) shall be installed in accordance with installation instructions. MIAMI TECH INC — Model Series RxCRD, RxCRDS or RxCRPD

4E. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 75 sq in. with the length not to exceed 8-9/16 in. and the width not to exceed 8-3/4 in. Max height of damper shall be 9-7/8 in. Aggregate damper openings shall not exceed 38 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combination with one of the fan models described in, and in accordance with, the manufacturers installation instructions provided with the damper. A plastic grille (Item 9) shall be installed in accordance with installation instructions. DELTA ELECTRONICS INC — Models CRD2, GBR-CRD, ITG-CRD

4F. Alternate Ceiling Damper\* — For use with min 18 in. deep trusses. Max nom area shall be 324 sq in. Max square size shall be 18 in. by 18 in. Rectangular sizes not to exceed 324 sq in. with a max length of 20 in. and a max width of 22 in. Max height of damper shall be 14 in. Aggregate damper openings shall not exceed 154 sq in. per 100 sq ft of ceiling area. Damper installed in

Floor Mat Materials\* — (Optional) — Floor mat material loose laid over the subfloor. Refer to manufacturer's instructions regarding the

System No. 9 Subflooring — Min 23/32 in. thick T&G wood structural panels, min grade "Underlayment" or "Single-Floor". Face grain of plywood or strength axis of panels to be perpendicular to the trusses with end joints staggered 4 ft. Panels secured to trusses with construction adhesive

System No. 10

Finish Flooring — Floor Topping Mixture\* — Min 3/4 or 1 in. thickness of floor topping mixture for 19/32 or 15/32 in. thick wood structural panels respectively, having a min compressive strength of 1000 psi. Refer to manufacturer's instructions accompanying the material for

KEENE BUILDING PRODUCTS CO INC — Type Quiet Qurl 55/025 and Quiet Qurl 55/025 N

Alternate Floor Mat Materials\* — (Optional) — Floor mat material Nom, 3/8 in, thick loose laid over the subfloor. Floor topping thickness

Alternate Floor Mat Materials\* — (Optional) — Floor mat material Nom. 3/4 in. thick loose laid over the subfloor. Floor topping thickness

Alternate Floor Mat Materials\* — (Optional) — Floor mat material Nom, 1/4 in, entangled net core with a compressible fabric attached to

System No. 11 Subflooring — Min 15/32 or 19/32 in. thick wood structural panels, min grade "C-D" or "Sheathing". Face grain of plywood or

Finish Flooring - Floor Topping Mixture\* — Min 1 in. thickness of floor topping mixture having a min compressive strength of

System No. 12

Marking as to Fire Resistance. See Floor- and Roof-Topping Mixtures (CCOX) category for names of Classified Companies.

Floor Mat Materials\* ---- (Optional, Not Shown) - Floor mat material loose laid over the subfloor. Refer to manufacturer's

Metal Lath — (Optional) — Expanded steel diamond mesh, 2.5 lb / sq yd loose laid over floor mat material.

Fiberglass Mesh Reinforcement — (Optional) — Coated non-woven glass fiber mesh grid loose laid over floor mat material.

2. Trusses — Parallel chord trusses spaced a max of 24 in. OC fabricated from nom 2 by 4 lumber, with lumber oriented vertically or horizontally. Min truss depth is 12 in, when dampers are not used and 18 in, when dampers are used. Truss members secure ogether with min 0.036 in. thick galv steel plates. Plates have 5/16 in. long teeth projecting perpendicular to the plane of the plate. The teeth are in pairs facing each other (made by the same punch), forming a split tooth type plate. Each tooth has a chisel point on its outside edge with these points being diagonally opposite each other for each pair. The top half of each tooth has a twist for stiffness. The pairs are repeated on approximately 7/8 in. centers with four rows of teeth per inch of plate width.

3. Air Duct\* — (Optional) — Any UL Class 0 or Class 1 flexible air duct installed in accordance with the instructions provided by

4B. Alternate Ceiling Damper\* — (Optional. To be used with Air Duct Item 3) — For use with min 18 in. deep trusses. Max nom area shall be 256 sq in. with the length not to exceed 24 in. and the width not to exceed 20 in. Max height of damper shall be 17 in. Aggregate damper openings shall not exceed 128 sq in. per 100 sq ft of ceiling area. Damper installed in accordance with the manufacturers installation instructions provided with the damper. A steel grille (Item 9) shall be installed in accordance with

accordance with the manufacturer's installation instructions provided with the damper. An aluminum or steel grille (Item 9) shall be installed in accordance with installation instructions UNITED ENERTECH CORP — Type C-S/R-WT or C-S/R-WTP (Max nom area 324 sq. in.) or C-S/R-WTS or C-S/R-WTPS (Max nom area 162 sq.

4G. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 75 sq in. with the length not to exceed 9-1/4 in. and the width not to exceed 9-3/4 in. Max height of damper shall be 9-7/8 in. Aggregate damper openings shall not exceed 45 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combination with one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper A plastic grille (Item 9) shall be installed in accordance with installation instructions. DELTA ELECTRONICS INC — Model SIG-CRD

4H. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 131 sq in. with the length not to exceed 11-1/16 in. and the width not to exceed 11-7/8 in. Aggregate damper openings shall not exceed 66 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combination with one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper. A plastic grille (Item 9) shall be installed in accordance with installation instructions. DELTA ELECTRONICS INC — Model SMT-CRD

41. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 103 sq in. with the length not to exceed 10-1/8 in. and the width not to exceed 10-1/8 in. Aggregate damper openings shall not exceed 52 sq in, per 100 sq ft of ceiling area. Damper shall be installed in combination with one of the fan models described in. and in accordance with, the manufacturer's installation instructions provided with the damper. A plastic grille (Item 9) shall be installed in accordance with installation instructions PANASONIC CORPORATION, PANASONIC CORPORATION OF NORTH AMERICA — Model PC-RD05C5

4J. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 113 sq in. with the length not to exceed 10-1/8 in. and the width not to exceed 11-1/8 in. Aggregate damper openings shall not exceed 57 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combination with one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper. A plastic grille (Item 9) shall be installed in accordance with installation instructions. BROAN-NUTONE L L C — Model RDFUWT

4K. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 79 sq in. with the length not to exceed 10 in. and the width not to exceed 7-15/16 in. Aggregate damper openings shall not exceed 40 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combination with one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper. A metallic grille (Item 9) shall be installed in accordance with installation instruction BROAN-NUTONE L L C — Models RDJ1 and RDH

4L. Alternate Ceiling Damper\* - Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 87 sq in. with the length not to exceed 9 in. and the width not to exceed 9-11/16 in. Aggregate damper openings shall not exceed 44 sq in. per 100 sq ft of ceiling area. Damper shall be installed in combination with one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper. A plastic grille (Item 9) shall be installed in accordance with installation instructions. BROAN-NUTONE L L C — Model RDMWT

4M. Alternate Ceiling Damper\* — Ceiling damper & fan assembly for use with min 18 in. deep trusses. Max nom area shall be 87 sq in. with the length not to exceed 9 in. and the width not to exceed 9-11/16 in. Aggregate damper openings shall not exceed 44 so in, per 100 so ft of ceiling area. Damper shall be installed in combination with one of the fan models described in, and in accordance with, the manufacturer's installation instructions provided with the damper. A plastic grille (Item 9) shall be installed in accordance with installation instructions. BROAN-NUTONE L L C — Model RDMWT2

4N. Alternate Ceiling Damper\* - (Optional, To be used with Air Duct Item 3) - For use with min 18 in. deep trusses. Max nom

21 in. long by 18 in. wide, fabricated from galvanized steel. Plenum box max size nom 21 in. long by 18 in. wide by 14 in. high (inner dimension) fabricated from either galvanized steel or min 1 in. thick Listed Duct Board bearing the UL Listing Marking having a min R-Value of 4.3. Installed in accordance with the instructions provided by the manufacturer. Max damper openings not to exceed 180 sq in. per 100 sq ft of ceiling area. GREENHECK FAN CORP — Model CRD-1WT

40. Alternate Ceiling Damper\* — (Optional, To be used with Air Duct Item 3) — For use with min 18 in, deep trusses, Max nom 12 in. long by 12 in. wide with an 8 in. diameter damper, fabricated from galvanized steel. Installed in accordance with the instructions provided by the manufacturer. Max damper openings not to exceed 72 sq in. per 100 sq ft of ceiling area. . GREENHECK FAN CORP - Model CRD-2WT

4P. Alternate Ceiling Damper\* - (Optional. To be used with Air Duct, Item 3) - For use with min 18 in. deep trusses. Max nom 18 in. long by 18 in. wide, fabricated from galvanized steel. Installed in accordance with the instructions provided by the nanufacturer. Max damper openings not to exceed 162 sq in. per 100 sq ft of ceiling area. RUSKIN COMPANY — Model CFD7T, CFD7T-END-BT, CFD7T-90-BT, CFD7T-ST-BT, CFD7T-SB or CFD7T-R6-DB

4Q. Alternate Ceiling Damper\* — (Optional. To be used with Air Duct, Item 3) — For use with min 18 in. deep trusses. Max 8 in. diameter damper, fabricated from galvanized steel. Installed in accordance with the instructions provided by the manufacturer. Nax damper openings not to exceed 25 sq in. per 100 sq ft of ceiling area. RUSKIN COMPANY - Model CFDR71

4R. Alternate Ceiling Damper\* — (Optional, to be used with Air Duct Item 3) For use with min 18 in. deep trusses. Max nom 11-1/8 in. long by 13-5/8 in. wide, fabricated from galvanized steel. Installed in accordance with the instructions provided by the manufacturer. Max damper openings not to exceed 76 sq in. per 100 sq ft of ceiling area. GREENHECK FAN CORP — Model CRD-310WT

4S. Damper\* - (Optional, to be used with Air Duct Item 3) For use with min 18 in. deep trusses. Max nom 12-3/8 in. long by 14-1/2 in. wide, fabricated from galvanized steel. Installed in accordance with the instructions provided by the manufacturer. Max damper openings not to exceed 90 sq in. per 100 sq ft of ceiling area. GREENHECK FAN CORP — Model CRD-320WT

4T. Alternate Ceiling Damper\* — (Optional, to be used with Air Duct Item 3) For use with min 18 in. deep trusses. Max 12 in. diameter damper within max 15 in. by 15 in. register box with max 12 in. by 12 in. register opening fabricated from galvanized el. Aggregate area of the register opening(s) through the ceiling membrane shall not exceed 72 sq. in. per 100 sq. ft. of ceiling area. Damper assembly installed in accordance with the manufacturer's installation instructions. RUSKIN COMPANY — Model CFD7T-SR

5. Batts and Blankets\* — (Optional with Items 7 and 7B; Required with Item 7A) — Glass fiber or mineral wool insulation bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance. When the resilient channels (Item 6) or furring channels (Item 6A) are spaced 16 in. OC, the insulation shall be a max of 3-1/2 in. thick, and shall be secured against the subflooring with staples at 12 in. OC or held suspended in the concealed space with 0.090 in. diam galv steel wires attached to the wood trusses at 12 in. OC. When the resilient channels (Item 6) or furring channels (Item 6A) are spaced a max of 12 in. OC or when the Steel Framing Members (Item 6B) are used, there is no limit in the overall thickness of insulation, and the insulation can be secured against the subflooring, held suspended in the concealed space or draped over the resilient or furring channels (or Steel Framing Members) and gypsum panel membrane. When **Steel Framing Members** (Item 6C) are used, max 3-1/2 in. thick insulation shall be draped over the furring channels (Item 6Ca) and gypsum board ceiling membrane, and friction-fitted between trusses and Steel Framing Members (Item 6Cd). The finished rating has only been determined when the insulation is secured to the subflooring.

5A. Fiber, Sprayed\* — (Dry Dense Packed 100% Borate Formulation) — As an alternate to Item 5 — When used, the resilient channel and gypsum board attachment is modified as specified in Items 6 and 7 and wire mesh (Item 10) shall be attached to the furring channels to facilitate installation of the material. The finished rating when Fiber, Sprayed is used has not been determined. The fiber is applied without water or adhesive at a nominal dry density of 3.5 lb/ft<sup>3</sup>, in accordance with the application instructions supplied with the product. When Item 5A (Fiber, Sprayed) is used, two layers of gypsum board required as described in Item 7. Not evaluated for use with Items 6B, 6C or 6D.

U S GREENFIBER L L C — INS735. INS745. INS750LD. INS765LD. INS773LD. & SANCTUARY to be used with dry application only.

5B. Fiber, Sprayed\* — (Loose Fill 100% Borate Formulation) — As an alternate to Items 5 and 5A — The finished rating when Fiber, Sprayed is used has not been determined. The fiber is applied without water or adhesive at a minimum dry density of 0.5 lb/ft<sup>3</sup> and at a max thickness of 3-1/2 in., in accordance with the application instructions supplied with the product. Wire mesh (Item 10) shall be attached to the furring channels to facilitate installation of the material. When Item 5B (Fiber, Sprayed) is used, two layers of gypsum board required as described in Item 7. Not evaluated for use with Items 6B, 6C or 6D. US GREENFIBER L L C --- INS735, INS745, INS750LD, INS765LD, INS773LD, & SANCTUARY to be used with dry application only.

5C. Cavity Insulation - Batts and Blankets\* or Fiber, Sprayed\* --- (Required for Item 7C, As described above in Items 5 through 5B) — Min. 3-1/2 in thick with no limit on maximum thickness fitted in the concealed space, draped over the resilient channel (Item 6I)/gypsum board (Item 7C) ceiling membrane.

6. Resilient Channels — Resilient channels, formed of 25 MSG thick galv steel, spaced 16 in. OC perpendicular to trusses. When insulation (Items 5, 5A, 5B) is draped over the resilient channel/gypsum board ceiling membrane, the spacing shall be reduced to 12 in. OC. Channels secured to each truss with 1-1/4 in. long Type S bugle head steel screws. Channels overlapped 4 in. at splices. Two channels, spaced 6 in OC, oriented opposite each gypsum board end joint as shown in the above illustration. Additional channels shall extend 6 in beyond each side edge of board.

6A. Steel Framing Members\* — (Not Shown) — As an alternate to Item 6, furring channels and Steel Framing Members\* as described below a. Furring Channels - Formed of No. 25 MSG galv steel, 2-9/16 in. or 2-23/32 in. wide by 7/8 in. deep, spaced 16 in. OC perpendicular to trusses. When batt insulation (Items 5) is draped over the resilient channel/gypsum board ceiling membrane, the resilient channel spacing shall be reduced to 12 in. OC. Channels secured to trusses as described in Item b. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18 SWG galv steel wire near each end of overlap.

b. Steel Framing Members\* — Used to attach furring channels (Item a) to trusses (Item 2). Clips spaced 48 in. OC. RSIC-1 and RSIC-1 (2.75) clips secured to alternating trusses with No. 8 x 2-1/2 in. coarse drywall screw through the center grommet. RSIC-Si-X secured with No. 10 x 3-1/2 in. screws. RSIC-V and RSIC-V (2.75) clips secured to alternating trusses with No. 8 x 1-1/2 in. coarse drywall screw through the center hole. Furring channels are friction fitted into clips. RSIC-1, RSIC-Si-X, and RSIC-V clips for use with 2-9/16 in. wide furring channels. RSIC-1 (2.75) and RSIC-V (2.75) clips for use with 2-23/32 in. wide furring channels. Adjoining channels are overlapped as described in Item a. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two self-tapping No. 6 framing screws, min 7/16 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Additional clips required to hold furring channel that supports the gypsum board butt joints, as described in Item 7.

PAC INTERNATIONAL L L C — Types RSIC-1, RSIC-V, RSIC-Si-X, RSIC-1 (2.75), RSIC-V (2.75).

6B. Alternate Steel Framing Members — (Not Shown) — As an alternate to Items 6 and 6A, main runners, cross tees, cross channels and wall angle as listed below. a. Main Runners — Nom 10 or 12 ft long, 15/16 in. or 1-1/2 in. wide face, spaced 4 ft. OC. Main runners suspended by min 12 SWG galv steel hanger wires spaced 48 in. OC. Hanger wires to be located adjacent to main runner/cross tee intersections. Hanger wires wrapped and twist-tied on 16d nails driven in to side of trusses at least 5 in. above the bottom face.

p. Cross Tees or Channels — Nom 4 ft long cross tees, with 15/16 in. or 1-1/2 in. wide face, or nom 4 ft long cross channels, with -1/2 in. wide face, either spaced 16 in. OC, installed perpendicular to the main runners. Additional cross tees or channels used 8 in. from each side of butted gypsum board end joints. The cross tees or channels may be riveted or screw-attached to the wall angle or channel to facilitate the ceiling installation

c. Wall Angle or Channel — Painted or galv steel angle with 1 in. legs or channel with 1 in. legs, 1-9/16 in. deep attached to walls at perimeter of ceiling with fasteners 16 in. OC. To support steel framing member ends and for screw-attachment of the gypsum CGC INC — Type DGL or RX.

**USG INTERIORS LLC** — Type DGL or RX.

6C. Steel Framing Members\* — (Not Shown) — As an alternate to Items 6, 6A and 6B. a. Furring Channels — Hat-shaped furring channels, 7/8 in. deep by 2-5/8 in. wide at the base and 1-1/4 in. wide at the face, formed from No. 25 ga. galv steel, spaced max. 16 in. OC perpendicular to trusses and Cold Rolled Channels (Item 6Cb). Furring channels secured to Cold Rolled Channels at every intersection with a 1/2 in. pan head self-drilling screw through each furring channel leg. Ends of adjoining channels overlapped 4 in. and tied together with two double strand No. 18 SWG galv steel wire ties, one at each end of overlap. Supplemental furring channels at base layer and outer layer gypsum board butt joints are not required. Batts and Blankets draped over furring channels as described in Item 5. Two layers of gypsum board attached to furring channels as described in Item 7.

b. Cold Rolled Channels — 1-1/2 in. by 1/2 in., formed from No. 16 ga. galv steel, positioned vertically and parallel to trusses, friction-fitted into the channel caddy on the Steel Framing Members (Item 6Cd). Adjoining lengths of cold rolled channels lapped min. 6 in. and wire-tied together with two double strand 18 SWG galv steel wire ties, one at each end of overlap.

c. Blocking — Where truss design does not permit direct, full contact of the hanger bracket, a piece of nominal 2 by 4 in. lumbe (blocking), min 6 in long to permit full contact of the hanger bracket, to be secured vertically to the side of the truss (Item 2) at the top and bottom of the blocking at each Steel Framing Member (Item 6Cd) location.

trusses with a single 5/16 in. by 2 in. hex head lag bolt or four #6 1-1/4 in. drywall screws through mounting hole(s) on the hanger bracket. The two 1/4 in. long steel teeth on the hanger are embedded in the side of the blocking. Hanger positioned on blocking and leveling bolt height adjusted such that furring channels are flush with bottom of trusses before gypsum board installation. Spring gauge of hanger chosen per manufacturer\'s instructions. KINETICS NOISE CONTROL INC — Type ICW.

6D. Steel Framing Members\* — (Not Shown) — As an alternate to Items 6, 6A, 6B and 6C. a. Furring Channels - Formed of No. 25 MSG galv steel, 2-3/8 in. wide by 7/8 in. deep, spaced 16 in. OC perpendicular to wood structural members. When insulation, Items 5 or 5A is applied over the furring channel/gypsum panel ceiling membrane, the furring channel spacing shall be reduced to 12 in. OC. Channels secured to trusses as described in Item b. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18 AWG galv steel wire near each end of overlap.

b. Steel Framing Members\* — Used to attach furring channels (Item a) to trusses (Item 2). Clips spaced 48 in. OC, and secured to the bottom chord of alternating trusses with two No. 8 x 2-1/2 in. course drywall screws, one through the hole at each end of the clip. When insulation, Items 5 or 5A is applied over the furring channel/gypsum panel ceiling membrane, the clip spacing shall be reduced to 24 in. OC and secured to consecutive trusses. Furring channels are friction fitted into clips. Adjoining channels are overlapped as described in Item a. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two self-tapping No. 6 framing screws, min 7/16 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Additional clips required to hold furring channel that supports the gypsum board butt joints, as described in Item 7. Two layers of gypsum board required as described in Item 7. Not evaluated for use with Item 5B. KINETICS NOISE CONTROL INC — Type Isomax.

6E. Steel Framing Members\* — (Optional, Not Shown) — Used as an alternate method to attach min. 1/2 in. deep resilient channels (Item 6) to wood trusses (Item 2). Resilient channels are friction fitted into clips, and then clips are secured to the bottom chord of each wood truss with a min. 1-3/4 in. long Type S bugle head steel screw through the center hole of the clip and the resilient channel flange. Adjoining resilient channels are overlapped 4 in. under trusses. The clip flange is opened slightly to accommodate the two overlapped channels. Additional clips required to hold resilient channel that supports the gypsum board butt joints, as described in Item 7. **KEENE BUILDING PRODUCTS CO INC** — Type RC Assurance.

6F. Steel Framing Members — (Not Shown) — As an alternate to Item 6, furring channels and Steel Framing Members\* as described below a. Furring Channels — Formed of No. 25 MSG galv steel, 2-3/8 in. wide by 7/8 in. deep, spaced 16 in. OC perpendicular to trusses. When batt insulation (Items 5) is draped over the resilient channel/gypsum board ceiling membrane, the resilient channel spacing shall be reduced to 12 in. OC. Channels secured to trusses as described in Item b. Ends of adjoining channels overlapped 6 in. and

tied together with double strand of No. 18 SWG galv steel wire near each end of overlap.

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b. Steel Framing Members\* — Used to attach furring channels (Item a) to trusses (Item 2). Clips spaced 48 in. OC. GenieClips secured to alternating joists with No. 8 x 2-1/2 in. coarse drywall screw through the center grommet. When insulation, Items 5 is applied over the furring channel/gypsum panel ceiling membrane, the clip spacing shall be reduced to 24 in. OC and secured to consecutive trusses. Furring channels are friction fitted into clips. Adjoining channels are overlapped as described in Item a. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two self-tapping No. 6 framing screws, min 7/16 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Additional clips required to hold furring channel that supports the gypsum board butt joints, as described in Item 7. Not evaluated for use with Item 5A or 5B. PLITEQ INC — Type GENIECLIP

6G. Alternate Steel Framing Members\* — (Not Shown) — As an alternate to items 6-6F, furring channels and Steel Framing Members as described below. a. Furring Channels — Formed of No. 25 MSG galv steel, 2-5/8 in. wide by 7/8 in deep, spaced 16 in OC, perpendicular to trusses. When batt insulation (Items 5) is draped over the resilient channel/gypsum board ceiling membrane, the resilient channel spacing

shall be reduced to 12 in. OC. Channels secured to trusses as described in Item b.

b. Steel Framing Members\* — Used to attach furring channels (Item a) to trusses (Item 2). Clips spaced at 48" OC and secured to the bottom of the joists with one 2 in. Coarse Drywall Screw with 1 in. diam washer through the center hole. Furring channels are then friction fitted into clips. Ends of channels are overlapped 6" and tied together with double strand of No. 18 AWG galvanized steel wire Additional clips are required to hold the Gypsum Butt joints as described in item 7B. STUDCO BUILDING SYSTEMS — RESILMOUNT Sound Isolation Clips - Type A237 or A237R

6H. Alternate Steel Framing Members\* — (Not Shown) — As an alternate to items 6-6G, furring channels and Steel Framing Members as described below. a. Furring Channels — Formed of No. 25 MSG galv steel, 2-1/2 in. wide by 7/8 in deep, spaced 16 in OC, perpendicular to trusses. When batt insulation (Items 5) is draped over the resilient channel/gypsum board ceiling membrane, the resilient channel spacing

shall be reduced to 12 in. OC. Channels secured to trusses as described in Item b.

b. Steel Framing Members\* — Used to attach furring channels (Item a) to trusses (Item 2). Clips spaced at 48" OC and secured to the bottom of the trusses with one 2-1/2 in. Coarse Drywall Screw with 1 in. diam washer through the center hole. Furring channels are then friction fitted into clips. Ends of channels are overlapped 6" and tied together with double strand of No. 18 AWG galvanized steel wire Additional clips are required to hold the Gypsum Butt joints as described in item 7B. REGUPOL AMERICA — Type SonusClip

spaced 16 in. OC. Channels secured to each truss with 1-5/8 in. long Type S bugle head steel screws. Channels overlapped 4 in. at splices. Two channels, spaced 6 in. OC, oriented opposite each gypsum panel end joint. Additional channels shall extend min 6 in. beyond each side edge of panel. Insulation, Item 5C is applied over the resilient channel/gypsum panel ceiling membrane.

6J. Steel Framing Members\* — (Optional, Not Shown) — As an alternate to Item 6. a. Furring Channels — Formed of No. 25 MSG galv steel, nominal 2-1/2 in. wide by 7/8 in. deep, spaced as indicated in Item 6, perpendicular to the trusses. Channels secured to Cold Rolled Channels at every intersection with a 3/4 in. TEK screw through each furring channel leg. Ends of adjoining channels overlapped 12 in. and fastened together with two double strand No. 18 SWG galv steel wire ties. one at each end of overlap, or with two 3/4 in. TEK screws in each leg of the overlap section. Two furring channels

b. Cold Rolled Channels — 1-1/2 in. by 1/2 in., formed from No. 16 ga. galv steel, positioned vertically and parallel to trusses, ction-fitted into the channel caddy on the Steel Framing Members (Item 6Jd) and secured with two 3/4 in. TEK screws. Adjoining lengths of cold rolled channels lapped min. 12 in. and secured along bottom legs with four 3/4 in. TEK screws and wire-tied together with two double strand 18 SWG galv steel wire ties, one at each end of overlap

c. Blocking — Where truss design does not permit direct, full contact of the hanger bracket, a piece of nominal 2 by 4 in. lumber (blocking), min. 12 in. long to permit full contact of the hanger bracket, to be secured vertically to the side of the trusses at the top and bottom of the blocking at each Steel Framing Member (Item 6Jd) location with 16d nails or minimum 2-1/2 in. screws. d. Steel Framing Members\* — Spaced 48 in. OC. max along truss, and secured to the truss on alternating trusses with two, #10 x 1-1/2 in.

screws through mounting holes on the hanger bracket PAC INTERNATIONAL L L C — Type RSIC-SI-CRC EZ Clip

6K. Steel Framing Members\* — (Not Shown) — As an alternate to Item 6. a. Furring Channels — Formed of No. 25 MSG galv steel, nominal 2-1/2 in. wide by 7/8 in. deep, spaced as indicated in Item 6 perpendicular to trusses and friction fit into Steel Framing Members (Item 6Kc). Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18 SWG galv steel wire near each end of overlap or with two TEK screws along each leg of the 6 in. overlap. Two furring channels used at end joints of gypsum board (Item 7). Butt joint channels held in place by strong back channels placed upside down, on top of, and running perpendicular to primary furring channels, extending 6 in. longer than length of gypsum side joint. Strong back channels spaced maximum 48 in. OC. Strong back channels secured to every intersection of primary furring channels with four 7/16 in. pan head screws, two along each of the legs at intersections. Butt joint channels run perpendicular to strong back channels and shall be minimum 6 in. longer than length of joint, secured to strong back channels with 7/16 in. pan head screws, two along each of the legs at intersection with strong back channels.

b. Blocking — Where truss design does not permit direct, full contact of the hanger bracket, a piece of nominal 2 by 4 in. lumber (blocking), min, 12 in, long to permit full contact of the hanger bracket, to be secured vertically to the side of the trusses at the top and bottom of the blocking at each Steel Framing Member (Item 6Kc) location with 16d nails or minimum 2-1/2 in. screws.

c. Steel Framing Members\* — Used to attach furring channels (Item 6Ka) to trusses. Clips spaced 48 in. OC and secured along truss webs at each furring channel intersection with min. 3/4 in. long self-drilling #10 x 1-1/2 in. screws through each of the provided hole locations. Furring channels are friction fitted into clips. PAC INTERNATIONAL L L C — Type RSIC-S1-1 Ultra

6L. Steel Framing Members\* — (Optional - Not Shown) — Used to attach resilient channels (Item 6) to trusses (Item 2). Clips spaced 48 in. OC and secured to trusses with one No. 8 x 2-1/2 in. coarse drywall screw through center grommet hole. Channels secured to clips with one #10 x 1/2 in. pan-head self-drilling screw. Ends of adjoining channels overlapped 6 in. and secured together with two #8 15 x 1/2 in. Philips Modified screws spaced 2-1/2 in. from the center of the overlap. Gypsum board butt joints require additional resilient channels spaced 1-1/2 in. from the butt joint on either side. One edge of the extra channels will extend to an adjacent truss where it is secured with a clip. KEENE BUILDING PRODUCTS CO INC — Type RC+ Assurance Clip

6M. Steel Framing Members\* — (Optional, Not Shown) — Used as an alternate method to attach resilient channels to structural members. A resilient sound isolation accessory shall be used at each attachment point of the resilient channels and spaced max 24 in, O.C. Channel ends butted and centered under the structural members and attached with one accessory at each end. Additional accessories used to hold resilient channels that support the gypsum board end joints. The accessory envelops the mounting edge of the resilient channel. The accessory and resilient channel are fastened to the structural members with the screws supplied with the accessory and per the accessory manufacturer's installation instructions. Gypsum Board butt joints staggered minimum 24 in. OC and Gypsum Board screws spaced 8 in. OC when used. PAC INTERNATIONAL L L C — Type RC-1 Boost

6N. Resilient Channels — For use with American Gypsum Co. Type AG-C gypsum board only. Resilient channels, formed of 25 MSG thick galv steel, spaced 16 in. OC perpendicular to trusses. When insulation (Items 5, 5A, 5B) is applied over the resilient hannel/gypsum board ceiling membrane, the spacing may remain at 16 in. OC. Channels secured to each truss with 1-1/4 in. long Type S bugle head steel screws. Channels overlapped 4 in. at splices. Two channels, spaced 6 in OC, oriented opposite each gypsum board end joint as shown in the above illustration. Additional channels shall extend 6 in beyond each side edge of board.

7. Gypsum Board\* — Nom 5/8 in. thick, 48 in. wide gypsum board. When resilient channels (Item 6) are used, gypsum board installed with long dimension perpendicular to resilient channels. Gypsum board secured with 1 in. long Type S bugle head screws spaced 12 in. OC and located a min of 1/2 in. from side joints and 3 in. from end joints. End joints secured to both resilient channels as shown in end joint detail. When batt insulation (Item 5) is draped over the resilient channel/gypsum board ceiling membrane, screws spacing shall be 8 in. OC. When Steel Framing Members\* (Item 6A, 6F) are used, gypsum board installed with long dimension perpendicular to furring channels and side joints of sheet located beneath joists. Gypsum board secured to furring channels with 1 in. long Type S bugle head screws spaced 12 in. OC in the field. Butted end joints shall be staggered min 2 ft within the assembly, and occur between the continuous furring channels. At butted end joints, each end of each gypsum board shall be supported by a single length of furring channel equal to the width of the gypsum board plus 6 in. on each end. The two

d. Steel Framing Members\* — Hangers spaced 48 in. OC. max along truss, and secured to the Blocking (Item 6Cc) on alternating

https://iq.ulprospector.com/en/profile

61. Resilient Channels - For Use With Item 7C - Formed from min 25 MSG galv. steel installed perpendicular to trusses and

used at end joints of gypsum board (Item 7), each extending a min of 6 in. beyond both side edges of the board.

furring channels shall be spaced approximately 3-1/2 in. OC and be attached to underside of the joist with one clip at each end of the channel. Screw spacing along the end joint shall be 8 in. OC. When Steel Framing Members (Item 6J) are used, nom 5/8 in. thick, 4 ft wide gypsum board, installed as described in Item 7. Adjacent butt joints staggered minimum 48 in. OC. When Steel Framing Members (Item 6K) are used, nom 5/8 in. thick, 4 ft wide gypsum board, installed as described in Item 7. Butt joints

staggered minimum 24 in, OC AMERICAN GYPSUM CO — Type AG-C

CGC INC — Types C, IP-X2, IPC-AR

CERTAINTEED GYPSUM INC — Type LGFC-C/A

GEORGIA-PACIFIC GYPSUM L L C — Types 5, DAPC, TG-C

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type C

UNITED STATES GYPSUM CO — Types C, IP-X2, IPC-AR **USG BORAL DRYWALL SFZ LLC** — Type C

USG MEXICO S A DE C V — Types C, IP-X2, IPC-AR

7A. Gypsum Board\* — Nom 5/8 in. thick, 48 in. wide gypsum board, installed with long dimension perpendicular to resilient channels. Gypsum board secured with 1-1/8 in. long Type S bugle head screws spaced 8 in. OC and located a min of 1/2 in. from side joints and 3 in. from the end joints. End joints secured to both resilient channels as shown in end joint detail. When Item 7A is used, the insulation must be used and must be draped over the resilient channel/gypsum board. NATIONAL GYPSUM CO — Types eXP-C, FSW-G, FSW-C, FSK-G, FSK-C

7B. Gypsum Board\* — Nom 5/8 in. thick, 48 in. wide gypsum panels. When resilient channels (Item 6) are used, gypsum panels installed with long dimension perpendicular to resilient channels. Gypsum panels secured with 1 in. long Type S bugle head steel screws spaced 12 in. OC and located a min of 1/2 in. from side joints and 3 in. from the end joints. When insulation (Items 5 or 5A) is applied over the resilient channel/gypsum panel ceiling membrane screw spacing shall be reduced to 8 in. OC. End joints secured to both resilient channels as shown in end joint detail. When Steel Framing Members (Item 6A) are used, gypsum panels installed with long dimensions perpendicular to furring channels. Panels attached to the furring channels using 1 in. long Type S bugle-head steel screws spaced 8 in. OC along butted end joints and in the field of the panel. Butted end joints shall be staggered min. 2 ft within the assembly, and occur midway between the continuous furring channels. Each end of each gypsum panel shall be supported by a single length of furring channel equal to the width of the gypsum panel plus 6 in. on each end. The two support furring channels shall be spaced approximately 3-1/2 in. OC, and be attached to underside of the truss with one clip at each end of the channel. When **Steel Framing Members\*** (Item 6B) are used, gypsum panels installed with long dimension perpendicular to cross tees with side joints centered along main runners and end joints centered along cross tees. Panels fastened to cross tees with 1 in. long . Type S bugle-head screws spaced in the field and 8 in. OC along end joints. Panels fastened to main runners with in. long . Type S bugle-head screws spaced midway between cross tees. Screws along sides and ends of panels spaced 3/8 to 1/2 in. from panel edge. End joints of panels shall be staggered with spacing between joints on adjacent panels not less than 4 2 ft OC. When Fiber, Sprayed (Items 5A or 5B) is used, two layers of nom 5/8 in. thick, 4 ft wide gypsum board are installed with long dimensions perpendicular to furring channels. Base layer gypsum board secured with 1 in. long Type S bugle head steel screws spaced 12 in. OC and located a min of 1/2 in. from side joints and 3 in. from the end joints. End joints secured to both resilient channels as shown in end joint detail. Outer layer gypsum board secured with 1-5/8 in. long Type S bugle head steel screws spaced 12 in. OC and located a min of 1/2 in. from side joints and 3 in. from the end joints. Outer layer shall be finished as described in Item 8. When both Steel Framing Members (Item 6A) and Fiber, Sprayed (Items 5A or 5B) are used, furring channels spaced 12 in. OC and two layers of nom 5/8 in. thick, 4 ft wide gypsum board are installed with long dimension perpendicular to furring channels. Base layer secured to furring channels with nom 1 in. long Type S bugle head screws spaced 8 in. OC along

butted end joints and in the field of the board. Butted end joints shall be staggered min. 2 ft within the assembly, and occur midway between the continuous furring channels. Each end of each gypsum board shall be supported by a single length of furring channel equal to the width of the gypsum board plus 6 in. on each end. The two support furring channels shall be spaced approximately 3-1/2 in. OC, and be attached to the underside of the truss with one clip at each end of the channel. Outer layer secured to furring channels using 1-5/8 in. long Type S screws spaced 8 in. OC and 1-1/2 in. from the end joint. Butted end joints to be offset a min. of 8 in. from base layer end joints. Butted side joints of outer layer to be offset min. 18 in. from butted side joints of base layer. When Steel Framing Members (Item 6C) are used, two layers of nom 5/8 in. thick, 4 ft wide gypsum board are installed with long dimensions perpendicular to furring channels (Item 6Ca). Base layer attached to the furring channels using 1 in. long Type S bugle head steel screws spaced 8 in. OC along butted end joints and 12 in. OC in the field of the board. Butted end joints centered on the continuous furring channels. Butted base layer end joints to be offset a min of 16 in. in adjacent courses. Outer layer attached to the furring channels using 1-5/8 in. long Type S bugle head steel screws spaced 8 in. OC at butted end joints and 12 in. OC in the field. Butted end joints centered on the continuous furring channels and offset a min of 16 in. from butted end joints of base layer. Butted side joints of outer layer to be offset min 16 in. from butted side joints of base layer. When Steel Framing Members (Item 6D) are used, two layers of nom 5/8 in. thick, 4 ft wide gypsum board are installed with long dimensions perpendicular to furring channels. Base layer attached to the furring channels using 1 in. long Type S bugle-head steel screws spaced 12 in. OC in the field of the board. Butted end joints shall be staggered min 2 ft. within the assembly, and occur midway between the continuous furring channels. Each end of each gypsum board shall be supported by a single length of furring channel equal to the width of the gypsum board plus 6 in. on each end. The two furring channels shall be spaced approximately 4 in. OC, and be attached to underside of the truss with one Isomax clip at each end of the channel. Screw spacing along the gypsum board butt joint shall be 8 in. OC. Outer layer attached to the furring channels using 1-5/8 in. long Type S bugle-head steel screws spaced 12 in. OC in the field. The end of the outer layer boards at the butt joint shall be attached to the base layer boards with 1-5/8 in. long Type G screws spaced 8 in. OC and 1-1/2 in. from the end joint. Butted end joints to be offset a min of 8 in. from base layer end joints. Butted side joints of outer layer to be offset min 18 in. from butted side joints of base layer. Outer laver shall be finished as described in Item 8. When Steel Framing Members (Item 6F) are used, two lavers of nom 5/8 in, thick, 4 ft wide are installed with long dimensions perpendicular to furring channels. Gypsum board secured to furring channels using 1 in. long No. 6 Type S bugle-head steel screws spaced 12 in. OC in the field of the board. Butted end joints shall be staggered minimum 2 ft. within the assembly. Additional furring channels constructed as per Item 6F shall be used to support each end of each gypsum board. These additional furring channels shall be attached to underside of the truss with Genie clips as described in Item 6F. Screw spacing along the gypsum board butt joint shall be 8 in. OC. Outer layer attached to the furring channels using 1-5/8 in. long No. 6 Type S bugle-head steel screws spaced 12 in. OC in the field. The outer layer boards at the butt joint shall be attached to the base layer boards with No. 10, 1-1/2 in. long drywall screws spaced 8 in. OC and 1-1/2 in. from the end joint. Butted end joints to be offset a min of 24 in, from base layer end joints. Butted side joints of outer layer to be offset min 16 in. from butted side joints of base layer. When Steel Framing Members (Item 6G) are used, one layer of nom 5/8 in. thick, 4 ft wide gypsum board is installed with long dimensions perpendicular to furring channels. Gypsum board secured to furring channels with nom 1 in. long Type S bugle-head steel screws spaced 8 in. OC in the field of the board. Gypsum board butted end joints shall be staggered minimum 48 in. and centered over main furring channels. At the gypsum board butt joints, each end of each gypsum board shall be supported by a single length of furring channel equal to the width of the gypsum board plus 3 in. on each end. The two support furring channels shall be spaced approximately 3 in. in from joint. Screw spacing along the gypsum board butt joint and along both additional channels shall be 8 in. OC. Additional screws shall be placed in the adjacent section of gypsum board into the aforementioned 3 in. extension of the extra butt joint channels as well as into the main channel that runs between. Butt joint furring channels shall be attached with one RESILMOUNT Sound Isolation Clip at each end of the channel. When Steel Framing Members (Item 6H) are used, one layer of nom 5/8 in. thick, 4 ft wide gypsum board is installed with long dimensions perpendicular to furring channels. Gypsum board secured to furring channels with nom 1 in. long Type S bugle-head steel screws spaced 8 in. OC in the field of the board. Gypsum board butted end joints shall be staggered minimum 48 in. and centered over main furring channels. At the gypsum board butt joints, an additional single length of furring channel shall be installed and be spaced approximately 3 in. from the butt joint (6 in. from the continuous furring channels) to support the floating end of the gypsum board. Each of these shorter sections of furring channel shall extend one truss beyond the width of the gypsum panel and be attached to the adjacent trusses with one SonusClip at every truss involved with the butt joint.

CERTAINTEED GYPSUM INC - Type C

CGC INC — Types C, IP-X2, IPC-AR

**CERTAINTEED GYPSUM INC** — Type LGFC-C/A

GEORGIA-PACIFIC GYPSUM L L C — Types 5, DAPC, TG-C

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM - Type C

UNITED STATES GYPSUM CO — Types C, IP-X2, IPC-AR

USG BORAL DRYWALL SFZ LLC — Type C

USG MEXICO S A DE C V — Types C, IP-X2, IPC-AR

7C. Gypsum Board\* — (As an alternative to Items 7 and 7B, For use with Items 5C and 6I) — Nom 5/8 in. thick, 48 in. wide gypsum board, installed and secured as described in Items 7 and 7B but with max screw spacing 8 in. OC. When used with insulation (Batts and Blankets\* or Fiber Sprayed\*) that is installed over the resilient channel/Gypsum Board\* ceiling membrane, the resilient channels may remain at 16 in. OC and not need to be reduced to 12 in. OC. CGC INC — Type ULIX

8. Finishing System — (Not Shown) — Vinyl, dry or premixed joint compound, applied in two coats to joints and screw-heads. Nom 2 in. wide paper tape embedded in first layer of compound over all joints. As an alternate, nom 3/32 in. thick veneer plaster may be applied to the entire surface of gypsum board.

9. Grille — Grille, installed in accordance with the installation instructions provided with the ceiling damper.

10. Wire Mesh — (Not Shown) — For use with Item 5A and 5B — 1 in. 20 gauge galvanized poultry netting installed between the furring channels and gypsum board. The poultry netting is attached with washers and 1/2 in. wafer head screws, spaced 24 in. OC., to the furring channels. The Fiber, Spraved (Item 5A or 5B) is installed through cut-openings in the poultry netting, in-between trusses. The cut-openings in the poultry netting shall be staggered at a maximum of 6 ft.

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### Planning • Architecture Landscape Architecture

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### **Kevisions:**

Description:

# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. **Clarke Apartments** Residences, LLC

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Sheet Title: U.L. Assemblies, L546

Date: September 30, 2022

Sheet Number:

### \* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively. Last Updated on 2021-06-11

#### Design No. U341 **BXUV.U341**



**CERTAINTEED GYPSUM INC** – Type SilentFX

21. Wall and Partition Facings and Accessories\* — (As an alternate to Items 2 through 2H) — Nominal 5/8 in. thick, 4 ft wide panels, applied vertically and secured as described in Item 2. PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM - Type QuietRock 527.

2). Gypsum Board\* — (As an alternate to 5/8 in. Type FSW in Item 2) — 2 layers nom. 5/16 in. thick gypsum panels applied vertically or horizontally. Horizontal joints on the same side need not be staggered. Inner layer attached with fasteners, as described in item 2, spaced 24 in. OC. Outer layer attached per Item 2. NATIONAL GYPSUM CO - Type FSW.

2K. Gypsum Board\* — (As an alternate to Item 2) — 5/8 in. thick gypsum panels, with beveled, square, or tapered edges, applied either horizontally or vertically. Gypsum panels fastened to framing with 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced a maximum 10 in. OC with the last two screws 4 and 1 in. from the edges of the board. When used in widths other than 48 in., gypsum panels are to be installed horizontally. CONTINENTAL BUILDING PRODUCTS OPERATING CO, L L C — Type LGFC6A (finish rating 21 min), Type LGFC2A, Type LGFC-C/A, Type LGFC-WD, Type LGLLX

4. Sheathing – (Optional) – Septum may be sheathed with min 7/16 in. thick wood structural panels min grade "C-D" or "Sheathing" or min 1/2 in. thick Mineral and Fiber Boards\*. See Mineral and Fiber Boards (CERZ) category for names of Classified companies.

) is used on both halves of wall. See Batts and Blankets (BZJZ) category for list of Classified companies. 5A. Fiber, Sprayed\* — As an alternate to Batts and Blankets (Item 5) — Spray applied cellulose material. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with is applied with water to completely hill the enclosed cavity in accordance with the application instructions supplied with the product with a nominal dry density of 2.7 lb/ft<sup>3</sup>. Alternate Application Method: The fiber is applied without water or adhesive at a nominal dry density of 3.5 lb/ft<sup>3</sup>, in accordance with the application instructions supplied with the

5B, Fiber, Spraved\* — As an alternate to Batts and Blankets (Item 5) when Sheathing (Item 4) is used on both halves of wall - Spray applied cellulose insulation material. The fiber is applied with water to interior surfaces in accordance with the application instructions supplied with the product. Applied to completely fill the enclosed cavity. Minimum dry density of 4.3 pounds per cubic ft. NU-WOOL CO INC - Cellulose Insulation

5C. Batts and Blankets\* — (Required for use with Wall and Partition Facings and Accessories, Item 2A. Use of Sheathing, Item 4, does not nullify requirement of Item 5C for use with Item 2A) — Glass fiber insulation, nom 3-1/2 in. thick, min. density of 0.80 pcf, with a flame spread of 25 or less and a smoke developed of 50 or less, friction-fitted to completely fill the stud cavities. See Batts and Blankets Category (BKNV) for names of manufacturers. 5D. Fiber, Sprayed\* — As an alternate to Batts and Blankets (Item 5) and Item 5A when Sheathing (Item 4) is used on both halves of wall - Spray applied cellulose fiber. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. The minimum dry density shall be 4.30 lbs/ft<sup>3</sup>.

5E. Fiber, Sprayed\* — As an alternate to Batts and Blankets (Item 5) - Spray-applied cellulose material. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. To facilitate the installation of the material, any thin, woven or non-woven netting may be attached by any means possible to the outer face the studs. The material shall reach equilibrium moisture content before the installation of materials on either face of the studs. The minimum dry density shall be 5.79 lbs/ft3. APPLEGATE HOLDINGS L L C — Type 1 SAFE Applegate Fired Rated Material

INTERNATIONAL CELLULOSE CORP — Celbar-RL

6. Steel Framing Members\* - (Optional, Not Shown) - Furring channels and Steel Framing Members as described A. Furring Channels — Formed of No. 25 MSG galv steel. 2-9/16 in. or 2-23/32 in. wide by 7/8 in. deep, spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels are overlapped 6 in. and tied together with double strand of No. 18 SWG galv steel wire near each end of overlap. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two self-tapping #6 framing screws, min. 7/16 in. long at the midpoint of the overlap. How reach flange of the channel. Wallboard attached to furring channels as described in Item 2. B. Steel Framing Members\* — Used to attach furring channels (Item a) to studs (Item 1). Clips spaced 48 in. OC., and secured to studs with No. 8 x 2-1/2 in. coarse drywall screw through the center grommet. Furring channels are friction fitted into clips. RSIC-1 clip for use with 2-9/16 in. wide furring channels. RSIC-1 (2.75) clip for use with 2-23/32 in. wide furring channels.

6A. Steel Framing Members\* — (Optional, Not Shown) — Furring channels and Steel Framing Members as a. Furring Channels — Formed of No. 25 MSG galv steel. 2-3/8 in. wide by 7/8 in. deep, spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels are overlapped 6 in. and tied together with double strand of No. 18 SWG galv steel wire near each end of overlap. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two self-tapping #6 framing screws, mir 7/16 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Gypsum board attached to furring channels as described in Item 2. b. Steel Framing Members\* — Used to attach furring channels (Item a) to studs. Clips spaced 48 in. OC. Genie clips secured to studs with No. 8  $\times$  1-1/2 in. coarse drywall screw through the center hole. Furring channels are friction fitted into clips. PLITEQ INC — Type Genie Clip

6B. Steel Framing Members\* – (Optional, Not Shown) – Furring channels and Steel Framing Members as

b. Steel Framing Members\* — Used to attach furring channels (Item 6Ba) to studs. Clips spaced 48 in. OC., and secured to studs with 2 in. coarse drywall screw with 1 in. diam

2B. Gypsum Board\* — (As an alternate to Item 2, not shown) — Any 5/8 in. thick gypsum panels that are eligible for use in Design Nos. L501, G512 or U305, supplied by the Classified companies listed below shown in the Gypsum Board\* (CKNX) category. Applied horizontally or vertically and attached to studs and bearing plates with 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced a max 8 in. OC, with last screw 1 in. from edge of board. When used in widths other than 48 in., gypsum board to be installed horizontally. UNITED STATES GYPSUM CO

USG BORAL DRYWALL SFZ LLC USG MEXICO S A DE C V

2C. Gypsum Board\* — (As an alternate to Item 2, Not Shown) — 5/8 in. thick gypsum panels applied horizontally or vertically and attached to studs and bearing plates with 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced a max 8 in. OC, with last screw 1 in. from edge of board. When used in widths other than 48 in., gypsum board to be installed horizontally. AMERICAN GYPSUM CO — Types AGX-1, M-Glass, AG-C, LightRoc

**CERTAINTEED GYPSUM INC** — Type C, Type X or Type X-1

NATIONAL GYPSUM CO — Type FSK, Type FSK-G, Type FSW, Type FSW-3, Type FSW-5, Type FSW-G, Type FSK-C, Type FSM-C, Type FSW-6, Type FSL

THAI GYPSUM PRODUCTS PCL — Type C or Type X

2D. Gypsum Board\* - (As an alternate to Items 2, 2A, 2B and 2C) - 5/8 in. thick gypsum panels, with square edges, applied either horizontally or vertically. Gypsum panels fastened to framing with 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced a max 8 in. OC, with last 2 screws 1 and 4 in. from edge of board or nailed as described in Item 2. When used in widths of other than 48 in., gypsum boards are to be installed horizontally. **GEORGIA-PACIFIC GYPSUM L L C** — GreenGlass Type X, Type DGG.

2E. **Gypsum Board\*** – (As an alternate to Items 2 through 2D) – 5/8 in. thick, 4 ft. wide, paper surfaced applied vertically only and secured as described in Item 2 **GEORGIA-PACIFIC GYPSUM L L C** – Type X ComfortGuard Sound Deadening Gypsum Board.

2F. Gypsum Board\* — (As an alternate to Items 2 through 2E) - Installed as described in Item 2. 5/8 in. thick, 4 ft. wide, paper surfaced, applied vertically only and fastened to the studs and plates with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 1/4 in. diam heads, 7 in. OC. Not for use with item #6. NATIONAL GYPSUM CO — SoundBreak XP Type X Gypsum Board

2G. Gypsum Board\* – (As an alternate to Items 2 through 2F) – Nominal 5/8 in. thick, 4 ft wide panels, applied

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM - Types QuietRock ES. 2H. **Gypsum Board\*** — (As an alternate to Items 2 through 2G) — Installed as described in Item 2. 5/8 in. thick, 4 ft. wide, paper surfaced, applied vertically or horizontally fastened to the studs and plates with 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced a max 8 in. OC, with last screw 1 in. from edge of board.

3. Joints and Nailheads — Gypsum board joints of outer layer covered with tape and joint compound. Nail heads of outer layer covered with joint compound. As an alternate, nom 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard with joints reinforced with paper tape.

5. Batts and Blankets\* - 3-1/2 in. max thickness glass or mineral fiber batt insulation. Optional when sheathing

U S GREENFIBER L L C — INS735 & INS745 for use with wet or dry application. INS510LD, INS515LD, INS541LD, INS735, INS745, INS765LD, and INS770LD are to be used for dry application only.

PAC INTERNATIONAL L C - Types RSIC-1, RSIC-1 (2.75).

a. Furring Channels — Formed of No. 25 MSG galv steel. Spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18 AWG galvanized steel wire. Gypsum board attached to furring channels as described in Item 2.

6C. Steel Framing Members\* - (Optional, Not Shown) - Furring channels and Steel Framing Members as A. Furring Channels — Formed of No. 25 MSG galv steel. Spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item 6Cb. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18 AWG galvanized steel wire. Gypsum board attached to furring channels as described in Item 2. B. Steel Framing Members\* — Used to attach furring channels (Item 6CA) to studs. Clips spaced 48 in. OC., and secured to studs with No. 8 x 2-1/2 in. coarse drywall screw through the center hole. Furring channels are friction fitted into clips. **REGUPOL AMERICA** — Type SonusClip 6D. Steel Framing Members\* — (Optional, Not Shown) — Resilient channels and Steel Framing Members as a. Resilient Channels - Formed of No. 25 MSG galv steel, spaced 24 in. OC. and perpendicular to study. Channels secured to study as described in Item b. Ends of adjoining channels overlapped 6 in. and secured in place with two No. 8 15 x 1/2 in. Philips Modified Truss screws spaced 2-1/2 in. from the center of the overlap. Gypsum board attached to resilient channels as described in Item 2. b. Steel Framing Members\* — Used to attach resilient channels (Item 6Da) to studs. Clips spaced 48 in. OC., and secured to studs with No. 8 x 2-1/2 in. coarse drywall screw through the center hole. Resilient channels are secured to clips with one No. 10 x 1/2 in. pan-head self-drilling screw. **KEENE BUILDING PRODUCTS CO INC** – Type RC+ Assurance Clip

washer through the center hole. Furring channels are friction fitted into clips.

STUDCO BUILDING SYSTEMS - RESILMOUNT Sound Isolation Clips - Type A237R

7. Wall and Partition Facings and Accessories\* — (Optional, Not shown) — Nominal 1/2 in. thick, 4 ft wide panels, for optional use as an additional layer on one or both sides of the assembly. Panels attached in accordance with manufacturer's recommendations. When the QR-510 opanel is installed between the wood framing and the UL Classified gypsum board, the required UL Classified gypsum board layer(s) is/are to be installed as ndicated as to fastener type and spacing, except that the required fastener length shall be increased by a minimum of 1/2 in. Not evaluated or intended as a substitute for the required layer(s) of UL Classified Gypsum Board. PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type QuietRock QR-500 and QR-510

8. Mineral and Fiber Board\* - ((Optional, Not Shown) - For optional use as an additional layer on one or both sides of wall. Nom 1/2 in. thick, 4 ft wide with long dimension parallel and centered over studs. Attached to framing as described in Item 2. The required UL Classified gypsum board layer(s) is/are to be installed as indicated as to fastener type and spacing, except that the required fastener tength shall be increased by a minimum of 1/2 in. Not evaluated or intended as a substitute for the required layer(s) of UL Classified Gypsum Board. HOMASOTE CO — Homasote Type 440-32

9. Non-Bearing Wall Partition Intersection — (Optional) — Two nominal 2 by 4 in. stud or nominal 2 by 6 in. stud nailed together with two 3in. long 10d nails spaced a max. 16 in. OC. vertically and fastened to one side of the minimum 2 by 4 in. stud with 3 in. long 10d nails spaced a max 16 in. OC. vertically. Intersection between partition wood studs to be flush with the 2 by 4 in. studs. The wall partition wood studs are to be framed by with a second 2 by 4 in. wood stud fastened with 3 in. long 10d nails spaced a max. 16 in. OC. vertically. Maximum one non-bearing wall partition intersection per stud cavity. Non-bearing wall partition stud depth shall be at a minimum equal to the depth of the bearing wall. (Optional, Not Shown) Alternate Construction For Use On One Side Of The Wall.

10. Mineral and Fiber Board\* — For use with Items 10A-10D) —Nom 1/2 in. thick, 4 ft wide with long dimension parallel and centered over studs. Attached to framing it in minimum 1-3/8 in: long ring shanked nails or 1-1/4 in. long Type W steel screws, spaced 12 in. OC along board edges and 24 in. OC in field of board along intermediate framing. Not evaluated or intended as a substitute for the required layer(s) of UL Classified Gypsum Board. HOMASOTE CO — Homasote Type 440-32

10A. Glass Fiber Insulation — (For use with Item 10) — 3-1/2 in. thick glass fiber batts bearing the UL Classification Marking as to Surface Burning and/or Fire Resistance, placed to fill the interior of the wall. See Batts and Blankets (BKNV or BZ)Z) categories for names of Classified companies. 10B. **Batts and Blankets\*** — (As an alternate to Item 10B, For use with Item 10), 3 in. thick mineral wool batts, placed to fill interior of wall, attached to the 3-1/2 in. face of the studs with staples placed 24 in. OC. THERMAFIBER INC — Type SAFB, SAFB FF

10C. Adhesive — (For use with Item 10) — Construction grade adhesive applied in vertical, serpentine, nominal 3/8 in. wide beads down the length of both vertical edges of Mineral and Fiber Board (Item 14A). 10D. Gypsum Board\* - (For use with Item 10) - 5/8 in. thick, 4 ft wide, applied vertically over Mineral and Fiber Board (Hem 14A) with vertical joints located anywhere over stud cavities. Secured to mineral and fiber boards with 1-1/2 in. Type G Screws spaced 8 in. OC along edges of each vertical joint and 12 in. OC in intermediate field of the Mineral and Fiber Board (Item 10). Secured to outermost studs and bearing plates with 2 in. long Type S screws spaced 8 in. OC. Gypsum Board joints covered with paper tape and joint compound. Screw heads covered with joint compound. Finish Rating 30 Min. AMERICAN GYPSUM CO - Type AG-C

**CERTAINTEED GYPSUM INC** — Type FRPC, Type C, Type X-2

CONTINENTAL BUILDING PRODUCTS OPERATING CO, L L C - Type LGFC-C/A

**GEORGIA-PACIFIC GYPSUM L L C** – Types 5, DAPC, TG-C

NATIONAL GYPSUM CO - Types FSK-C, FSW-C

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM - Type PG-C

PANEL REY S A — Type PRC THAI GYPSUM PRODUCTS PCL - Type C

UNITED STATES GYPSUM CO - Type CTypes C, IP-X2, IPC-AR

USG BORAL DRYWALL SFZ LLC - Type C

USG MEXICO S A DE C V — Types C, IP-X2, IPC-AR

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL

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# Revisions:

Description: Date:

# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. **Clarke Apartments** Residences, LLC

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Sheet Title: U.L. Assemblies, U341

Date: September 30, 2022





Architectural Site Plan





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**Revisions:** 

Description: Date:

# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

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Sheet Title: Site Details

Date: September 30, 2022

A1.2





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Date: Description:

# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

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# Sheet Title:

Building Plans, Type I, First & Second Level Plans

Date: September 30, 2022

A2.1





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6:12

9'

6:12

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- $\overbrace{0}^{\underline{\mathbf{N}}} 1. \quad \text{Pitch $\pounds$ Slope Direction Symbo}$  Indicates draftstopping locations - above and in line with tenant separation wall. Note draftstopping is only required at one side of the breezeway.
- 3. Continuous ridge vent w/18 square inches of ventilating area per lineal foot.
- $-10^{\circ}$  4. Ridge vent length in lineal feet
- 5. 5" ogee gutter & 3"x4" downspout locations
- 6. Off ridge vent w/34 square inches of ventilating area per lineal foot.

Roof at FDC below

 $\frac{D}{0}$ 

Building Type I - Roof Vent Calculations						
Roof Area to be Vented, <b>Zone 1</b>	2663					
Min. Net Ventilation Area (1/300)	at 1/300 sf	=	8.88			
Continuous Soffit Ventilation (Low) @ 18 sq. in./In. ft.	162	=	20.25			
Continuous Soffit Ventilation (High) @ 18 sq. in./In. ft.	68	=	8.50			
Continuous Ridge Ventilation @ 18 sq. in./In. ft.	56	=	7.00			
Total Ventilation Provided		=	35.75			
Roof Area to be Vented, Zone 2	2784					
Min. Net Ventilation Area (1/300)	at 1/300 sf	=	9.28			
Continuous Soffit Ventilation (Low) @ 18 sq. in./In. ft.	69	=	8.63			
Continuous Soffit Ventilation (High) @ 18 sq. in./In. ft.	17	=	2.13			
Continuous Ridge Ventilation @ 18 sq. in./In. ft.	60	=	7.50			
Total Ventilation Provided		=	18.25			



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# **Revisions:**

Date: Description:

# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. Clarke Apartments Residences, LLC

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# Sheet Title:

Building Plans, Type I, Third Level Plan & Roof Plan

Date: September 30, 2022









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# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

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# Sheet Title:

Building Plans, Type II, Third Level Plan & Roof Plan

Date: September 30, 2022

A2.4







Building Type III - Roof Vent Calculations						
Roof Area to be Vented, <b>Zone 1</b>	2986					
Min. Net Ventilation Area (1/300)	at 1/300 sf	=	9.95			
Continuous Soffit Ventilation (Low) @ 18 sq. in./In. ft.	160	=	20.00			
Continuous Soffit Ventilation (High) @ 18 sq. in./In. ft.	54	=	6.75			
Continuous Ridge Ventilation @ 18 sq. in./In. ft.	67	=	8.38			
Total Ventilation Provided		=	35.13			
Roof Area to be Vented, Zone 2	1710					
Min. Net Ventilation Area (1/300)	at 1/300 sf	=	5.70			
Continuous Soffit Ventilation (Low) @ 18 sq. in./In. ft.	57	=	7.13			
Continuous Soffit Ventilation (High) @ 18 sq. in./In. ft.	8	=	1.00			
Continuous Ridge Ventilation @ 18 sq. in./In. ft.	34	=	4.25			
Total Ventilation Provided		=	12.38			

 $\mathbf{A}_{\mathbf{i}\mathbf{j}}^{\mathbf{C}}$  1. Pitch & Slope Direction Symbo

 $-10^{\circ}$  4. Ridge vent length in lineal feet

5. 5" ogee gutter & 3"x4" downspout locations

Indicates draftstopping locations - above and in line with tenant separation wall. Note draftstopping is only required at one side of the breezeway.

Continuous ridge vent w/18 square inches of ventilating area per lineal foot.

Roof at FDC

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Date: Description:

# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

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Sheet Title: Building Plans, Type III, Third Level Plan & Roof Plan

Date: September 30, 2022

Sheet Number:

A2.6



![](_page_14_Figure_1.jpeg)

![](_page_14_Figure_2.jpeg)

\_ Roof at FDC

below

6:12

4

6:12

 $(\bullet)$ 

Building Plans, Type IIIa, Third Level Plan & Roof Plan

Date: September 30, 2022

Sheet Number:

A Residential

Development by: Ft.

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Clarke Apartments

Residences, LLC

SGN+A, Inc.

Sheet Title:

A2.7

![](_page_15_Figure_0.jpeg)

![](_page_15_Figure_1.jpeg)

![](_page_15_Figure_2.jpeg)

![](_page_15_Picture_6.jpeg)

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# **Revisions:**

Date: Description:

# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. Clarke Apartments

Residences, LLC

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# Sheet Title:

Building Plans, Type IV & IVa, First & Second Level Plans & Roof Plan

Date: September 30, 2022

![](_page_15_Picture_21.jpeg)

![](_page_16_Figure_0.jpeg)

![](_page_16_Figure_1.jpeg)

Terrace Level

![](_page_17_Figure_0.jpeg)

) Building Type V Scale:1/8" = 1'-0"

![](_page_17_Figure_4.jpeg)

![](_page_18_Figure_0.jpeg)

Second Level

![](_page_18_Figure_3.jpeg)

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Date: Description:

Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

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Sheet Title: Building Plan, Type V, Second Level

Date: September 30, 2022

A2.11

![](_page_19_Figure_0.jpeg)

Third Level

![](_page_19_Figure_2.jpeg)

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Date: Description:

Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

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Sheet Title: Building Plan, Type V, Third Level

Date: September 30, 2022

A2.12

![](_page_19_Figure_16.jpeg)

![](_page_20_Figure_0.jpeg)

Fourth Level

![](_page_20_Figure_2.jpeg)

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Date: Description:

Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

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Sheet Title: Building Plan, Type V, Fourth Level

Date: September 30, 2022

A2.13

![](_page_20_Figure_16.jpeg)

![](_page_21_Figure_0.jpeg)

 $(1) \quad \begin{array}{c} \text{Building Type V, Type Va Similar} \\ \text{Scale:1/8"} = 1^{-O"} \end{array}$ 

Roof Plan

![](_page_21_Figure_3.jpeg)

6. Off ridge vent w/34 square inches of ventilating area per lineal foot.

Building Type V - Roof Vent Calculations						
Roof Area to be Vented, <b>Zone 1</b>	1756					
Min. Net Ventilation Area (1/300)	at 1/300 sf	= 5.85				
Continuous Soffit Ventilation (Low) @ 18 sq. in./In. ft.	97	= 12.13				
Continuous Soffit Ventilation (High) @ 18 sq. in./In. ft.	7	= 0.88				
Continuous Ridge Ventilation @ 18 sq. in./In. ft.	27	= 3.38				
Total Ventilation Provided		= 16.38				
Roof Area to be Vented, <b>Zone 2</b>	2355					
Min. Net Ventilation Area (1/300	at 1/300 sf	= 7.85				
Continuous Soffit Ventilation (Low) @ 18 sq. in./In. ft.	113	= 14.13				
Continuous Soffit Ventilation (High) @ 18 sq. in./In. ft.	7	= 0.88				
Continuous Ridge Ventilation @ 18 sq. in./In. ft.	27	= 3.38				
Total Ventilation Provided		= 18.38				
Roof Area to be Vented, <b>Zone 3</b>	2355					
Min. Net Ventilation Area (1/300	at 1/300 sf	= 7.85				
Continuous Soffit Ventilation (Low) @ 18 sq. in./In. ft.	111	= 13.88				
Continuous Soffit Ventilation (High) @ 18 sq. in./In. ft.	7	= 0.88				
Continuous Ridge Ventilation @ 18 sq. in./In. fr.	27	= 3.38				
Total Ventilation Provided		= 18.13				
Roof Area to be Vented, <b>Zone 4</b>	2963					
Min. Net Ventilation Area (1/300	at 1/300 sf	= 9.88				
Continuous Soffit Ventilation (Low) @ 18 sq. in./In. ft.	64	= 8.00				
Continuous Soffit Ventilation (High) @ 18 sg. in./in. ft.	0	= 0.00				
Off Ridge vents (High) @ 34 sa.in./in. ft.	24	= 5.67				
Continuous Ridae Ventilation @ 18 sa. in./In. ft.	0	= 0.00				
Tatal Ventilation Provided	_	= 13.67				
Roof Area to be Vented, <b>Zone 5</b>	1971					
Min. Net Ventilation Area (1/300	at 1/300 sf	= 6.57				
Continuous Soffit Ventilation (Low) @ 18 sq. in./In. ft.	64	= 8.00				
Continuous Soffit Ventilation (High) @ 18 sq. in./In. ft.	17	= 2.13				
Continuous Ridge Ventilation @ 18 sq. in./In. fr.	32	= 4.00				
Total Ventilation Provided		= 14.13				
Roof Area to be Vented, <b>Zone 6</b>	2621					
Min. Net Ventilation Area (1/300	at 1/300 sf	= 8.74				
Continuous Soffit Ventilation (Low) @ 18 sq. in./In. ft.	123	= 15.38				
Continuous Soffit Ventilation (High) @ 18 sq. in./in. ft.	16	= 2.00				
Continuous Ridge Ventilation @ 18 sq. in./In. ft.	43	= 5.38				
Total Ventilation Provided		= 22.75				
Roof Area to be Vented, <b>Zone 7</b>	1965					
Min. Net Ventilation Area (1/300	at 1/300 sf	= 6.55				
Continuous Soffit Ventilation (Low) @ 18 sq. in./In. ft.	53	= 6.63				
Continuous Soffit Ventilation (High) @ 18 sq. in./In. ft.	0	= 0.00				
Off Ridge vents (High) @ 34 sq.in./In. ft.	8	= 1.89				
Continuous Ridge Ventilation @ 18 sq. in./In. fr.	0	= 0.00				
Total Ventilation Provided		= 8.51				
Roof Area to be Vented, <b>Zone 8</b>	1479					
Min. Net Ventilation Area (1/300	at 1/300 sf	= 4.93				
Continuous Soffit Ventilation (Low) @ 18 sq. in./In. ft.	85	= 10.63				
Continuous Soffit Ventilation (High) @ 18 sq. in./In. ft.	6	= 0.75				
Continuous Ridge Ventilation @ 18 sq. in./In. ft.	32	= 4.00				
Total Ventilation Provided		= 15.38				

![](_page_21_Picture_6.jpeg)

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# **Revisions:**

Date: Description:

# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Building Plan, Type V, Roof Plan

Date: September 30, 2022

A2.14

![](_page_22_Figure_0.jpeg)

![](_page_22_Picture_1.jpeg)

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Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

# A Residential Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Building Plan, Type Va, Terrace Level Plan

Date: September 30, 2022

A2.15

![](_page_23_Figure_0.jpeg)

![](_page_24_Figure_0.jpeg)

![](_page_24_Figure_1.jpeg)

![](_page_24_Figure_2.jpeg)

![](_page_24_Picture_3.jpeg)

![](_page_24_Figure_5.jpeg)

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# Lullwater at Ft. Clarke Apartments

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Sheet Title: Building Elevations, Type I

Date: September 30, 2022

![](_page_24_Picture_31.jpeg)

![](_page_25_Figure_0.jpeg)

![](_page_25_Figure_1.jpeg)

![](_page_25_Figure_2.jpeg)

Prefinished aluminum drip

End Elevation

![](_page_25_Picture_27.jpeg)

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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

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Sheet Title: Building Elevations, Type II

Date: September 30, 2022

![](_page_25_Picture_40.jpeg)

![](_page_26_Figure_0.jpeg)

![](_page_26_Figure_1.jpeg)

![](_page_26_Figure_2.jpeg)

![](_page_26_Picture_9.jpeg)

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Date: Description:

# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Building Elevations, Type III

Date: September 30, 2022

A3.3

![](_page_27_Figure_0.jpeg)

![](_page_27_Figure_1.jpeg)

![](_page_27_Figure_2.jpeg)

Single hung vinyl windows -with insulating glass  $\pounds$  insect

\_flashing & gutter/downspout system over fiber cement

![](_page_27_Picture_16.jpeg)

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Date: Description:

# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Building Elevations, Type IIIa

Date: September 30, 2022

A3.4

![](_page_28_Figure_0.jpeg)

![](_page_28_Picture_1.jpeg)

![](_page_28_Picture_2.jpeg)

![](_page_28_Figure_3.jpeg)

### Front Elevation

Rear Elevation

Prefinished aluminum drip - flashing over fiber cement fascia

Smooth fiber cement panels with 1x3 smooth fiber cement battens @ 24" on center

- Composition roof shingles

Fiber cement trim at head, jamb & sill

Synthetic stone water table cap course

- Synthetic stone veneer

Single hung window with insulating glass

![](_page_28_Figure_12.jpeg)

![](_page_28_Figure_19.jpeg)

![](_page_28_Figure_20.jpeg)

![](_page_28_Picture_21.jpeg)

![](_page_28_Picture_22.jpeg)

Scale:1" = 1'-0"

![](_page_29_Figure_0.jpeg)

![](_page_29_Figure_1.jpeg)

![](_page_29_Figure_2.jpeg)

![](_page_29_Figure_3.jpeg)

3 Building Type IVa Scale:1/8" = 1-0" End Elevation Prefinished aluminum drip flashing over fiber cement

Smooth fiber cement panels with 1x3 smooth fiber cement battens @ 24" on center

- Composition roof shingles

Fiber cement trim at head, jamb & sill

Synthetic stone water table cap course

Synthetic stone veneer

Single hung window with insulating glass

Rear Elevation

Smooth fiber cement panels with 1x3 smooth fiber cement battens @ 24" on center

Composition roof shingles

Fiber cement trim at building

Fiber cement trim at head, jamb & sill

Synthetic stone water table cap course

Synthetic stone veneer

Sectional overhead opening garage door

![](_page_29_Picture_21.jpeg)

+

blocking

SECTION VIEW

SCALE: 1" = 1'-0"

(2)

- Composition roof shingles

Prefinished aluminum drip flashing over fiber cement

Smooth fiber cement panels with 1x3 smooth fiber cement

Fiber cement corner trim

Synthetic stone water table

Synthetic stone veneer

Decorative wood bracket

![](_page_29_Figure_30.jpeg)

![](_page_29_Picture_31.jpeg)

End Elevation

![](_page_29_Picture_34.jpeg)

A3.6

![](_page_30_Figure_0.jpeg)

![](_page_30_Figure_1.jpeg)

	12
(1)  Building Type V	
8 2 12	

![](_page_30_Figure_4.jpeg)

- Composition roof shingles

Prefinished aluminum gutter \$downspout system

Smooth fiber cement panels with 1x3 smooth fiber cement battens @ 24" on center

-1x6 fiber cement corner trim  $-5/_4 \times 12$  fiber cement trim

Single hung window with insulating glass

-Vinyl guardrail system

Horizontal fiber cement lap siding

- 1x12 fiber cement trim

Synthetic stone water table cap course

- Synthetic stone veneer

![](_page_30_Picture_15.jpeg)

- Composition roof shingles

\_16"x24" prefabricated gable end vent

Prefinished aluminum gutter & downspout system

Smooth fiber cement panels with 1x3 smooth fiber cement battens @ 24" on center

 $-5/_4 \times 12$  fiber cement trim

-1x6 fiber cement corner trim Single hung window with

-Vinyl guardrail system

 $^{-5}/_{4} \times 12$  fiber cement trim

Synthetic stone water table cap course

Horizontal fiber cement lap siding

- Synthetic stone veneer

Synthetic stone header course & sill course

![](_page_30_Picture_28.jpeg)

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# **Revisions:**

Date: Description:

# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Building Elevations, Type V

Date: September 30, 2022

A3.7

![](_page_31_Figure_0.jpeg)

![](_page_31_Figure_1.jpeg)

6	

1) Building Type V Scale:1/8" = 1'-0"

	12	
6	6	2

2 Building Type V Scale:1/8" = 1'-0"

![](_page_31_Figure_6.jpeg)

- Composition roof shingles

\_ Prefinished aluminum gutter & downspout system

Smooth fiber cement panels — with 1x3 smooth fiber cement battens @ 24" on center

-1x6 fiber cement corner trim - $^{5}/_{4}$  x 12 fiber cement trim

\_ Single hung window with insulating glass

\_Horizontal fiber cement lap siding

- 1x12 fiber cement trim \_ Synthetic stone water table cap course

— Vinyl guardrail system

- Synthetic stone veneer

![](_page_31_Picture_16.jpeg)

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# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

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Sheet Title: Building Elevations, Type V

Date: September 30, 2022

A3.8

![](_page_32_Figure_0.jpeg)

![](_page_32_Figure_1.jpeg)

2		$2 \rightarrow 4$
		12

) Building Type Va Scale:1/8" = 1-0"

12  $\angle$ 12 8 

2) Building Type Va Scale:1/8" = 1'-0"

![](_page_32_Figure_6.jpeg)

	Prefinished aluminum gutter &
¢	downspout system
	Smooth fiber cement panels with 1x3 smooth fiber cement battens @ 24" on center
	1x6 fiber cement corner trim
	$^{5}/_{4} \times 12$ fiber cement trim
	Single hung window with insulating glass
	Horizontal fiber cement lap siding
	1x12 fiber cement trim
	Synthetic stone water table cap course
	Vinyl guardrail system

Synthetic stone veneer

Composition roof shingles

![](_page_32_Picture_8.jpeg)

- Composition roof shingles

\_16"x24" prefabricated gable end vent

- Composition roof shingles

\_Prefinished aluminum gutter & downspout system

Smooth fiber cement panels - with 1x3 smooth fiber cement battens @ 24" on center

 $^{-5}/_4$  x 12 fiber cement trim

-1x6 fiber cement corner trim

\_Single hung window with insulating glass

\_Horizontal fiber cement lap siding

-Vinyl guardrail system

\_Synthetic stone water table cap course

\_Synthetic stone header course & sill course

Synthetic stone veneer

![](_page_32_Picture_22.jpeg)

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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

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Sheet Title: Building Elevations, Type Va

Date: September 30, 2022

A3.9

![](_page_33_Figure_0.jpeg)

![](_page_33_Figure_1.jpeg)

![](_page_33_Picture_3.jpeg)

- Composition roof shingles

\_Prefinished aluminum gutter & downspout system

Smooth fiber cement panels with 1x3 smooth fiber cement battens @ 24" on center

- 1x6 fiber cement corner trim - 1x12xf12ef12eentemeentenimtrim

\_Single hung window with insulating glass

-Vinyl guardrail system

Horizontal fiber cement lap siding

1x12 fiber cement trim

\_Synthetic stone water table cap course

Synthetic stone veneer

![](_page_33_Picture_14.jpeg)

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# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

## A Residential Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Building Elevations, Type Va

Date: September 30, 2022

![](_page_33_Picture_27.jpeg)

![](_page_34_Figure_0.jpeg)

![](_page_34_Picture_1.jpeg)

Unit Plan Notes

- 1. All floor plan dimensions are to face of stud.
- 2. All interior elevation dimensions are to finished wall.
- 3. Single rod and wire shelf at closets shall have shelf mounted at 5'-9" above finished floor.
- Double rod and wire shelves shall have shelves mounted at 3'-4" and 6'-8" above finished floor.
- 5. 18" shelf at laundry room mounted at 5'-0" above finished floor.
- 6. Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
- 7. Door locations not dimensioned are to midpoint of wall segment, typical.
- 8. Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
- 9. EOC denotes (Edge of Carpet) EOT denotes (Edge of Tile)
- Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.7.
- 11. Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
- 12. Provide 2x6 blocking at all shelving locations. See 8/A6.7.
- 13. Pre-pour gypcrete below all tubs prior to setting tubs. Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
- 14. Install 3A-40B:C fire extinguisher in kitchen cabinet under sink at all units.
- 15. See sheet A4.14 for grab bar blocking locations  $\pounds$  reinforcing at all ground floor units.
- 16. Provide 3  $^{1/2}$  batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
- 17. Tray ceiling shown on plan occurs at top floor units ONLY.
- 18. See sheet A4.15 for crown molding locations.

### Wall Legend

![](_page_34_Picture_22.jpeg)

![](_page_34_Figure_23.jpeg)

1'-0", Fy, 27"x36", 30"x21", 18"x36", F 33"x21" Fy,

![](_page_34_Figure_24.jpeg)

![](_page_34_Figure_25.jpeg)

Kitchen

Scale:3/8" = 1'-0"

![](_page_34_Picture_26.jpeg)

![](_page_34_Figure_30.jpeg)

![](_page_34_Figure_31.jpeg)

![](_page_34_Picture_32.jpeg)

![](_page_34_Figure_33.jpeg)

![](_page_34_Figure_34.jpeg)

![](_page_34_Figure_35.jpeg)

![](_page_34_Picture_36.jpeg)

![](_page_34_Figure_37.jpeg)

![](_page_34_Figure_38.jpeg)

![](_page_34_Picture_39.jpeg)

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# **Revisions:** Date: Description: Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Unit Plan, Type A1, Plan & Interior Elevations

Date: September 30, 2022

A4.

![](_page_35_Figure_0.jpeg)

![](_page_35_Figure_1.jpeg)

### Wall Legend

- One hour rated tenant separation wall, U.L. Design U341. See sheet AO.2  $\langle 1 \rangle$
- One hour rated interior load bearing wall, **management** U.L. Design U305. See sheet A0.4  $\langle 2 \rangle$

One hour rated breezeway wall, U.L. Design U356. See sheet A0.2 <<u>3</u>

### Unit Plan Notes

- 1. All floor plan dimensions are to face of stud.
- 2. All interior elevation dimensions are to finished wall.
- 3. Single rod and wire shelf at closets shall have shelf mounted at 5'-9" above finished floor.
- 4. Double rod and wire shelves shall have shelves mounted at 3'-4" and 6'-8" above finished floor.
- 5. 18" shelf at laundry room mounted at 5'-0" above finished floor.
- 6. Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
- 7. Door locations not dimensioned are to midpoint of wall segment, typical.
- 8. Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
- 9. EOC denotes (Edge of Carpet) EOT denotes (Edge of Tile)
- 10. Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.7.
- Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
- 12. Provide 2x6 blocking at all shelving locations. See 8/A6.7.
- 13. Pre-pour gypcrete below all tubs prior to setting tubs. Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
- 14. Install 3A-40B:C fire extinguisher in kitchen cabinet under sink at all units.
- 15. See sheet A4.14 for grab bar blocking locations  $\pounds$  reinforcing at all ground floor units.
- 16. Provide 3  $^{1/2^\circ}$  batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
- 17. Tray ceiling shown on plan occurs at top floor units <u>ONLY</u>.
- 18. See sheet A4.15 for crown molding locations.

![](_page_35_Figure_25.jpeg)

![](_page_35_Picture_26.jpeg)

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Date: Description:

# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

# A Residential Development by: Ft.

Clarke Apartments Residences, LLC

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# Sheet Title:

Unit Plan, Type A2, Plan & Interior Elevations

# Date: September 30, 2022

A4.2




 $\times$ 



# **Revisions:** Date: Description: Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Unit Plan, Type A3, Plans & Interior Elevations

Date: September 30, 2022











### Wall Legend

- One hour rated tenant separation wall, <u>277777777</u> U.L. Design U341. See sheet AO.2
- One hour rated interior load bearing wall, \_\_\_\_\_\_  $\langle 2 \rangle$

3 One hour rated breezeway wall, U.L. Design U356. See sheet AO.2







Kitchen
Scale:3/8" = 1'-0"

### Unit Plan Notes

- 1. All floor plan dimensions are to face of stud.
- 2. All interior elevation dimensions are to finished wall.
- 3. Single rod and wire shelf at closets shall have shelf mounted at 5'-9" above finished floor.
- 4. Double rod and wire shelves shall have shelves mounted at 3'-4" and 6'-8" above finished floor.
- 5. 18" double shelves at laundry room shall have shelves mounted at 4'-8"  $\pounds$  G'-O" above finished floor.
- 6. Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
- 7. Door locations not dimensioned are to midpoint of wall segment, typical. 8. Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
- 9. EOC denotes (Edge of Carpet) EOT denotes (Edge of Tile)





- 10. Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.5.
- 11. Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
- 12. Provide 2x6 blocking at all shelving locations. See 8/A6.5.
- 13. Pre-pour gypcrete below all tubs prior to setting tubs. Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement  $\pounds$  inspection.
- 14. Install 3A-40B:C fire extinguisher in kitchen cabinet under sink at all units.
- 15. See sheet A4.10 for grab abr blocking locations  $\pounds$  reinforcing at all ground floor units.
- 16. Provide 3 <sup>1/2"</sup> batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
- 17. Tray ceiling shown on plan occurs at top floor units <u>ONLY</u>.
- 18. See sheet A4.15 for crown molding locations.



### **Revisions:** Date: Description:

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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft.

Clarke Apartments Residences, LLC

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### Sheet Title:

Unit Plan, Type A4, Plan & Interior Elevations A3 Garage Plan Date:

September 30, 2022

A4.4











Scale:3/8" = 1'-0"





- 8. Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
- 9. EOC denotes (Edge of Carpet) EOT denotes (Edge of Tile)
- 10. Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.7.
- 11. Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
- 12. Provide 2x6 blocking at all shelving locations. See 8/A6.7.
- 13. Pre-pour gypcrete below all tubs prior to setting tubs. Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
- 14. Install 3A-40B:C fire extinguisher in kitchen cabinet under sink at all units.
- 15. See sheet A4.14 for grab bar blocking locations  $\pounds$  reinforcing at all ground floor units.
- 16. Provide 3 <sup>1/2"</sup> batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
- 17. Tray ceiling shown on plan occurs at top floor units <u>ONLY</u>.
- 18. See sheet A4.15 for crown molding locations.























Kitchen Scale:3/8" = 1'-0"









Bath Scale:3/8" = 1'-0"



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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

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### Sheet Title:

Unit Plan, Type A5 & A6, Plans & Interior Elevations

Date: September 30, 2022





### Unit Plan Notes

- 1. All floor plan dimensions are to face of stud.
- 2. All interior elevation dimensions are to finished wall.
- 3. Single rod and wire shelf at closets shall have shelf mounted at 5'-9" above finished floor.
- 4. Double rod and wire shelves shall have shelves mounted at 3'-4" and 6'-8" above finished floor.
- 5. 18" shelf at laundry room mounted at 5'-0" above finished floor.
- 6. Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
- 7. Door locations not dimensioned are to midpoint of wall segment, typical.
- 8. Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
- 9. EOC denotes (Edge of Carpet) EOT denotes (Edge of Tile)
- 10. Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.7.
- 11. Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
- 12. Provide 2x6 blocking at all shelving locations. See 8/A6.7. 13. Pre-pour gypcrete below all tubs prior to setting tubs. Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
- 14. Install 3A-40B:C fire extinguisher in kitchen cabinet under sink at all
- units. 15. See sheet A4.14 for grab bar blocking locations  $\pounds$  reinforcing at all ground floor units.
- 16. Provide 3  $^{1/2^{\circ}}$  batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
- 17. Tray ceiling shown on plan occurs at top floor units <u>ONLY</u>.
- 18. See sheet A4.15 for crown molding locations.





Kitchen Scale:3/8" = 1'-0"

At Ground Level (No Bay Window)



1-0", Fy, 27"x36", 30"x21", 18"x36", F 33"x21" Fy







Kitchen

Scale:3/8" = 1'-0"









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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

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Sheet Title: Unit Plans, Type B1, Plans & Interior Elevations

Date: September 30, 2022





# Unit Type B1A-G - Partial Plan Scale:1/4" = 1-0" At Ground Level (No Bay Window)

Unit Plan Notes	Wall Legend
1. All floor plan dimensions are to face of stud.	One hour rated tenant separation wall, $\frac{1}{U.L.}$ Design U341. See sheet AO.2
2. All interior elevation dimensions are to finished wall.	
3. Single rod and wire shelf at closets shall have shelf mounted at $5'-9''$	U.L. Design U305. See sheet A0.4
above finished floor.	One hour rated breezeway wall,
4. Double rod and wire shelves shall have shelves mounted at $3'-4"$ and	U.L. Design U356. See sheet A0.2

+

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\_**∖**\_

 $\rightarrow$ 

- 4. Double ro 6'-8" above finished floor.
- 5. 18" shelf at laundry room mounted at 5'-0" above finished floor.
- 6. Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
- 7. Door locations not dimensioned are to midpoint of wall segment, typical.
- 8. Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
- 9. EOC denotes (Edge of Carpet) EOT denotes (Edge of Tile)

- 10. Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.7.
- Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
- 12. Provide 2x6 blocking at all shelving locations. See 8/A6.7.
- 13. Pre-pour gypcrete below all tubs prior to setting tubs. Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
- 14. Install 3A-40B:C fire extinguisher in kitchen cabinet under sink at all units.
- 15. See sheet A4.14 for grab bar blocking locations  $\pounds$  reinforcing at all ground floor units.
- 16. Provide 3  $^{1/2^{\circ}}$  batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
- 17. Tray ceiling shown on plan occurs at top floor units ONLY.
- 18. See sheet A4.15 for crown molding locations.



















At Upper Levels







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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. Clarke Apartments Residences, LLC

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### Sheet Title: Unit Plans, Type B1A, Plans & Interior Elevations

Date: September 30, 2022

A4.7



- 7. Door locations not dimensioned are to midpoint of wall segment, typical.
- 8. Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
- 9. EOC denotes (Edge of Carpet) EOT - denotes (Edge of Tile)

finishes. (Vinyl or Tile)

15. See sheet A4.10 for grab abr blocking locations & reinforcing at all ground floor units.

16. Provide 3  $^{1/2^{\circ}}$  batt insulation in floor cavity under all hard surface floor

17. Tray ceiling shown on plan occurs at top floor units <u>ONLY</u>.

18. See sheet A4.15 for crown molding locations.









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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

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### Sheet Title: Unit Plan, Type B2, Plan & Interior Elevations

Date: September 30, 2022

A4.8



### Wall Legend

- One hour rated tenant separation wall, U.L. Design U341. See sheet AO.2
- One hour rated interior load bearing wall, \_\_\_\_\_\_  $\langle 2 \rangle$

3 One hour rated breezeway wall, U.L. Design U356. See sheet AO.2

### Unit Plan Notes

- 1. All floor plan dimensions are to face of stud.
- 2. All interior elevation dimensions are to finished wall.
- 3. Single rod and wire shelf at closets shall have shelf mounted at 5'-9" above finished floor.
- 4. Double rod and wire shelves shall have shelves mounted at 3'-4" and 6'-8" above finished floor.
- 5. 18" shelf at laundry room mounted at 5'-0" above finished floor.
- 6. Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
- 7. Door locations not dimensioned are to midpoint of wall segment, typical.
- 8. Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
- 9. EOC denotes (Edge of Carpet) EOT denotes (Edge of Tile)
- Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.7.
- 11. Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
- 12. Provide 2x6 blocking at all shelving locations. See 8/A6.7.
- 13. Pre-pour gypcrete below all tubs prior to setting tubs. Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
- 14. Install 3A-40B:C fire extinguisher in kitchen cabinet under sink at all units.
- 15. See sheet A4.14 for grab bar blocking locations  $\pounds$  reinforcing at all ground floor units.
- 16. Provide 3 <sup>1/2"</sup> batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
- 17. Tray ceiling shown on plan occurs at top floor units ONLY.
- 18. See sheet A4.15 for crown molding locations.













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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Unit Plan, Type B3, Plan & Interior Elevations

Date: September 30, 2022

A4.9

### Wall Legend

- One hour rated tenant separation wall, U.L. Design U341. See sheet AO.2
- One hour rated interior load bearing wall, U.L. Design U305. See sheet A0.4

One hour rated breezeway wall, U.L. Design U356. See sheet AO.2

### Unit Plan Notes

- 1. All floor plan dimensions are to face of stud.
- 2. All interior elevation dimensions are to finished wall.
- Single rod and wire shelf at closets shall have shelf mounted at 5'-9" above finished floor.
- Double rod and wire shelves shall have shelves mounted at 3'-4" and 6'-8" above finished floor.
- 5. 18" shelf at laundry room mounted at 5'-0" above finished floor.
- 6. Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.
- 7. Door locations not dimensioned are to midpoint of wall segment, typical.
- 8. Towel bars in bathrooms shall be mounted at 48" above finished floor, typical.
- 9. EOC denotes (Edge of Carpet) EOT - denotes (Edge of Tile)
- 10. Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.7.
- Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.
- 12. Provide 2x6 blocking at all shelving locations. See 8/A6.7.
- Pre-pour gypcrete below all tubs prior to setting tubs. Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.
- 14. Install 3A-40B:C fire extinguisher in kitchen cabinet under sink at all units.
- 15. See sheet A4.14 for grab bar blocking locations & reinforcing at all ground floor units.
- 16. Provide 3  $^{1\!/2^\circ}$  batt insulation in floor cavity under all hard surface floor finishes. (Vinyl or Tile)
- 17. Tray ceiling shown on plan occurs at top floor units <u>ONLY</u>.
- 18. See sheet A4.15 for crown molding locations.

1.0° × 1.0° × 1.0°

+





# Revisions: Date: Description:

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Unit Plan, Type B4, Plan & Interior Elevations

Date: September 30, 2022





Unit Type C1-G - Plan Scale:1/4" = 1'-0" At Ground Level (No Bay Window)

### Wall Legend

- One hour rated tenant separation wall, U.L. Design U341. See sheet AO.2  $\langle 1 \rangle$
- One hour rated interior load bearing wall, \_\_\_\_\_\_  $\langle 2 \rangle$
- One hour rated breezeway wall, U.L. Design U356. See sheet A0.2  $\langle 3 \rangle$

### Unit Plan Notes

- 6'-8" above finished floor.

- typical.

- units.
- ground floor units.
- finishes. (Vinyl or Tile)



### 1. All floor plan dimensions are to face of stud.

2. All interior elevation dimensions are to finished wall.

Single rod and wire shelf at closets shall have shelf mounted at 5'-9" above finished floor.

4. Double rod and wire shelves shall have shelves mounted at 3'-4" and

5. 18" shelf at laundry room mounted at 5'-0" above finished floor.

6. Shelves at pantry and linen closets shall be mounted at 1'-4" O.C.

7. Door locations not dimensioned are to midpoint of wall segment, typical. 8. Towel bars in bathrooms shall be mounted at 48" above finished floor,

### 9. EOC - denotes (Edge of Carpet) EOT - denotes (Edge of Tile)

10. Provide continuous 2x6 blocking within wall at top and bottom of all wall hung cabinets. See 4/A6.7.

Provide 2x6 blocking at all towel bars, wall mounted toilet paper holders, shower curtain rods and deck rails.

12. Provide 2x6 blocking at all shelving locations. See 8/A6.7.

13. Pre-pour gypcrete below all tubs prior to setting tubs. Contractor Alternate: Provide access holes at gyp board walls for gypcrete placement & inspection.

14. Install 3A-40B:C fire extinguisher in kitchen cabinet under sink at all

15. See sheet A4.14 for grab bar blocking locations  $\pounds$  reinforcing at all

16. Provide 3  $^{1/2^{\circ}}$  batt insulation in floor cavity under all hard surface floor

17. Tray ceiling shown on plan occurs at top floor units <u>ONLY</u>.

18. See sheet A4.15 for crown molding locations.





Landscape Architecture

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### Revisions:

Date: Description:

### Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential

Development by: Ft. Clarke Apartments Residences, LLC

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### Sheet Title: Unit Plan, Type C1, Plans & Interior Elevations

Date: September 30, 2022







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# Lullwater at Ft. Clarke Apartments

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Sheet Title: Unit Plan, Type C1A, Plan & Interior Elevations

Date: September 30, 2022

A4.12













15"×36"/F 1'-0"

work space



# Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

—36" grab bar

42" grab bar - mounted 12" from

ADA Compliant

TPH 1'-7" AFF &

- \

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water closet

— 36" from rear

wall

rear wall

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6

Scale:3/8" = 1'-0"

2'-9"

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Sheet Title: Unit Plan, Type A1-HC & B1-G-HC, Plans & **Interior Elevations** 

Date: September 30, 2022





Condition (a) Condition (b) This occurs only when a side wall This occurs when there is no adjoining side wall at least 4'-6" in length exists that is at least 4'-6" in length.

Water Closet in Adaptable Bathrooms



Note: the hatched areas are reinforced to receive grab bars.

### Location of Grab Bars and Controls of Adaptable Bathrooms



Note: the hatched areas are reinforced to receive grab bars.

### Location of Grab Bar Blocking and Controls at Transfer Shower





NOTE: ALTERNATE REINFORCING METHODS SHALL BE ACCEPTABLE AS APPROVED BY STRUCTURAL ENGINEER.

### ACCESSIBILITY REQUIREMENTS FOR ALL GROUND FLOOR UNITS

### APPLICABLE CODES

- A. The project shall comply with the State of Florida and Federal Handicapped Accessibility Requirements, including:
- 1. 1988 Fair Housing Act
- 2. 1997 Georgia Accessibility Code
- 3. International Building Code, 2012 Edition, with Georgia Amendments
- 4. ANSI 117.1-2003 These requirements shall be complied with as they pertain to site accessibility, public and common use spaces and all ground floor units.

### SITE & FACILITIES ACCESSIBILITY

- A. SITE ACCESSIBILE ROUTE
- 1. Provide to building entries, common spaces and facilities, routes to comply with the requirements noted on Civil and Landscape drawings.
- B. COMMON USE FACILITIES

1. Accessory structures, including but not limited to, the Leasing Center, Mail Kiosk, Trash compactor, etc., shall be readily available to and usable by handicapped persons per the Federal, State and Municipal regulations indicated above.

 III. <u>DWELLING UNITS</u>
 A. Doors into and within applicable dwelling units shall provide for a clear opening of 32" wide. Corridors and passageways shall have a minimum clear width of 36" and minimum clear headroom of 80".

- B. Deadlock and lever hardware at entry doors to dwelling units shall be located no higher than 48: above finished floor.
- C. LEVEL CHANGES & THRESHOLDS
- 1. Changes in levels within the units that are between  $\frac{1}{4}$ " and  $\frac{1}{2}$ " shall be beveled with a slope no greater than 1:2. Changes in levels greater than  $\frac{1}{2}$ " shall be ramped.
- 2. Thresholds at all exterior doors, including sliding door tracks, shall not be more than  $\frac{3}{4}$ " with
- changes beveled with a slope no greater than 1:2. 3. The landing surfaces at the primary entry doors to the dwelling units shall not be more than  $\frac{1}{2}$ below the finished floor level of the dwelling unit. The finished surface of this area that is located immediately outside the door may be sloped up to 1/8" per foot for drainage.
- D. BATHROOMS
- 1. Where the door swings into a bathroom, a clear floor space of 30"x48" shall be provided within the bathroom that is clear of the path of the door swing. This clear space may include any knee space or toe space available below fixtures.
- 2. Provide 2x8 solid wood blocking in stud walls as indicated in adjoining detail.
- 3. Medicine cabinets, when provided, shall be mounted such that at least one usable shelf shall be no higher than 44" above finished floor.
- E. KITCHENS:
- 1. Cabinet and wall locations shall be held to provide a minimum clear dimension of 40" between all opposing countertops and/or appliance faces.
- 2. A clear floor space of 30"x48" shall be provided at each appliance or fixture to allow a parallel or forward approach.
- F. LIGHT SWITCHES ELECTRICAL OUTLETS & ENVIRONMENTAL CONTROLS: Light switches shall be positioned so that the center of switch is no higher than 44" above finished floor.
- 2. Electrical outlets shall be positioned so that center of outlet 18" above finished floor and the maximum height is 44" above finished floor (when above counters).
- 3. Thermostats and other environmental controls shall be positioned so that the center of the operative controls are no higher than 44" above finished floor.







Unobstructed Side Reach

Side Reach







Closets

Storage Shelves & Closets

<sup>4</sup>∯X MUUU initian in the second s without bevel

Maximum Change in Level



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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. **Clarke Apartments** Residences, LLC

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Sheet Title: Accessibility Diagrams

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A4.14



















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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential

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Sheet Title: Unit Plans, Crown Molding Locations

Date: September 30, 2022

A4.15







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Ft. Clarke, Florida

Apartments

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Sheet Title: Breezeway Plans, Building Type I

Date: September 30, 2022











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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

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Sheet Title: Breezeway Plans, Building Types II

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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

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Sheet Title: Breezeway Plans, Building Type III

Date: September 30, 2022

Sheet Number:



Third Level



















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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential

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Sheet Title: Breezeway Plans, Building Type IV

Date: September 30, 2022

A5.4



95

(RB3)















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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

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Sheet Title: Breezeway Plans, Building Type V

Date: September 30, 2022







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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. Clarke Apartments

Clarke Apartments Residences, LLC

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Sheet Title: Breezeway Plans, Building Type V

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A5.6





Attic Space





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Description:

3 Story Condition

### Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Stair Sections

Date: September 30, 2022

A5.7



(1) Type V Stair Section



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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

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Sheet Title: Stair Sections

Date: September 30, 2022

Sheet Number:



Sloped Slab









Guardrail Elev Sloped 3/4" = 1'-0"



2x4 wood blocking at brackets





Handrail at Guardrail 11



Guardrail Elevation

3/4" = 1'-0"

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 $\frac{\text{TYPICAL ROOF/CEILING}}{\underline{ASSEMBLY}}$ (UL. design No. P522)
Dimensional composition
shingles over felt on OSB
exterior grade sheathing, on
roof truss system @ 24" o.c.
Ceiling shall be  $\frac{5}{8}$ " type ULIX
gypsum board on  $\frac{1}{2}$ " metal
resilient channels @ 16" o.c.
Provide R-38 batt or blown
insulation.

Prefinished aluminum drip flashing on 1x8 fiber-cement fascia over 2x4 sub-fascia. Provide prefinished aluminum gutter & downspout system.

Perforated fiber cement soffit w/1x2 fiber cement trim at fascia

1x6 fiber-cement trim at building face.

<u>TYPICAL EXTERIOR WALL</u> <u>WITH SIDING ASSEMBLY</u> (UL Design No. U356) Smooth fiber-cement panels w/1x3 fiber cement battens @ 24" on center over spun, bonded polyethylene building wrap on exterior grade O.S.B. sheathing on 2x4 wood studs (spacing as per schedule). Provide R-15 batt insulation. Interior face shall be <sup>5</sup>/<sub>8</sub>" type

ULIX gypsum board.

 $\frac{\text{TYPICAL FLOOR/CEILING}}{\underline{\text{ASSEMBLY}}}$ (U.L. Design No. L546)  $^{3}/_{4}$ " gypcrete over  $^{3}/_{4}$ " T&G O.S.B. sheathing on floor trusses @ 24" o.c. Ceiling shall be  $^{5}/_{8}$ " type ULIX gypsum board on  $^{1}/_{2}$ " metal resilient channels @ 16" o.c. IIC 53 per Test No. 6-442-2 Gypcrete - Vinyl floors IIC 74 per Test No. 6-442-3 Gypcrete - Carpet & Pad

Synthetic stone veneer Synthetic stone header course

Vinyl single hung window with insulating glass and insect screen

Synthetic stone sill course <u>TYPICAL STONE EXTERIOR</u> <u>WALL ASSEMBLY</u> Manufactured stone veneer over metal lath on spun bonded polyethylene building wrap on O.S.B exterior grade sheathing on 2x4 studs @ 16" o.c.. Provide R-15 batt insulation. Interior face shall be <sup>5</sup>/<sub>8</sub>" type ULIX gypsum board.

Approximate grade 8" Min. below finished floor.

Reinforced concrete footing. (See structural for size and reinforcing)

3



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### Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft.

Clarke Apartments Residences, LLC

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### TYPICAL ATTIC DRAFTSTOPPING 1/2" gypsum board or plywood, continuous from top plate to

unblocked joints. TYPICAL BREEZEWAY ROOF/CEILING ASSEMBLY

Fiber-cement panel over 5/8" - ULIX gypsum board on  $1/2^{"}$ resilient channels @ 16" o.c. attached to bottom chord of roof truss system

1x4 Fiber-cement trim

### TYPICAL ROOF/CEILING

ASSEMBLY (UL. design No. P522) Dimensional composition shingles over felt on OSB exterior grade sheathing, on roof truss system @ 24" o.c. Ceiling shall be  $\frac{5}{8}$  type ULIX gypsum board on  $^{1\!/}{}_{2}$ " metal resilient channels @ 16" o.c. Provide R-38 batt or blown insulation.

Provide 3 1/2" batt insulation - under non-carpet areas @ 2nd & 3rd levels.

See structural drawings for breezeway truss connection

TYPICAL BREEZEWAY WALL WITH SIDING ASSEMBLY (UL Design No. U356) Horizontal fiber-cement lap siding over spun, bonded - polyethylene building wrap on exterior grade O.S.B. sheathing on wood studs (spacing as per schedule) . Provide R-15 batt insulation. Interior face shall be 5/8" type ULIX gypsum board. Estimated STC = 50.

TYPICAL BREEZEWAY FLOOR/CEILING ASSEMBLY (U.L. Design No. L528)  $1^{1/2}$  lightweight concrete (Sloped to 1" at stair) over waterproof membrane on  $3/_4$ " T&G exterior grade O.S.B. sheathing on 15 1/2" floor truss system. See framing plan for spacing. Extend membrane up wall G" minimum. Ceiling shall be smooth fiber-cement panels on <sup>5</sup>/8" Type ULIX grade gypsum board. Provide 1x4 fiber cement trim at exposed seams.

### 1x4 Fiber-cement trim

TYPICAL FLOOR/CEILING ASSEMBLY (U.L. Design No. L546) 3/4" gypcrete over 3/4" T&G O.S.B. sheathing on floor trusses @ 24" o.c. Ceiling shall be  $\frac{5}{8}$ " type ULIX gypsum board on  $\frac{1}{2}$ " metal resilient channels @ 16" o.c. IIC 53 per Test No. 6-442-2 Gypcrete - Vinyl floors IIC 74 per Test No. 6-442-3 Gypcrete - Carpet & Pad

Varies – minus 1/2" at entry - doors and sloped away to edge of breezeway

Reinforced concrete footing. - (See structural for size and reinforcing)





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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential

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Sheet Title: Sections

Date: September 30, 2022

A6.2











type ULIX exterior grade gypsum board. Provide 1x2 fiber

shingles over felt on OSB exterior grade sheathing, on roof trusses @ 24" o.c. Ceiling shall be  $\frac{5}{8}$  type ULIX gypsum board on  $\frac{1}{2}$  metal resilient channels @ 16" o.c. Provide R-

TYPICAL EXTERIOR WALL WITH SIDING ASSEMBLY Horizontal fiber cement lap polyethylene building wrap on exterior grade O.S.B. sheathing on wood studs (spacing as per schedule) . Provide R-15 batt insulation. Interior face shall be 5/8" type ULIX gypsum board.

TYPICAL EXTERIOR DECK 2x6 P.T. decking on 2x10 floor

TYPICAL FLOOR/CEILING

 $3/_{4}$ " gypcrete over  $3/_{4}$ " T&G O.S.B. sheathing on floor trusses @ 24" o.c. Ceiling shall be  $\frac{5}{8}$  type ULIX gypsum board on  $\frac{1}{2}$ " metal resilient channels @ 16" o.c.. Provide sound attenuation mat  $\pounds 3 \frac{1}{2}$  batt insulation in floor cavity under tile  $\pounds$ vinyl flooring only. Floor above attached garages shall not receive sound attenuation mat but will receive R-30 batt insulation in the

Scale:3/4" = 1'-0"





TYPICAL ATTIC DRAFTSTOPPING

1/2" gypsum board or plywood, continuous from top plate to underside of roof deck. Tape unblocked joints. Provide stencil label indicating "Draftstop -Protect All Openings"

TYPICAL BREEZEWAY ROOF/CEILING ASSEMBLY Fiber cement panel over  $\frac{5}{8}$  type ULIX gypsum board on  $1/2^{"}$  resilient channels @ 16" o.c. attached to bottom chord of roof truss system

1x4 fiber cement trim

TYPICAL ROOF/CEILING ASSEMBLY (UL. design No. P522) Dimensional composition shingles over felt on OSB exterior grade sheathing, on roof trusses @ 24" o.c. Ceiling shall be  $\frac{5}{8}$  type ULIX gypsum board on  $1/2^{"}$  metal resilient

See structural drawings for breezeway truss connection

Provide R-11 batt insulation under non-carpet areas @ 2nd & 3rd levels. (See unit plans for locations)

TYPICAL BREEZEWAY WALL WITH SIDING ASSEMBLY (UL Design No. U356) Smooth fiber cement panels w/1x4 fiber cement batten strips over spun, bonded polyethylene building wrap on exterior grade O.S.B. sheathing on wood studs (spacing as per schedule). Provide R-15 batt insulation. Interior face shall be  $\frac{5}{8}$  type ULIX gypsum board. Estimated STC = 50.

TYPICAL BREEZEWAY FLOOR/CEILING ASSEMBLY (U.L. Design No. L528)  $1\frac{1}{2}$  lightweight concrete (Sloped to 1" at stair) over waterproof membrane on 3/4" T&G exterior grade O.S.B. sheathing on 15  $1/2^{"}$ floor truss system. See framing plan for spacing. Extend membrane up wall 6" minimum. Ceiling shall be smooth fiber cement panels on 5/8"type ULIX gypsum board. Provide  $^{3}/_{4}$ "x2  $^{1}/_{2}$ " fiber cement trim at seams.

1x4 fiber cement trim

TYPICAL FLOOR/CEILING ASSEMBLY (U.L. Design No. L521)  $3/_{4}$ " gypcrete over  $3/_{4}$ " T&G O.S.B. sheathing on floor trusses @ 24" o.c. Ceiling shall be  $\frac{5}{8}$  type 'C' gypsum board on  $\frac{1}{2}$ " metal resilient - channels @ 16" o.c.. Provide sound attenuation mat & R-11 batt insulation in floor cavity under tile  $\pounds$ vinyl flooring only. Floor above attached garages shall not receive sound attenuation mat but will receive R-30 batt insulation in the floor cavity.

1x4 fiber cement trim

Varies – minus 1/2" at entry doors and sloped away to edge of breezeway

Reinforced concrete footing. (See structural for size and reinforcing)

channels @ 16" o.c. Provide R-38 batt or blown insulation.



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### Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. **Clarke Apartments** Residences, LLC

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Sheet Title: Sections

Date: September 30, 2022

A6.4



Third Level

First Level



TYPICAL ROOF/CEILING ASSEMBLY (UL. design No. P522) Dimensional composition shingles over felt on OSB exterior grade sheathing, on roof truss system @ 24" o.c. Ceiling shall be  $\frac{5}{8}$  type ULIX gypsum board on  $\frac{1}{2}$  metal resilient channels @ 16" o.c. Provide R-38 batt or blown insulation.

TYPICAL EXTERIOR WALL WITH SIDING ASSEMBLY (UL Design No. U356) Horizontal fiber-cement lap siding over spun, bonded polyethylene building wrap on exterior grade O.S.B. sheathing on wood studs (spacing as per schedule) . Provide R-15 batt insulation. Interior face shall be  $\frac{5}{8}$  type ULIX gypsum board.

TYPICAL FLOOR/CEILING ASSEMBLY (U.L. Design No. L546) 3/4" gypcrete over 3/4" T&G O.S.B. sheathing on floor trusses @ 24" o.c. Ceiling shall be  $\frac{5}{8}$ " type ULIX gypsum board on 1/2" metal resilient channels @ 16" o.c.. Provide sound attenuation mat  $\pounds$ R-11 batt insulation in floor cavity under tile & vinyl flooring only. Floor above attached garages shall not receive sound attenuation mat but will receive R-30 batt insulation in the floor cavity.

TYPICAL STONE EXTERIOR WALL ASSEMBLY Manufactured stone veneer over metal lath on spun bonded polyethylene building wrap on O.S.B exterior grade sheathing on 2x4 studs @ 16" o.c.. Provide R-15 batt insulation. Interior face shall be <sup>5</sup>/<sub>8</sub>" type ULIX gypsum Reinforced concrete footingb structural for size and reinforcing)

 $\frac{\text{Typical 5 Story Section}}{\text{Scale:1/2"} = 1-0"}$ 



Fiber cement panel over  $\frac{5}{8}$ type ULIX exterior grade



Split Tenant Separation 5 Story Scale: 1/2" = 1-0"



Section at Deck 5 Story Scale:1/2" = 1'-0"



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# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. **Clarke Apartments** Residences, LLC

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TYPICAL ATTIC DRAFTSTOPPING 1/2" gypsum board or plywood, continuous from top plate to

unblocked joints.

underside of roof deck. Tape

TYPICAL ROOF/CEILING ASSEMBLY (UL. design No. P522) Dimensional composition shingles over felt on OSB exterior grade sheathing, on roof truss system @ 24" o.c. Ceiling shall be  $\frac{5}{8}$  type ULIX gypsum board on  $1/2^{"}$  metal resilient channels @16" o.c. Provide R-38 batt or blown insulation.

TYPICAL FLOOR DRAFTSTOPPING  $\frac{1}{2}$ " gypsum board or plywood, continuous from top plate to underside of flooring.

TYPICAL TENANT SEPARATION ASSEMBLY (UL. design No. U341) 5/8" Type ULIX gypsum board each side of double 2x4 stud wall with air space (see schedule for stud grade & spacing). Stagger studs as shown in plan view. Provide R13 batt insulation at both sides. STC 57 per California office of noise control assembly No. 1.2.4.1.5.4

1" airspace - see building plans.

TYPICAL FLOOR/CEILING ASSEMBLY (U.L. Design No. L546) 3/4" gypcrete over 3/4" T&G O.S.B. sheathing on floor trusses @ 24" o.c. Ceiling shall be  $\frac{5}{8}$ " type ULIX gypsum board on  $\frac{1}{2}$ " metal resilient channels @ 16" o.c. IIC 53 per Test No. 6-442-2 Gypcrete – Vinyl floors IIC 74 per Test No. 6-442-3 Gypcrete - Carpet & Pad

Reinforced concrete footing. - (See structural for size and reinforcing)

Tenant Separation 4 story Scale:1/2" = 1'-0"

4





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### **Revisions:**

Date:	Description:
09.24.19	A. ASI #2- Waterproofing

Construction Documents

### Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Details

Date: September 30, 2022

Sheet Number:





1x fiber-cement trim block. Size varies - see 3/A6.8. Provide sealant at entire perimeter. Coordinate locations with electrical & mechanical contractors. Locations include: deck/patio lights

emergency lights at breezeway fire bell audible alarm/strobe fire alarm pull stations exterior outlet locations (condensers and patios) disconnect switches (at condensers) hose bibs

Typical Exterior Wall Assembly with fiber cement lap siding

6 Backer at Siding Scale:1 1/2"= 1'-0"



Lease Center - Plan Scale:3/16" = 1'-0"



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### **Revisions:**

Description: Date:

### Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

A Residential Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Lease Center, Plan

Date: September 30, 2022

A7.1







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### Revisions:

Date: Description:

Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Lease Center Roof Plan

Date: September 30, 2022

A7.3







fiber cement battens @ Prefinished aluminum gutter &



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### **Revisions:**

Date: Description:

Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Lease Center - Building Elevations

Date: September 30, 2022









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### **Revisions:**

Date: Description:

### Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. Clarke Apartments

Clarke Apartments Residences, LLC

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Sheet Title: Lease Center, Building Sections

Date: September 30, 2022

A7.5



Fixed window with insulating

Horizontal fiber cement lap

Composition roof shingles

Column wrapped with  $^{5/_4}$ fiber cement trim

Granite countertop island with waterfall edge

Synthetic stone veneer with water table cap course



Mail Kiosk - Roc
Roof Area to be Vented
Min. Net Ventilation Area (1/300)
Continuous Soffit Ventilation (Low) @ 9 sc
Continuous Soffit Ventilation (High) @ 9 sc
Continuous Ridge Ventilation @ 9 sq. in./In.
Total Ventilation Provided

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Kevisions:Date:Description:
Construction Documents
T 11

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

### A Residential Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Mail Room, Plan, Sections & Elevations

Date: September 30, 2022




Maintenance Elevation

Scale:1/8" = 1'-0"

4









Desk Elevation

Scale:3/8" = 1'-0"

5







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## **Revisions:**

Date: Description:

## Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

# A Residential

Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Maintenance Building, Plans & Elevations

Date: September 30, 2022

Sheet Number:

A7.7







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# **Revisions:**

Date: Description:

## Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

# A Residential Development by: Ft.

Clarke Apartments Residences, LLC

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Sheet Title: Trash Enclosure, Plans & Elevations

Date: September 30, 2022

Sheet Number:



- Fiber cement trim over beam

Prefinished aluminum drip flashing

saddle/cap beam connector

Synthetic stone water table cap

Painted 6" tube steel gate post

Synthetic stone veneer over reinforced concrete masonry

window schedule										
mark	dimensions		detail		ele∨.	material	remarks	Location		
		head	jamb	sill						
Units				•						
A	1'-6"×5'-0"	7/A8.2	5/A8.2	8/A8.2	6	vinyl	single hung w/insulating glass	bay window area		
В	1'-6"×6'-0"	1/A8.2	2/A8.2	8/A8.2	11	vinyl	fixed w/insulating tempered glass	sidelite at foyer		
С	2'-4"x5'-0"	1,4/A8.2	2,5/A8.2	3,6/A8.2	7	vinyl	single hung w/insulating glass	bedrooms		
D	3'-0"×5'-0"	1,4/A8.2	2,5/A8.2	3,6/A8.2	7	vinyl	single hung w/insulating glass	living area		
E	(2) 3'-0"×5'-0"	1,4/A8.2	2,5/A8.2	3,6/A8.2	8	vinyl	single hung w/insulating glass	living area		
F	(2) 2'-0"×5'-0"	1,4/A8.2	2,5/A8.2	3,6/A8.2	8	vinyl	single hung w/insulating glass	sunroom		
G	(3) 3'-0"×5'-0"	1,4/A8.2	2,5/A8.2	3,6/A8.2	9	vinyl	single hung w/insulating glass	master bedroom		
Lease	Center									
LA	3'-0"×3'-0"	7/A8.2	5/A8.2	8/A8.2	3	vinyl	fixed, spandrel glass	dormer window		
LB	3'-0"×3'-0"	7/A8.2	5/A8.2	8/A8.2	4	vinyl	fixed transom w/insulating glass	reception entry, upper reception		
LC	3'-0"×6'-0"	7/A8.2	5/A8.2	8/A8.2	12	vinyl	fixed, tempered w/insulating glass $\pounds$ 1'-6" fixed transom	уода		
LD	3'-0"×7'-6"	7/A8.2	5/A8.2	3/A8.2	12	vinyl	fixed sidelite, tempered insulating glass	reception		
LE	(2) 3'-0"×6'-0"	7/A8.2	5/A8.2	3/A8.2	10	vinyl	single hung w/insulating glass & 3'-0" flxed transom	leasing agents		
LF	(2) 3'-0"×6'-0"	7/A8.2	5/A8.2	3/A8.2	10	vinyl	single hung w/insulating glass $\pounds$ 1'-6" fixed transom	fitness, gathering, work room		
LG	(2) 3'-0"×6'-0"	7/A8.2	5/A8.2	8/A8.2	2	vinyl	single hung w/insulating glass	kitchen, closing		
LH	3'-0"×6'-0"	7/A8.2	5/A8.2	8/A8.2	1	vinyl	fixed transom w/insulating glass	reception		
Mainte	nance Building	·								
MA	3'-0"×4'-0"	4/A8.2	5/A8.2	3/A8.2	5	vinyl	single hung w/insulating glass	desk, maintenance area		
Mail Bu	uilding				•					
PA	3'-0"x1'-6"	4/A8.2	5/A8.2	3/A8.2	5	vinyl	fixed transom w/insulating glass	mail room, packages		

room finish schedule										
room name		floor			wall		ceiling			remarks
	mat.	finish	mat.	fin.	mat.	fin.	mat.	fin.	hgt.	
Units	-	• •								
Foyer	gypcrete	vinyl	wood	paint	gyp. bd.	paint	gyp .bd.	paint	9'-0"	
Living	gypcrete	carpet/vinyl	wood	paint	gyp. bd.	paint	gyp .bd.	paint	9'-0"	vinyl strip flooring at ground floor units
Sunroom	gypcrete	carpet/vinyl	wood	paint	gyp. bd.	paint	gyp .bd.	paint	9'-0"	vinyl strip flooring at ground floor units
Dining	gypcrete	carpet/vinyl	wood	paint	gyp. bd.	paint	gyp .bd.	paint	9'-0"	vinyl strip flooring at ground floor units
Bedroom(s)	gypcrete	carpet	wood	paint	gyp. bd.	paint	gyp .bd.	paint	9'-0"	
Kitchen	gypcrete	vinyl	wood	paint	gyp. bd.	paint	gyp .bd.	paint	9'-0"	
Bath(s)	gypcrete	vinyl	wood	paint	gyp. bd.*	paint	gyp .bd.*	paint	9'-0"	* moisture resistant gypsum board.
Laundry	gypcrete	vinyl	wood	paint	gyp. bd.	paint	gyp .bd.	paint	9'-0"	
Closet(s)	gypcrete	carpet*	wood	paint	gyp. bd.	paint	gyp .bd.	paint	9'-0"	* flooring to match adjacent spaces
Storage	gypcrete	concrete	wood	paint	gyp. bd.	paint	gyp .bd.	paint	9'-0"	
Mechanical	gypcrete	sealed concrete	1	-	gyp. bd.	paint	gyp .bd.	paint	9'-0"	
Lease Center										
Reception	concrete	wood/tile	wood	paint	gyp. bd.	paint	gyp .bd.	paint	22'-0"	
Lease Agents	concrete	wood	wood	paint	gyp. bd.	paint	gyp .bd.	paint	10'-0"	
Club Room	concrete	wood	wood	paint	gyp. bd.	paint	gyp .bd.	paint	14'-0"	
Manager	concrete	carpet	wood	paint	gyp. bd.	paint	gyp .bd.	paint	10'-0"	
Assistant Manager	concrete	carpet	wood	paint	gyp. bd.	paint	gyp .bd.	paint	10'-0"	
Work Room/Break Room	concrete	carpet/tile	wood	paint	gyp. bd.	paint	gyp .bd.*	paint	10'-0"	* molsture resistant gypsum board at sink wall
Packages	concrete	carpet	wood	paint	gyp. bd.	paint	gyp .bd.*	paint	10'-0"	
Staff Restroom	concrete	tile	tile	paint	gyp. bd.	paint	gyp .bd.	paint	10'-0"	
Golf Cart Garage	concrete	sealed concrete	wood	paint	gyp. bd.	paint	gyp .bd.	paint	10'-0"	
Storage	concrete	sealed concrete	wood	paint	gyp. bd.	paint	gyp .bd.	paint	10'-0"	
Pool Equipment	concrete	sealed concrete	wood	paint	gyp. bd.	paint	gyp .bd.	paint	10'-0"	
Vestibule & Corridor	concrete	tile	wood	paint	gyp. bd.	paint	gyp .bd.	paint	10'-0"	
Closing	concrete	carpet	wood	paint	gyp. bd.	paint	gyp .bd.*	paint	10'-0"	
Cyber Café	concrete	carpet	wood	paint	gyp. bd.	paint	gyp .bd.*	paint	10'-0"	
Gathering	concrete	wood	wood	paint	gyp. bd.	paint	gyp .bd.	paint	10'-0"	
Bar/Kitchen	concrete	wood	wood	paint	gyp. bd.	paint	gyp .bd.	paint	10'-0"	* moisture resistant gypsum board at sink wall
Men	concrete	tile	tile	paint	gyp. bd.	paint	gyp .bd.	paint	10'-0"	* moisture resistant gypsum board.
Women	concrete	tile	tile	paint	gyp. bd.	paint	gyp .bd.	paint	10'-0"	* moisture resistant gypsum board.
Fitness Center	concrete	rubber fitness flooring	wood	paint	gyp. bd.	paint	gyp .bd.	paint	10'-0"	vauted ceiling
Porch	concrete	stained & stamped conc.	-	paint	fiber cement	paint	fiber cement	paint	10'-0"	
Laundry	concrete	tile	tile	paint	gyp. bd.	paint	gyp .bd.	paint	10'-0"	
Mechanical	concrete	sealed concrete	wood	paint	gyp. bd.	paint	gyp .bd.	paint	10'-0"	
Carwash/Maintenance Build	ling									
Maintenance Area	concrete	sealed concrete	wood	paint	gyp. bd.	paint	gyp .bd.	paint	9'-0"	
Maintenance Garage Area	concrete	sealed concrete	wood	paint	gyp. bd.	paint	gyp .bd.	paint	9'-0"	
Tollet	concrete	vinyl	wood	paint	gyp. bd.	paint	gyp .bd.	paint	9'-0"	* moisture resistant gypsum board.

	door schedule									
mark	dimensions		detail		elev.	frame mat.	label	hdw.	remarks	location
		head	jamb	sill						
Units		1 1	2							
1	3'-0"x6'-8"x1 3/4"	9/A8.3	-	7/A8.3	С	Metal	20 min	1	Insulated metal, 2 panel entry door	unit entry
2	(2) 3'-0"x6'-8"x1 3/4"	8/A8.3	11/A8.3	12,13/A8.3	H	Wood	-	2	Insulated metal, patio doors w/insulating glass & fixed leaf	deck
3	3'-0"x6'-8"x1 3/4"	10/A8.3	11/A8.3	12,13/A8.3	G	Wood	-	3	Insulated metal, patio door w/insulating glass	deck
4	3'-0"×6'-8"×1 3/4"	8/A8.3	-	7/A8.3	С	Wood	-	4	insulated metal, 2 panel door	FDC closet
5	3'-0"×6'-8"×1 3/4"	9/A8.3	-	7/A8.3	С	Wood	20 min	5	insulated metal, 2 panel door	garage entry from unit
6	3'-0"×6'-8"×1 3/4"	9/A8.3	-	7/A8.3	С	Wood	20 min	5	insulated metal, 2 panel door	garage entry from breezeway
7	3'-0"×6'-8"×1 3/4"	9/A8.3	-	7/A8.3	С	Wood	-	4	metal, 2 panel door	storage closets
8	2'-10"x6'-8"x1 3/8"	6/A8.3 sim.	6/A8.3	-	С	Wood	-	6	hardboard, 2 panel	bedrooms, baths
8.1	3'-0"×6'-8"×1 3/8"	6/A8.3 sim.	6/A8.3	-	С	Wood	-	6	hardboard, 2 panel	HC units, bedrooms, baths
9	2'-10"x6'-8"x1 3/8"	6/A8.3 sim.	6/A8.3	-	С	Wood	-	7	hardboard, 2 panel	closets, laundry
9.1	3'-0"x6'-8"x1 3/8"	6/A8.3 sim.	6/A8.3	-	С	Wood	-	7	hardboard, 2 panel	HC units, closets, laundry
10	2'-6"x6'-8"x1 3/8"	6/A8.3 sim.	6/A8.3	-	С	Wood	-	8	hardboard. 2 panel	closets
11	2'-0"x6'-8"x1 3/8"	6/A8.3 sim.	6/A8.3	-	B	Wood	-	7	hardboard, 2 panel	closets
12	1'-6"x6'-8"x1 3/8"	6/A8 3 sim	6/483	-	A	Wood	-	7	hardboard 2 panel	closets
13	1'-3"x6'-8"x1 3/8"	6/A8 3 sim	6/A8 3	-	A	Wood	-	7	hardboard 2 panel	closets
14	9'-0"×7'-0"	3/48 3	4/483	5/483		Wood	-	0	Insulated sectional garage door	araaes
15	10'-0"x7'-0"	3/483	4/48.3	5/483		Wood	-	0	Insulated sectional garage door	HC garage
Resident	ial Buildina	0,7 0.0		2// 0.2	-	*****				
PB1	3'-0"x6'-8"v1 3/4"	4/483	5/483	8/483	C	Metal	45 min	17	Insulated metal 2 panel entry door	Mechanical
DR7	3' 0"x6' 8"x1 3/4"	4/20.5	5/483	8/483	<u> </u>	Motal	45 min.	17 18	Insulated metal, 2 panel entry deer papic hardware	Gtorgao
DB3	3' 0"V6' 9"V1 3/4"	4/70.0	0/7-0.0	0/70.0	0	Motal	40 min.	10	Insulated metal, 2 panel entry door -panic hardware	Fire deer elevator entrance
	0-0 x0-0 x1 0/4	_	-	-		Пети	49 11111.	9	insulated metal, ICC single hold open w/ vision panel	
Lease C		0/403		7/402	1.1					
	$(2) 3 - 0 \times 0 - 0 \times 1 3/4$	9/20.3	-	7/40.3		Wood	-	2	wood, entry doors w/insulating glass	
-2	$\frac{5-0.86-0.815/4}{(2).2100000000000000000000000000000000000$	9/A8.5	-	7/20.3		Wood	-	5	wood, entry door w/insulating glass	
	$(2) 3 - 0 \times 8 - 0 \times 1 3 / 4$	9/A8.3	-	7/A8.3	ш	Wood	-	10	insulated metal doors, 2 panel	
L4	$3-0\times8-0\times13/8$	9/48.3	-	//A8.3	C	Wood	-	4	Insulated metal door, 2 panel	pool storage
	$(2) 3 - 0 \times 8 - 0 \times 1 3 / 4$	6/A8.3 sim.	6/A8.3	-	- 1	Wood	-	10	wood patio door W/tempered glass	
L0	3-0×8-0×13/4	6/A8.3 sim.	6/A8.3	-		Wood	-	13	wood patio door w/tempered glass	manager
	3-0 x8-0 x1 3/8	6/A8.3 sim.	6/ 48.3	-	0	Wood	-	13	solia core, 2 panel	work room/ break room
_L8	3-0 x8-0 x1 3/8	6/A8.3 sim.	6/ 48.3	-	C	Wood	-	01	hardboard, 2 panel	statt restroom
L9	<u>3'-0'x8'-0'x  3/8'</u>	6/A8.3 sim.	6/48.3	-	В	Wood	-	/	hardboard, 2 panel	coat closet
LIO	3'-0'x8'-0'x  3/8"	6/A8.3 sim.	6/48.3	-	C	Wood	-	8	hardboard, 2 panel	mech., electrical
	3-0"x8-0"x1 3/8"	6/A8.3 sim.	6/A8.3	-	0	Wood	-	13	hardboard, 2 panel	key track
L12	3'-0"x8'-0"x1 3/8"	6/A8.3 sim.	6/A8.3	-	C	Wood	-	7	hardboard, 2 panel	manager closet
L13	3'-0"x8'-0"x1 3/8"	6/A8.3 sim.	6/A8.3	-	C	Wood	-	15	insulated metal doors, 2 panel	men, women
L14	3'-0"x8'-0"x1 3/4"	6/A8.3 sim.	6/A8.3	-	J	Wood	-	16	wood, entry door w/insulating glass	fitness
L15	3'-0"x8'-0"x1 3/4"	6/A8.3 sim.	6/A8.3	-	J	Wood	-	20	wood patio door w/insulating glass	fitness vestibule
L16	3'-0"x8'-0"x1 3/4"	6/A8.3 sim.	6/A8.3	-	J	Wood	-	12	wood patio door w/tempered glass	lease agents
L17	3'-0"x8'-0"x1 3/4"	6/A8.3 sim.	6/A8.3	-	С	Wood	-	14	insulated metal door, 2 panel	manager corridor
L18	3'-0"x8'-0"x1 3/4"	9/A8.3	-	7/A8.3	J	Wood	-	3	wood, entry door w/insulating glass $\pounds$ 1'-7" High Transom	staff vestibule
L19	2'-6"×8'-0"×1 3/8"	6/A8.3 sim.	6/A8.3	-	С	Wood	-	8	hardboard, 2 panel	rent drop closet
L20	2'-6"x8'-0"x1 3/8"	6/A8.3 sim.	6/A8.3	-	С	Wood	-	7	hardboard, 2 panel	reception coat closet
Mainten	ance Building									
M1	3'-0"×6'-8"×1 3/4"	9/A8.3	-	7/A8.3	С	Metal	-	5	insulated metal, 2 panel door	maintenance entry
M2	3'-0"×6'-8"×1 3/4"	9/A8.3	-	-	С	Metal	-	4	insulated metal, 2 panel door	maintenance garage entry
MЗ	3'-0"×6'-8"×1 3/8"	6/A8.3 sim.	6/A8.3	-	С	Wood	-	6	Hardboard, 2 panel	toliet
M4	8'-0"×7'-0"	1/A8.3	2/A8.3	5/A8.3	L	Wood	-	9	insulated sectional garage door	maintenance garage
M5	3'-0"x6'-8"x1 3/4"	<i>9/A</i> 8.3	-	7/A8.3	С	Metal	-	5	wood, entry door w/insulating glass	pet wash/bike kitchen
Mail Buil	ding				-			*		
P	3'-0"×6'-8"×1 3/4"	9/A8.3	-	7/A8.3	J	Metal	-	16	Insulated metal, patio door w/insulating glass	mail entry
P2	3'-0"×6'-8"×1 3/4"	6/A8.3 sim.	6/A8.3	-	J	Metal	-	21	Insulated metal, patio door w/insulating glass	package room
Note: A	l mechanical closets to hav	/e storeroom la	ocksets					•		
			-							

Set No. 1   Entry lockset   Set No. 5   Entry lockset   Set No. 5   Entry lockset   Set No. 5   Entry lockset   Set No. 7   Storecom Lockset     Self closing hinges   Deadbolt   Deadbolt   Deadbolt   Set No. 11   Sliding Barn Door Hardware   Set No. 17   Storecom Lockset     Deadbolt   Dear stop   Weather stripping   Door stop   Threshold   Set No. 12   Storecom lockset   Set No. 18   Storecom Lockset     Door stop   Threshold   Set No. 6   Privacy lockset   Dear stop   Door stop   Set No. 12   Storecom lockset   Door Stop     Set No. 2   Entry lockset   Set No. 6   Privacy lockset   Door stop   Set No. 13   Office Lockset   Door stop     Deadbolt   Set No. 7   Passage lockset   Door stop   Set No. 13   Office Lockset   Door stop     Set No. 19   Operating Pulls   Set No. 14   Storecom Lockset   Even No. 19   Set No. 19   Set No. 19	
Self closing hinges   Deadbolt   Concealed Silde at Sill   Self closing hinges     Deadbolt   Door stop   Door stop   Threshold     Peep hole   Weather stripping   Door stop   Door Stop     Door stop   Threshold   Set No. 12   Storeroom lockset     Weather stripping   Set No. 6   Privacy lockset   Door stop     Threshold   Set No. 6   Privacy lockset   Closer     Deadbolt   Set No. 7   Passage lockset   Door stop     Dummy trim   Set No. 7   Passage lockset   Door stop     Set No. 12   Storeroom lockset   Door stop   Door stop     Set No. 2   Entry lockset   Set No. 7   Passage lockset   Door stop     Dummy trim   Door stop   Set No. 13   Office Lockset   Door stop     Set No. 14   Storeroom Lockset   Door stop   Set No. 19   Operating Pulls     Flueb bolts (2)   Set No. 14   Storeroom Lockset   Full heigh binges	
Deadbolt   Door stop   Door stops (2)   Threshold     Peep hole   Weather stripping   Door stop   Door Stop     Door stop   Threshold   Set No. 12   Storeroom lockset     Weather stripping   Deadbolt   Set No. 18   Storeroom Lockset     Threshold   Set No. 6   Privacy lockset   Closer   Panic hardware     Threshold   Set No. 7   Passage lockset   Set No. 13   Office Lockset   Door stop     Dummy trim   Door stop   Door stop   Set No. 19   Operating Pulls	
Peep hole   Weather stripping   Door Stop   Door Stop     Door stop   Threshold   Set No. 12   Storeroom lockset   Set No. 12   Storeroom lockset     Weather stripping   Threshold   Set No. 6   Privacy lockset   Door stop   Set No. 12   Storeroom lockset     Threshold   Set No. 6   Privacy lockset   Closer   Panic hardware   Panic hardware     Set No. 2   Entry lockset   Set No. 7   Passage lockset   Door stop   Door stop     Dummy trim   Set No. 7   Passage lockset   Door stop   Set No. 13   Office Lockset   Door stop     Flush holts (2)   Set No. 14   Storeroom Lockset   Eul helds bigges	
Door stop   Threshold   Set No. 12   Storeroom lockset   Set No. 18   Storeroom Lockser     Weather stripping   Set No. 6   Privacy lockset   Closer   Panic hardware     Threshold   Set No. 6   Privacy lockset   Closer   Panic hardware     Door stop   Set No. 7   Passage lockset   Door stop   Door stop     Dummy trim   Door stop   Set No. 13   Office Lockset   Door stop     Flush balts (2)   Set No. 7   Set passage lockset   Set No. 14   Storeroom Lockset	
Weather stripping   Deadbolt   Set No. 18   Storeroom Lockser     Threshold   Set No. 6   Privacy lockset   Closer   Panic hardware     Door stop   Door stop   Set No. 13   Office Lockset   Door stop     Set No. 2   Entry lockset   Set No. 7   Passage lockset   Door stop     Dummy trim   Door stop   Set No. 14   Storeroom Lockset   Set No. 19     Flush bolts (2)   Set No. 14   Storeroom Lockset   Full heigh binges	
Threshold   Set No. 6   Privacy lockset Door stop   Closer Door stop   Panic hardware Threshold     Set No. 2   Entry lockset   Set No. 7   Passage lockset   Set No. 13   Office Lockset   Door stop     Deadbolt   Set No. 7   Passage lockset   Door stop   Set No. 13   Office Lockset   Door stop     Dummy trim   Door stop   Set No. 14   Storeroom Lockset   Set No. 19   Operating Pulls     Elush bolts (2)   Set No. 14   Storeroom Lockset   Full beigh binges	
Set No. 2   Entry lockset   Set No. 7   Passage lockset   Dear stop     Deadbolt   Set No. 7   Passage lockset   Door stop   Set No. 13   Office Lockset   Door stop     Dummy trim   Door stop   Set No. 13   Office Lockset   Door stop   Set No. 19   Operating Pulls     Elush balts (2)   Set No. 14   Storeroom Lockset   Full beigh binges	
Deadbolt Set No. 7 Passage lockset Door stop   Dummy trim Door stop Set No. 19 Operating Pulls   Elush bolts (2) Set No. 14 Storeroom Lockset Full beigh binges	
Dummy trim   Door stop   Set No. 19   Operating Pulls     Flush balts (2)   Set No. 14   Storeroom Lockset   Full beigh binges	
Flush holts (2) Set No. 14. Storeroom Lackset Full heide hinges	
Door stops (2)Set No. 8Storeroom locksetDoor stopExit device	
Weather strippingDoor stopThresholdcloser (aluminum)	
Threshold Mag holder	
Set No. 9 Manufacturer's door hardware Set No. 15 Deadbolt Surface mounted sr	10ke seal
Set No. 3 Entry lockset Belt driven electric door opener Push Pull Plates	
Self closing hingesmounted on rubber isolation padsCloserSet No. 20Passage lockset	
Door stopProvide (2) electronic transmittersDoor stopDeadbolt	
Weather stripping Threshold Closer	
Threshold Set No. 10 Storeroom lockset Door stop	
Deadbolt Set No. 16 Card Reader	
Set No. 4 Storeroom lockset Dummy trim Deadbolt Set No. 21 Locker system acce	SS
Weather strippingFlush bolts (2)Self closing hingesStoreroom Lockset	
Threshold Weather stripping Door stop Self closing hinges	
Door stop Threshold Weather stripping Door stop	
Door stops (2) Threshold	
door & window elevations	



















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Planning • Architecture Landscape Architecture

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## Revisions:

Date: Description:

## Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

## A Residential Development by: Ft. Clarke Apartments Residences, LLC

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Sheet Title: Schedules, Door & Window Elevations

Date: September 30, 2022

Sheet Number:











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# Revisions:

Date: Description:

# Construction Documents

# Lullwater at Ft. Clarke Apartments

Ft. Clarke, Florida

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Sheet Title: Window Details

Date: September 30, 2022

Sheet Number:











2) Garage Door Jamb Siding Scale:3" = 1-0"









Garage Door Sill Scale:3" = 1-0"

Door Head Siding Scale:3" = 1'-0"

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