

SITE CONSTRUCTION DRAWINGS FOR LULLWATER AT WEST COLUMBIA SUNSET BLVD. @ HENBET DR.

**LOCATED IN THE CITY OF WEST COLUMBIA,
LEXINGTON COUNTY, SOUTH CAROLINA**

UTILITY CONTACTS:

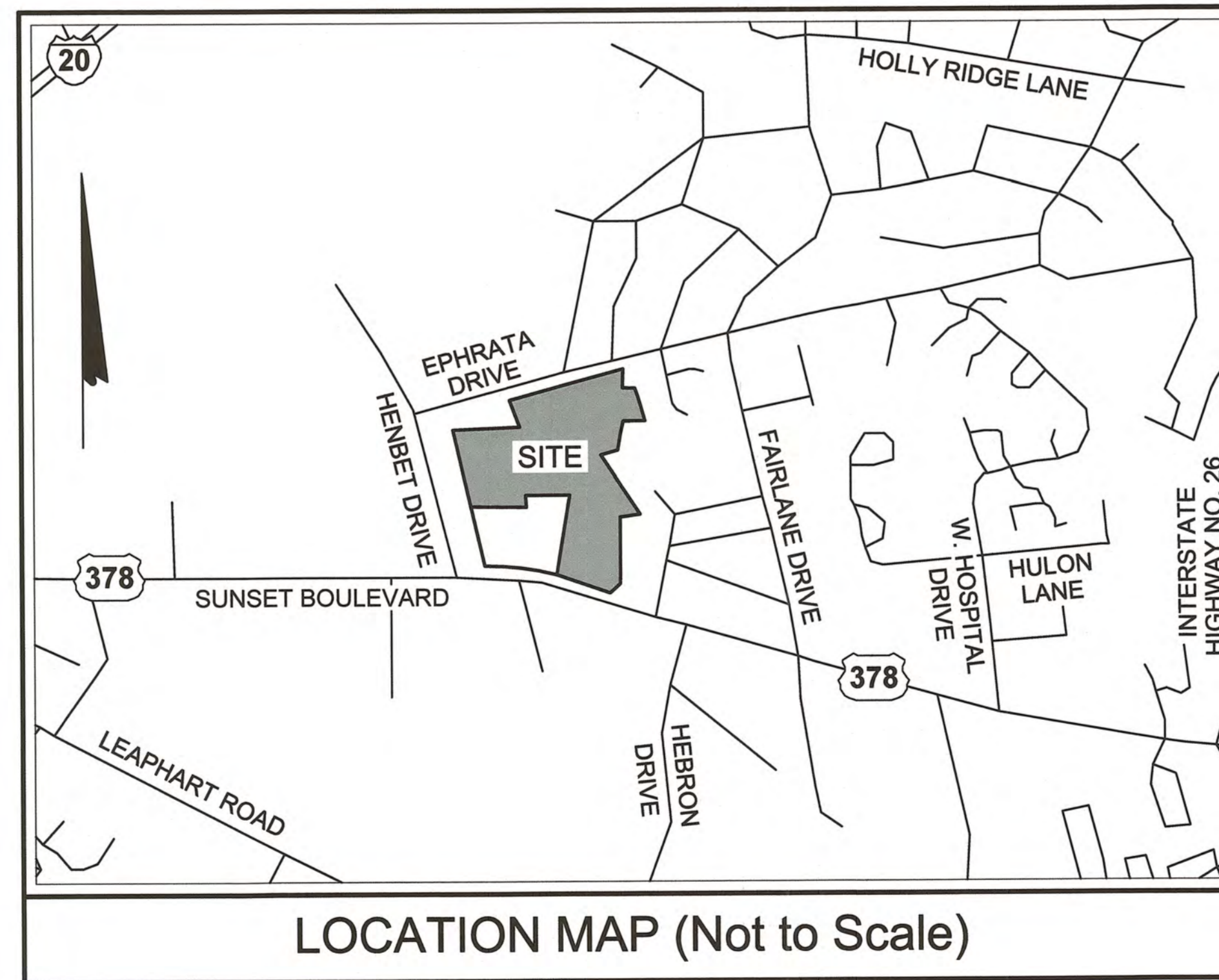
WATER AND SEWER:
CITY OF WEST COLUMBIA
MR ANDY ZAENGLE
200 NORTH 12th STREET
WEST COLUMBIA, SC 29169
803.791.1880
email: azaengle@westcolumbiasc.gov

ELECTRICAL:
DOMINION ENERGY
PATRICK BLUME
(p) 803-217-5523
(c) 803-210-9891
email: patrick.blume@dominionenergy.com

GAS:
DOMINION ENERGY
DWIGHT DELOACH
609 OLD TAYLOR RD
CAYCE, SC 29033
803-807-1327
email: hrddeloach@dominionenergy.com

TELEPHONE:
AT&T
JEFF RICH
1600 WILLIAMS ST., ROOM 4410
COLUMBIA, SC 29201
803.401.2544

CABLE:
SPECTRUM
NEW SALES GROUP
DAVID MENKIN
(315) 883-5318
(866) 271-7664



LOCATION MAP (Not to Scale)

APPLICANT'S CERTIFICATION:

"I (WE) HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND I (WE) ARE RESPONSIBLE FOR THE LAND DISTURBANCE AND RELATED MAINTENANCE THEREOF. LEXINGTON COUNTY AUTHORITIES WILL BE ALLOWED TO ENTER THE PROJECT SITE FOR THE PURPOSE OF ON-SITE INSPECTIONS."

1-21-22 DATE *Todd Anderson* OWNER/PERMIT APPLICANT

DESIGNER'S CERTIFICATION:

"I HEREBY CERTIFY THAT THIS PLAN IS DESIGNED TO CONTAIN SOIL ON THE PROPERTY CONCERNED TO THE MAXIMUM EXTENT, TO PROVIDE FOR THE PROTECTION OF THE PROPERTY AND THE PROPOSED IMPROVEMENTS THEREON FROM THE EFFECTS OF FLOODING, TO PROVIDE FOR THE CONTROL OF THE RUNOFF FROM THE PROPERTY, AND THAT ALL PROVISIONS FOR SEDIMENT CONTROL AND STORM DRAINAGE ARE IN ACCORDANCE WITH THE STORMWATER MANAGEMENT AND SEDIMENT CONTROL ORDINANCE FOR LEXINGTON COUNTY, SOUTH CAROLINA."

3/11/2022 DATE *Laura M. Baker* LAURA BAKER LICENSED PROFESSIONAL ENGINEER NO. 27748

NOTE:
INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES WAS OBTAINED FROM LOCAL UTILITY COMPANIES AND AVAILABLE DRAWINGS SUPPLIED BY THE OWNER AND IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. HOWEVER, COX AND DINKINS, INC. HAS NO NOTICE OR KNOWLEDGE OF ANY FACTS THAT WOULD LEAD US TO CONCLUDE THAT THE INFORMATION IS NOT ACCURATE, BUT UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS AGENTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT COX AND DINKINS, INC. IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE UNDERGROUND INFORMATION. INFORMATION WITH RESPECT TO ABOVE GROUND MONUMENTS OF SUCH UTILITIES IS BASED UPON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS, AND IS SHOWN HEREON.

The Palmetto Utility Protection Service, Inc.
810 Dash Square Blvd, Suite 201 Columbia, South Carolina 29210 (803) 939-1117

South Carolina 811
Call 811 Before you Dig

3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
CALL 811
CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 10 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

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C2C	ENLARGED SITE PLAN
C3	SWPPP - PHASE 1
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C3B	ENLARGED SWPPP - PHASE 1
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C4C	EXISTING CONDITIONS AND DEMOLITION PLAN
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C7B	ENLARGED SANITARY SEWER PLAN
C7C	ENLARGED SANITARY SEWER PLAN
C7D	ENLARGED SANITARY SEWER PLAN
C8	SANITARY SEWER PROFILES
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C10C	ENLARGED STORM DRAINAGE PLAN
C10D	ENLARGED STORM DRAINAGE PLAN
C11	STORM DRAINAGE PROFILES
C12	STORM DRAINAGE PROFILES
C13	STORM DRAINAGE PROFILES
C14A	ENLARGED SWPPP - PHASE 2
C14B	ENLARGED SWPPP - PHASE 2
C14C	ENLARGED SWPPP - PHASE 2
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C18	WATER AND SANITARY SEWER DETAILS
C19	SANITARY SEWER LIFT STATION DETAILS
C20	STORM DRAINAGE DETAILS
C21	STORM DRAINAGE DETAILS
C22	SWPPP DETAILS
C23	SWPPP DETAILS
C24	SWPPP DETAILS
C25	SWPPP DETAILS

COX AND DINKINS
ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
724 BELTLINE BLVD.
COLUMBIA, SC 29205
803.254.0518
COXANDINKINS.COM

SOUTH CAROLINA
LICENSED PROFESSIONAL ENGINEER
No. 27748
3/11/2022
Laura M. Baker
LAURA M. BAKER
LICENSED PROFESSIONAL ENGINEER
NO. 27748

SOUTH CAROLINA
LICENSED PROFESSIONAL ENGINEER
No. C00294
COX AND DINKINS, INC.
No. C00294

CERTIFICATE OF AUTHORIZATION SEAL

NO.	DATE	DESCRIPTION
	3/11/2022	Reissue Only/No revisions this sheet

PRIMARY PERMITTEE:
TODD ANDERSEN
COLUMBIA APARTMENT
RESIDENCES, LLC
1545 PEACHTREE ST. NW, SUITE 280
ATLANTA, GA 30309
(404) 815-1234
email: tandersen@novaregroup.com

**LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.**

LOCATED IN THE CITY OF WEST COLUMBIA,
LEXINGTON COUNTY, SOUTH CAROLINA

PROJECT NO. 2238
SF NO. 144-12

COVER SHEET

TMS 03699-03-11, 04535-1-14,
04597-09-21, -22, -26, & -27

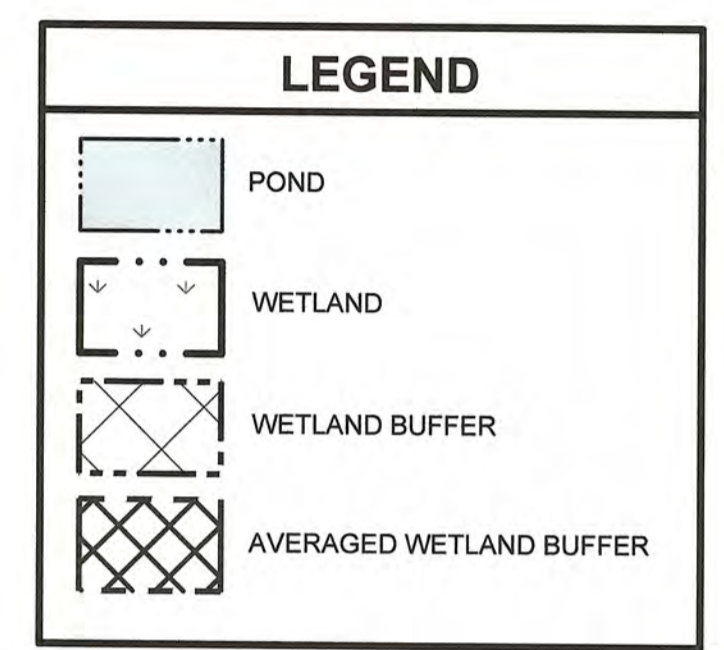
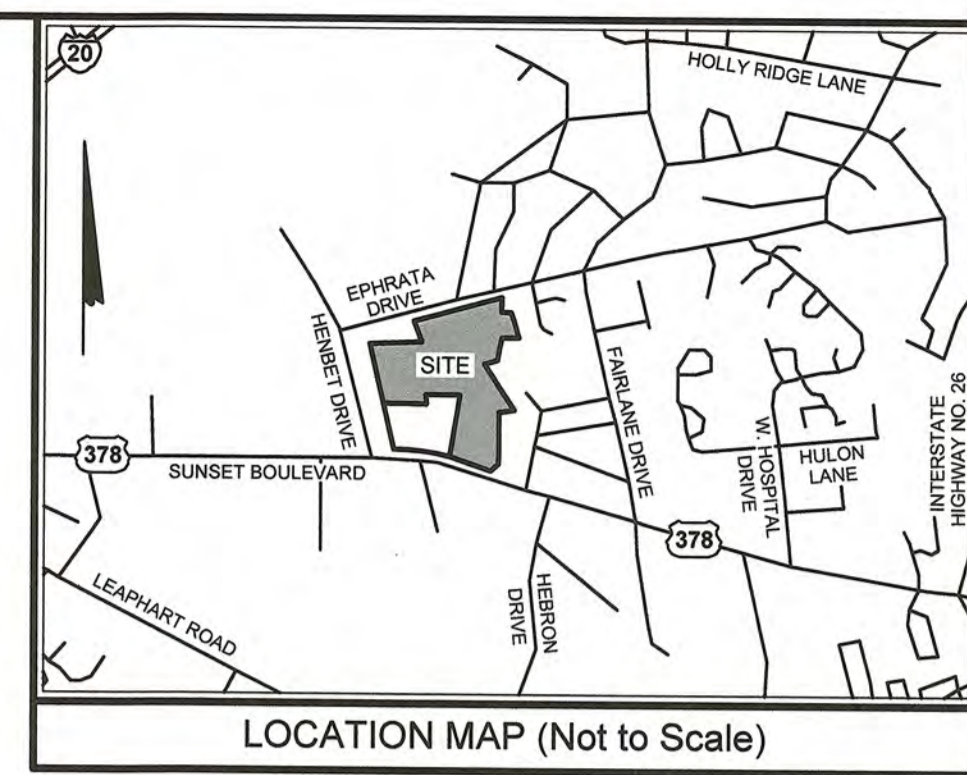
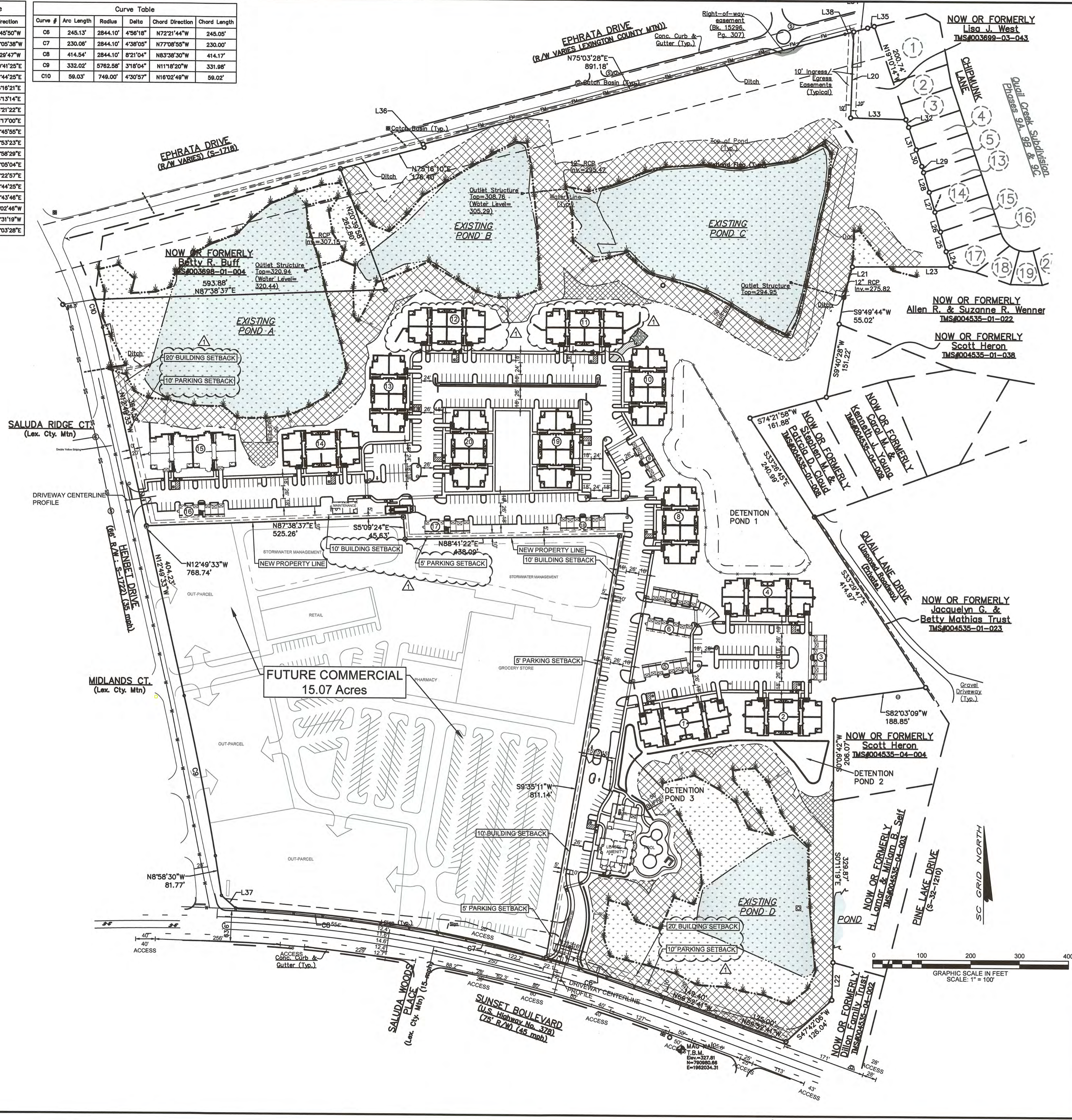
BOOK 68G-42

DATE JANUARY 14, 2022

SHEET NO. **C0 of 48**

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Line Table			Curve Table					
Line #	Length	Direction	Curve #	Arc Length	Radius	Delta	Chord Direction	Chord Length
L20	175.35'	S1°45'50"W	C6	245.13'	2844.10'	4°56'18"	N72°21'44"W	245.05'
L21	65.08'	S15°05'38"W	C7	230.06'	2844.10'	4°38'05"	N77°08'55"W	230.00'
L22	77.19'	S12°29'47"W	C8	414.54'	2844.10'	8°21'04"	N83°38'30"W	414.17'
L23	200.94'	N89°41'25"E	C9	332.02'	5762.58'	3°18'04"	N11°18'20"W	331.98'
L24	32.31'	S18°44'25"E	C10	59.03'	749.00'	4°30'57"	N18°02'49"W	59.02'
L25	42.07'	S18°16'21"E						
L26	41.92'	S18°13'14"E						
L27	42.06'	S18°21'22"E						
L28	41.82'	S18°17'00"E						
L29	13.02'	S18°45'55"E						
L30	35.68'	S18°53'23"E						
L31	48.46'	S18°58'29"E						
L32	16.49'	S20°05'04"E						
L33	113.15'	S88°22'57"E						
L34	29.43'	N74°44'25"E						
L35	13.82'	N75°43'48"E						
L36	6.77'	N15°02'46"W						
L37	38.56'	N48°31'19"W						
L38	18.55'	N75°03'28"E						



NOTE: INFORMATION REGARDING THE REPORTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS MAY HAVE BEEN PROVIDED TO COX AND DINKINS, INC. FROM LOCAL UTILITY COMPANIES. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED BY THE USER BY THESE PLANS AS INFORMATION ONLY. COX AND DINKINS, INC. HAS NO NOTICE OR KNOWLEDGE OF ANY FACTS THAT WOULD LEAD US TO CONCLUDE THAT THIS INFORMATION IS NOT ACCURATE. CONTRACTORS, OTHER UTILITIES AND CONTRACTORS ARE NOT TO BE RELIED UPON THESE PLANS FOR THE ACCURACY OF THIS INFORMATION. CONTRACTORS ARE ADVISED THAT COX AND DINKINS, INC. IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE UNDERGROUND INFORMATION. INFORMATION WITH RESPECT TO ABOVE-GROUND MONUMENTS OR BOUNDARIES IS BASED UPON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS AND IS BOUND HEREIN.

The Palmetto Utility Protection Service, Inc.
South Carolina 811
 3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
 CALL 811
 CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 12 HOURS FOR AN UPDATE TO UTILITY LOCATIONS.

REFERENCES:	
1.	REFERENCES: ALTANSPS LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.
GENERAL NOTES:	
1.	THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27.
2.	TOTAL AREA OF SUBJECT PROPERTY IS 52.95 ACRES.
3.	THE SUBJECT PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27 ARE IN THE CITY OF WEST COLUMBIA AND ZONED AS "D (DEVELOPMENT)".
4.	CONTOUR INTERVAL ELEVATIONS ARE ONE (1) FOOT. ELEVATIONS SHOWN ARE NAVD 88 DATUM.
5.	THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. THE LOCATIONS OF OTHER UNDERGROUND UTILITIES AND THEIR SERVICES ARE UNKNOWN. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
6.	THIS PROPERTY IS LOCATED IN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP NUMBER 45063C0144J & 45063C0163J, REVISED JULY 5, 2018, BY SCALED LOCATION AND GRAPHIC PLOTTING ONLY.
7.	IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THEY AND THEIR SUBCONTRACTORS HAVE THE CORRECT/MOST UP-TO-DATE PLANS AVAILABLE.
8.	ALL SIDEWALKS, STRIPING AND SIGNAGE SHALL BE ADA AND MUTCD COMPLIANT.
9.	ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

COX AND DINKINS
 ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
 724 BELTLINE BLVD.
 COLUMBIA, SC 29205
 803.254.0518
 COXANDINKINS.COM

Professional Seal: JAMES M. BAILEY, LICENSED PROFESSIONAL ENGINEER, No. 27748, 3/1/2022

Professional Seal: COX AND DINKINS, INC., No. C00294, 3/1/2022

NO.	DATE	DESCRIPTION
1	02/14/2022	Revised Bldg 11 & 12 and Added Setbacks
2	3/1/2022	Reissue Only - no revisions this sheet

PRIMARY PERMITTEE:
TODD ANDERSEN
 COLUMBIA APARTMENT RESIDENCES, LLC
 1545 PEACHTREE ST. NW, SUITE 260
 ATLANTA, GA 30309
 (404) 815-1234
 email: tandersen@novaregroup.com

PROJECT
LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.
 LOCATED IN THE CITY OF WEST COLUMBIA,
 LEXINGTON COUNTY, SOUTH CAROLINA

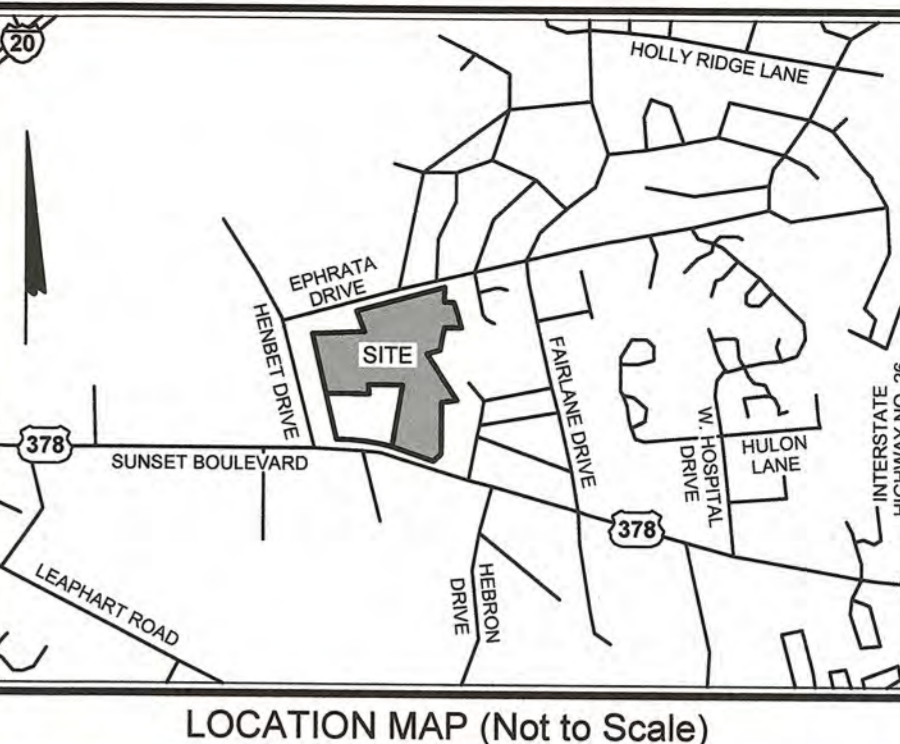
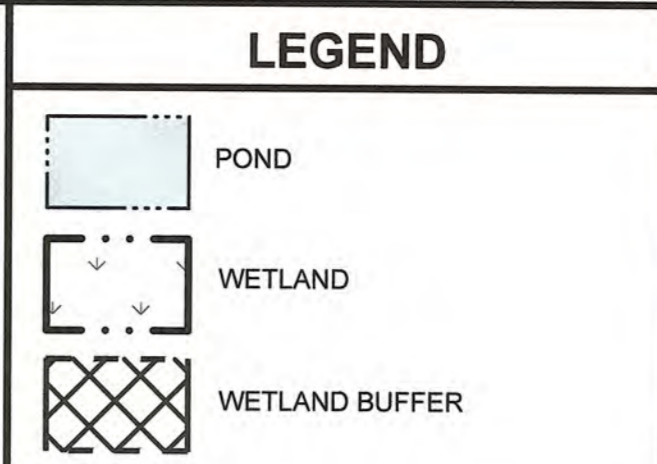
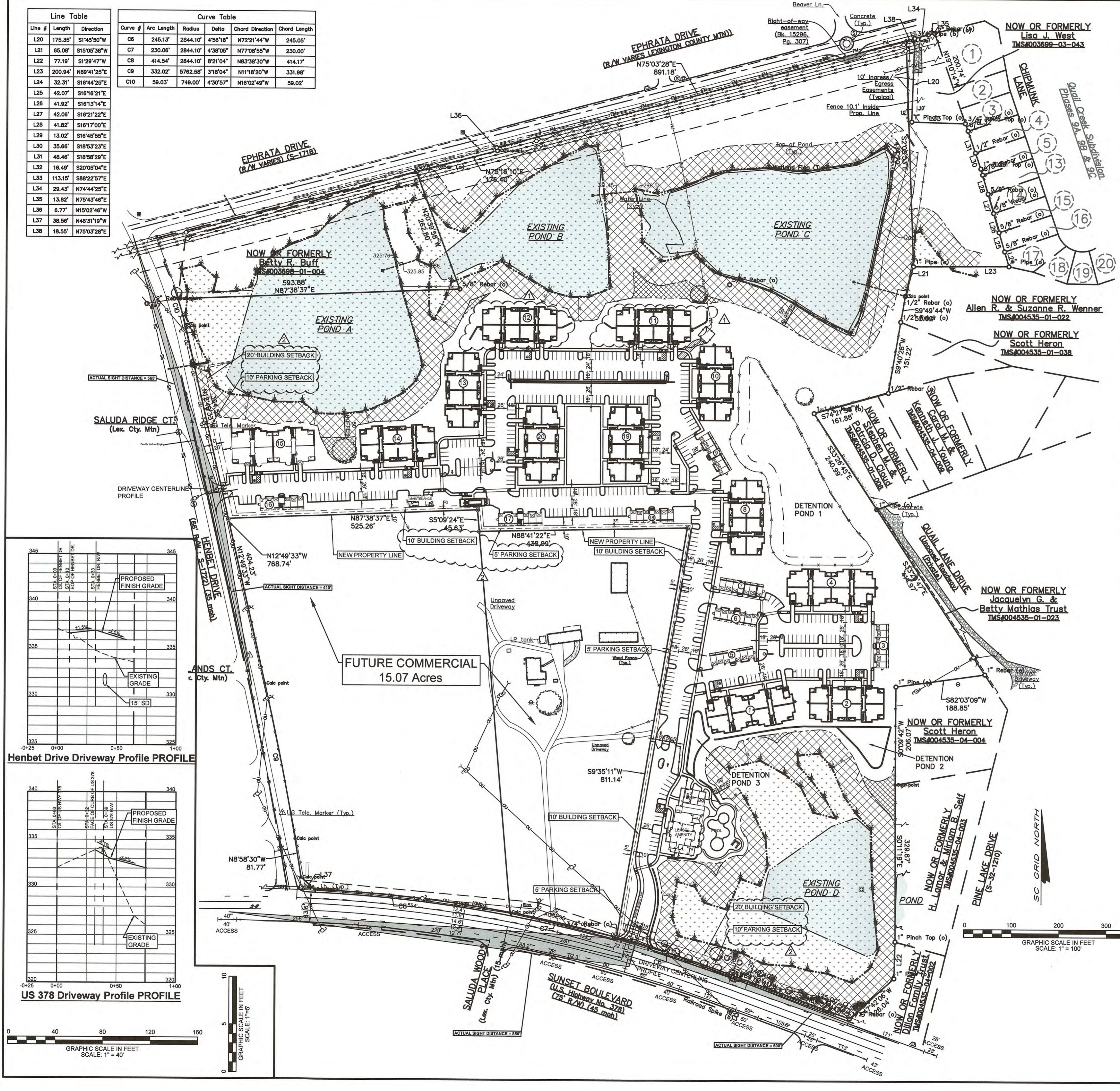
PROJECT NO.
 2238

OVERALL CONCEPT PLAN

TMS 03699-03-11, 04535-1-14, 04597-09-21, -22, -26, & -27
 BOOK 68G-42
 DATE JANUARY 14, 2022
 SHEET NO. **C1 of 48**

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L36	6.77'	N15°02'46"W						
L37	38.56'	N48°31'19"W						
L38	18.55'	N75°03'28"E						



PARKING SUMMARY	
PER APPROVED CONCEPT PLAN FOR D ZONING	NUMBER OF APARTMENT UNITS = 312 UNITS
SURFACE PARKING PROVIDED:	
REGULAR SPACES (9x18')	= 447
ADA (8x18')	= 12
GARAGE PARKING PROVIDED = 72	
TOTAL PARKING SPACES = 531	

SCDOT STANDARD DRAWINGS

THE FOLLOWING LIST CONTAINS SCDOT STANDARD DRAWINGS THAT SHALL BE USED FOR ALL WORK WITHIN SCDOT RIGHTS-OF-WAY. PER SCDOT, SCDOT STANDARD DRAWINGS SHALL NOT BE REPRODUCED IN PROJECT PLANS. THEREFORE, THE SCDOT STANDARD DRAWINGS LISTED BELOW SHALL BE DOWNLOADED FROM www.scdot.org/businessstandards-drawings.aspx. ADDITIONAL SCDOT STANDARD DRAWINGS, OTHER THAN THOSE LISTED BELOW, MAY BE NEEDED AND SHALL BE DOWNLOADED BY THE CONTRACTOR FROM THE AFORESAID WEBSITE.

- SECTIONS 625, 626, 627 - PERMANENT PAVEMENT MARKINGS PER SCDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION
- 610-010-00 - LANE CLOSURE - DAYTIME URBAN LOW SPEED LESS THAN OR EQUAL TO 35 MPH
- 610-020-00 - LANE CLOSURE DUAL - URBAN LOW SPEED
- 610-035-00 - LANE CLOSURE DUAL - MULTILANE PRIMARY ROUTES
- 625-410-00 - FOR ARROWS & ONLY(S)
- 720-952-11 - PEDESTRIAN RAMP CONDENSED TERMINAL (PARALLEL RAMP)
- 720-105-01 - CURB AND GUTTER (CONCRETE)
- 720-155-00 - SIDEWALK ADJACENT TO CURB

REQUEST PERMISSION TO CONSTRUCT IN SCDOT R/W:

- CONSTRUCT A NEW 40' ACCESS DRIVEWAY ON SUNSET BLVD. (US HWY. 378) & A 26' ACCESS DRIVEWAY ON HENBET DRIVE (S-1722).

GENERAL NOTES:

- ALL WORK IN SCDOT RIGHT-OF-WAY SHALL COMPLY WITH THE APPROVED SCDOT ENCROACHMENT PERMIT AND ASSOCIATED PLANS.
- ALL PAVEMENT MARKINGS SHOWN WITHIN THE SCDOT RIGHT-OF-WAY SHALL BE THERMOPLASTIC PER SECTIONS 625, 626, 627 WITHIN THE SCDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY TRAFFIC CONTROL PER SCDOT STANDARD DRAWINGS FOR ALL PROPOSED WORK WITHIN THE RIGHT-OF-WAY.

DOWNSTREAM IMPACT STATEMENT:

BASED ON INFORMATION AVAILABLE TO ME AND THE RESULTS OF A SOUND ENGINEERING ANALYSIS, IT IS MY PROFESSIONAL OPINION THAT THIS PLAN COMPLIES WITH APPLICABLE STATE AND LOCAL STORMWATER MANAGEMENT REQUIREMENTS, AND THAT THE PROPERTIES DOWNSTREAM, INCLUDING SCDOT RIGHTS OF WAY, WILL NOT BE SIGNIFICANTLY AFFECTED BY CHANGES IN STORMWATER VOLUME RESULTING FROM THE 2, 10, AND 25 YEAR STORM EVENTS, PROVIDED THE PROPOSED DRAINAGE IMPROVEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND ARE PROPERLY MAINTAINED.

- SIGHT DISTANCES**
- REQUIRED SIGHT DISTANCE:**
- SUNSET BOULEVARD POSTED SPEED LIMIT IS 45 MPH
 - HEIGHT OF EYE IS 3.5' FOR PASSENGER CAR
 - LOCATION OF EYE IS 15' FROM EDGE OF TRAVEL WAY
 - MEASURED SIGHT DISTANCE IS 800' LOOKING EAST (FOR A RIGHT TURN), 500' IS REQUIRED BY SCDOT ARMS MANUAL TABLE 7-12
 - MEASURED SIGHT DISTANCE IS 850' LOOKING WEST (FOR A LEFT TURN), 390' IS REQUIRED SCDOT ARMS MANUAL TABLE 7-12.
- HENBET DRIVE POSTED SPEED LIMIT IS 35 MPH
 - HEIGHT OF EYE IS 3.5' FOR PASSENGER CAR
 - LOCATION OF EYE IS 15' FROM EDGE OF TRAVEL WAY
 - MEASURED SIGHT DISTANCE IS 410' LOOKING SOUTH (FOR A RIGHT TURN), 390' IS REQUIRED BY SCDOT ARMS MANUAL TABLE 7-12
 - MEASURE SIGHT DISTANCE IS 965' LOOKING NORTH (FOR A LEFT TURN), 390' IS REQUIRED SCDOT ARMS MANUAL TABLE 7-12.

NOTE TO CONTRACTOR REGARDING WORK IN PUBLIC STREET RIGHTS OF WAY

ALL WORK AND MATERIALS WITHIN THE SCDOT RIGHT-OF-WAYS SHALL CONFORM TO THE APPROVED SCDOT ENCROACHMENT PERMITS. TRAFFIC CONTROL SHALL BE PER THE APPROVED ENCROACHMENT PERMIT & SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

SCDOT ENCROACHMENT NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR UTILIZING ALL APPLICABLE AND CURRENT SCDOT STANDARD DRAWINGS INCLUDING, BUT NOT LIMITED TO, THE DRAWINGS INCLUDED OR REFERENCED WITHIN THESE PLANS AND THE APPROVED PERMIT PACKAGE
- CONTRACTOR TO REMOVE AND REPLACE DAMAGED SIDEWALK OR CURB AND GUTTER ALONG PROPERTY FRONTAGE AS NECESSARY AND/OR AS SPECIFIED BY DISTRICT PERMIT STAFF.
- SIDEWALK AND CURB AND GUTTER TO BE REMOVED AND REPLACED FROM JOINT TO JOINT.
- ANY PROPOSED SIDEWALK WITHIN THE ROW SHALL NOT EXCEED 2% CROSS SLOPE PER ADA GUIDELINES. ALL RAMP SHALL NOT EXCEED 8.33% FOR EVERY SCENARIO.
- IN PRESENCE OF SIDEWALK OR OTHER ADA PATHWAY, ACCESS(ES) TO PROVIDE A MINIMUM OF 3' PEDESTRIAN PATH OF NO GREATER CROSS SLOPE THAN 2% ACROSS THROAT OF DRIVEWAY.
- ALL SIGNS PLACED IN SCDOT R/W OR CLEAR ZONE SHALL BE MOUNTED ON APPROVED BREAKAWAY POSTS.

NOTE: INFORMATION REGARDING THE APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL UTILITY PROTECTION SERVICE, INC. (UTPS) IS PROVIDED FOR YOUR INFORMATION ONLY. THE ACCURACY OF THE INFORMATION AND THE LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY VARY FROM THE ACTUAL LOCATION OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF UTILITIES AND STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL CONTACT THE UTILITY LOCATORS EVERY 10 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

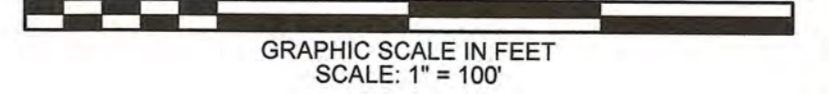
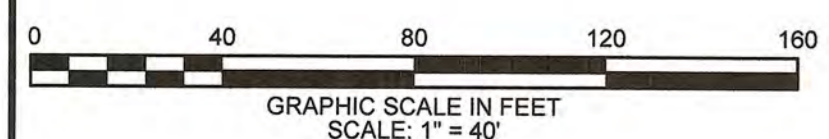
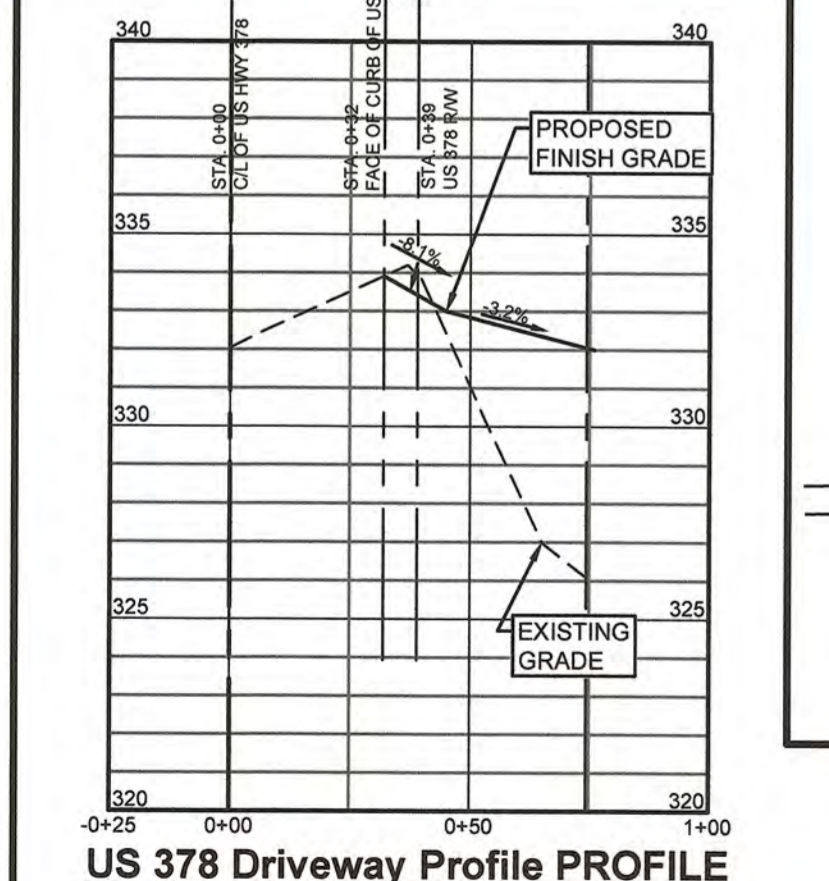
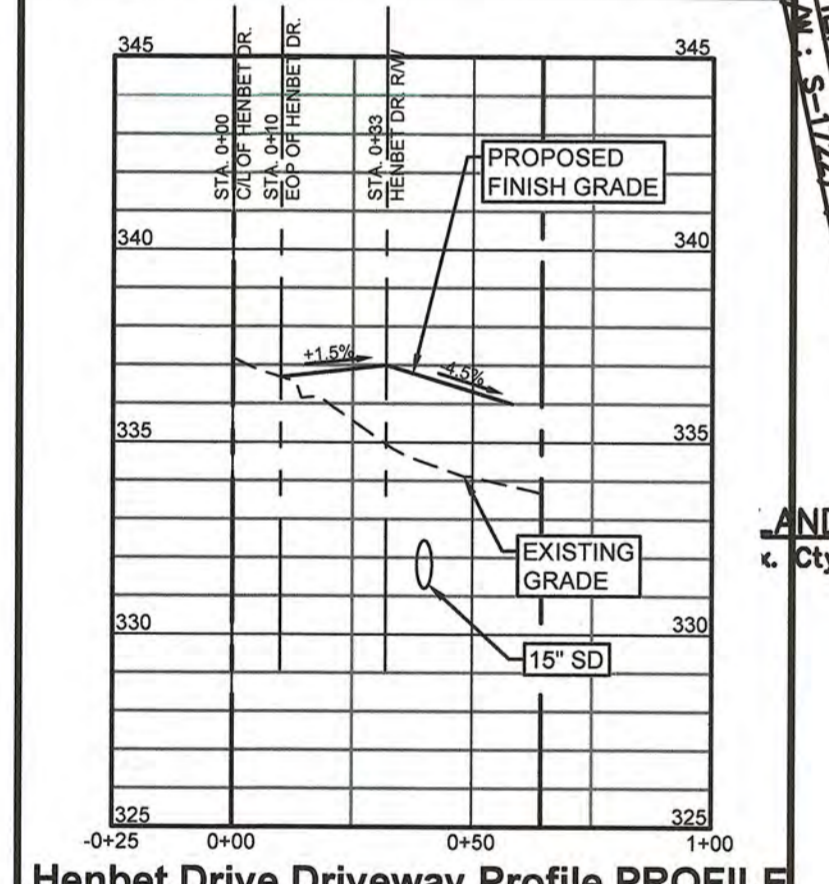
The Palmetto Utility Protection Service, Inc.
South Carolina 811
 3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
CALL 811

REFERENCES:

- REFERENCES
- ALTANSPS LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.

GENERAL NOTES:

- THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27.
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COX AND DINKINS
 ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
 724 BELTLINE BLVD.
 COLUMBIA, SC 29205
 803.254.0518
 COXANDDINKINS.COM

LOCATION MAP (Not to Scale)

PARKING SUMMARY

PER APPROVED CONCEPT PLAN FOR D ZONING
 NUMBER OF APARTMENT UNITS = 312 UNITS

SURFACE PARKING PROVIDED:
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 TOTAL PARKING SPACES = 531

SCDOT STANDARD DRAWINGS

THE FOLLOWING LIST CONTAINS SCDOT STANDARD DRAWINGS THAT SHALL BE USED FOR ALL WORK WITHIN SCDOT RIGHTS-OF-WAY. PER SCDOT, SCDOT STANDARD DRAWINGS SHALL NOT BE REPRODUCED IN PROJECT PLANS. THEREFORE, THE SCDOT STANDARD DRAWINGS LISTED BELOW SHALL BE DOWNLOADED FROM www.scdot.org/businessstandards-drawings.aspx. ADDITIONAL SCDOT STANDARD DRAWINGS, OTHER THAN THOSE LISTED BELOW, MAY BE NEEDED AND SHALL BE DOWNLOADED BY THE CONTRACTOR FROM THE AFORESAID WEBSITE.

NO.	DATE	DESCRIPTION
1	01/18/2022	Issue unit count and Big 11 & 12 per owner
2	02/14/2022	Added Setbacks
3	3/11/2022	Reissue only - no revisions this sheet

PRIMARY PERMITTEE:

TODD ANDERSEN
 COLUMBIA APARTMENT RESIDENCES, LLC
 1545 PEACHTREE ST. NW, SUITE 260
 ATLANTA, GA 30309
 (404) 815-1234
 email: tandersen@novaregroup.com

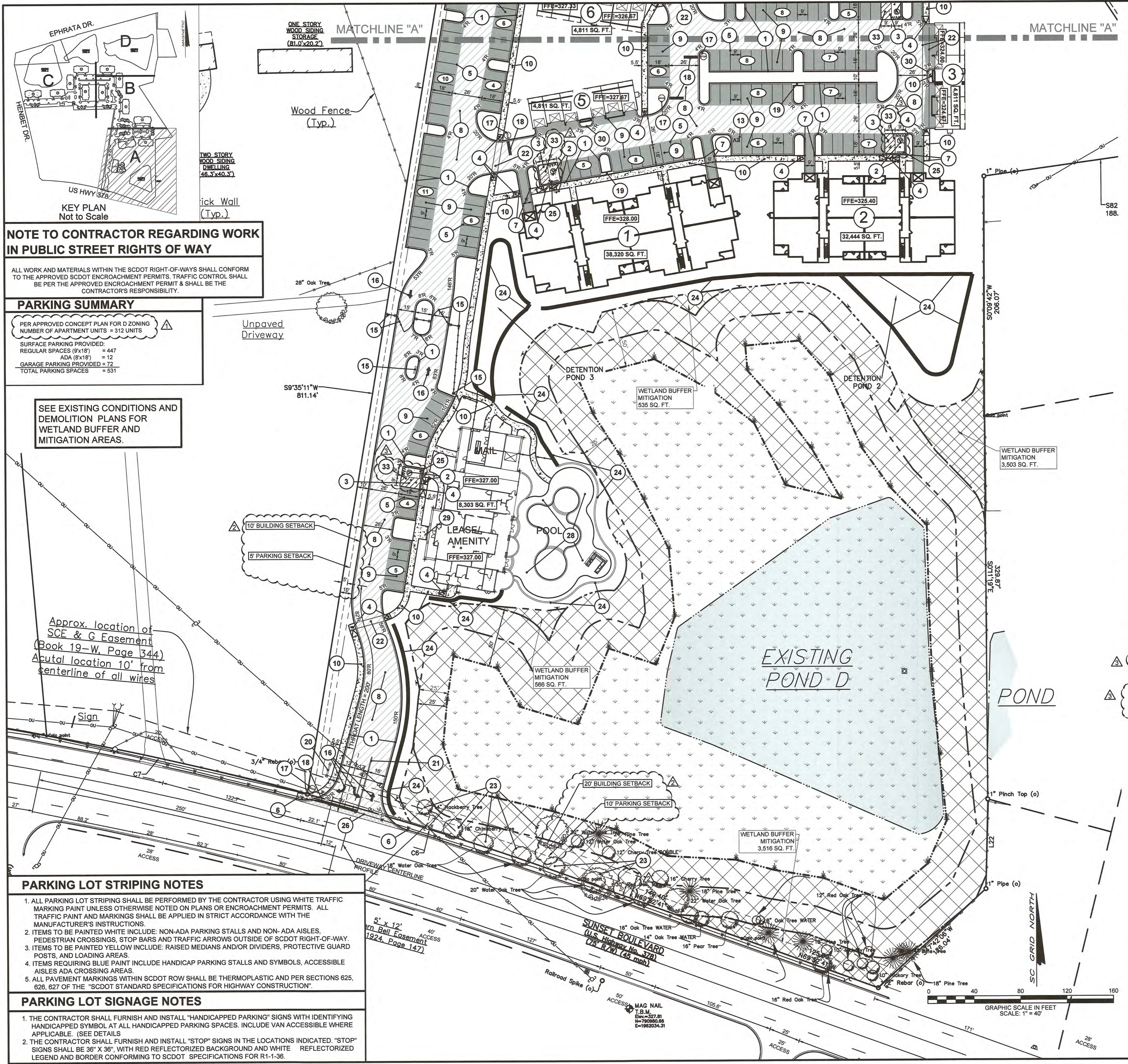
OVERALL SITE PLAN

LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.

LOCATED IN THE CITY OF WEST COLUMBIA,
 LEXINGTON COUNTY, SOUTH CAROLINA

PROJECT NO. 2258
 SHEET NO. C2 of 48

C:\Pro\2258 West Columbia Multifamily Drawings\2258_Site.dwg, Plotted By: SNW, Plotted: Mar 11, 2022 - 10:06am



NOTE TO CONTRACTOR REGARDING WORK IN PUBLIC STREET RIGHTS OF WAY

ALL WORK AND MATERIALS WITHIN THE SCODT RIGHT-OF-WAYS SHALL CONFORM TO THE APPROVED SCODT ENCROACHMENT PERMITS. TRAFFIC CONTROL SHALL BE PER THE APPROVED ENCROACHMENT PERMIT & SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

PARKING SUMMARY

PER APPROVED CONCEPT PLAN FOR D ZONING
NUMBER OF APARTMENT UNITS = 312 UNITS

SURFACE PARKING PROVIDED:
REGULAR SPACES (9'x18') = 447
ADA (8'x18') = 12
GARAGE PARKING PROVIDED = 72
TOTAL PARKING SPACES = 531

SEE EXISTING CONDITIONS AND DEMOLITION PLANS FOR WETLAND BUFFER AND MITIGATION AREAS.

Approx. location of SCE & G Easement (Book 19-W, Page 344)
Actual location 10' from centerline of all wires

- PARKING LOT STRIPING NOTES**
1. ALL PARKING LOT STRIPING SHALL BE PERFORMED BY THE CONTRACTOR USING WHITE TRAFFIC MARKING PAINT UNLESS OTHERWISE NOTED ON PLANS OR ENCROACHMENT PERMITS. ALL TRAFFIC PAINT AND MARKINGS SHALL BE APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 2. ITEMS TO BE PAINTED WHITE INCLUDE: NON-ADA PARKING STALLS AND NON-ADA AISLES, PEDESTRIAN CROSSINGS, STOP BARS AND TRAFFIC ARROWS OUTSIDE OF SCODT RIGHT-OF-WAY.
 3. ITEMS TO BE PAINTED YELLOW INCLUDE: RAISED MEDIANS AND/OR DIVIDERS, PROTECTIVE GUARD POSTS, AND LOADING AREAS.
 4. ITEMS REQUIRING BLUE PAINT INCLUDE HANDICAP PARKING STALLS AND SYMBOLS, ACCESSIBLE AISLES ADA CROSSING AREAS.
 5. ALL PAVEMENT MARKINGS WITHIN SCODT ROW SHALL BE THERMOPLASTIC AND PER SECTIONS 625, 626, 627 OF THE "SCODT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION".

- PARKING LOT SIGNAGE NOTES**
1. THE CONTRACTOR SHALL FURNISH AND INSTALL "HANDICAPPED PARKING" SIGNS WITH IDENTIFYING HANDICAPPED SYMBOL AT ALL HANDICAPPED PARKING SPACES. INCLUDE VAN ACCESSIBLE WHERE APPLICABLE. (SEE DETAILS)
 2. THE CONTRACTOR SHALL FURNISH AND INSTALL "STOP" SIGNS IN THE LOCATIONS INDICATED. "STOP" SIGNS SHALL BE 36" X 36", WITH RED REFLECTORIZED BACKGROUND AND WHITE REFLECTORIZED LEGEND AND BORDER CONFORMING TO SCODT SPECIFICATIONS FOR R1-1-36.

PAVEMENT LEGEND

9	NEW STANDARD DUTY ASPHALT PAVEMENT	26	NEW ASPHALT PAVEMENT WITHIN SCODT R/W
8	NEW HEAVY DUTY ASPHALT PAVEMENT	27	NEW HEAVY DUTY CONCRETE PAVEMENT
10	NEW CONCRETE SIDEWALK	33	NEW LIGHT DUTY CONCRETE PAVEMENT
34	NEW GRASS PAVERS		

- CODED SITE NOTES**
1. NEW 18" WIDE 1" TYPE CONCRETE CURB AND GUTTER (SEE DETAIL). WHEN CURB AND GUTTER IS WITHIN SCODT R/W REFER TO SCODT STANDARD DRAWING 720-105-01. JOINTS TO BE 10' O.C..
 2. PAINTED ACCESSIBLE SYMBOL & POST-MOUNTED SIGNAGE (SEE DETAIL). (TYPICAL AT ALL ACCESSIBLE PARKING SPACES). DENOTE VAN ACCESSIBLE WHERE SHOWN.
 3. 4" WIDE PAINTED BLUE ACCESSIBLE STRIPING @ 45', 2" O.C. (SEE STRIPING NOTES).
 4. HANDICAP RAMP WITH DETECTABLE WARNING SURFACE (SEE RAMP DETAILS). FEATHER CURB WHEN APPLICABLE. WITHIN SCODT RIGHT-OF-WAY, USE SCODT STANDARD DRAWING 720-952-11.
 5. NEW 4" WIDE PAINTED WHITE PARKING LOT STRIPING.
 6. TIE NEW CURB & GUTTER INTO EXISTING CURB & GUTTER AT THIS LOCATION. SAWCUT EXISTING AND TRANSITION AS REQUIRED TO MATCH EXISTING CURB CROSS SECTION IF DIFFERENT FROM NEW CURB CROSS SECTION.
 7. FEATHER CURB & GUTTER AT THIS LOCATION (SEE DETAIL).
 8. NEW HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL).
 9. NEW STANDARD DUTY ASPHALT PAVEMENT (SEE DETAIL).
 10. NEW CONCRETE SIDEWALK (WIDTH AS NOTED). INCLUDE "TOED" FOOTING WHEN ADJACENT TO ASPHALT AND/OR CONCRETE PAVEMENTS OR BUILDING. SEE DETAILS FOR ON SITE PORTIONS. CONTRACTOR SHALL INSTALL CONTROL JOINTS 6' O.C. AND AT BENDS IN CONCRETE. INSTALL EXPANSION JOINTS AT ALL JUNCTIONS BETWEEN WALKS.
 11. NEW PAD MOUNTED ELECTRIC TRANSFORMER. CONSULT DOMINION FOR ALL REQUIREMENTS INCLUDING WORK SCOPE AND DIVISION OF WORK.
 12. DUMPSTER ENCLOSURE. SEE ARCHITECTURAL PLANS.
 13. ELECTRIC VEHICLE CHARGING STATION. SEE ELECTRICAL PLANS.
 14. NEW 4" HIGH BLACK VINYL CHAIN LINK FENCE WITH 12' GATES. (SEE DETAIL)
 15. NEW ENTRY GATE AND FENCE WITH COLUMNS. SEE ARCHITECTURAL PLANS FOR DETAILS.
 16. NEW PAINTED WHITE TRAFFIC DIRECTIONAL FLOW ARROW (TYPICAL). (SEE STRIPING NOTES) (SEE DETAILS). ARROWS TO BE THERMOPLASTIC WITHIN SCODT RIGHT-OF-WAY PER APPROVED ENCROACHMENT PERMIT.
 17. SCODT STANDARD STOP SIGN (R1-1-36) - TYPICAL THIS SYMBOL.
 18. PAINTED 24" WIDE WHITE STOP BAR, (THERMOPLASTIC WHEN IN SCODT RIGHT-OF-WAY.) TYPICAL THIS SYMBOL (SEE STRIPING NOTES) (SEE SCODT APPROVED ENCROACHMENT PERMIT)
 19. PROVIDE 2" WIDE CONCRETE OPENING FOR DRAINAGE.
 20. PROPOSED SIGN. SEE ARCHITECTURAL PLANS FOR DETAILS. SIGN TO CONFORM WITH ALL APPLICABLE CODES.
 21. NEW 4" WIDE THERMOPLASTIC DOUBLE YELLOW STRIPING PER APPROVED SCODT ENCROACHMENT PERMIT.
 22. 8" WIDE PAINTED WHITE CROSSWALK STRIPING. (SEE STRIPING NOTES).
 23. EXISTING TREE TO REMAIN. CONTRACTOR SHALL USE TREE PROTECTION PER SWPPP AND LANDSCAPE PLANS.
 24. NEW SITE RETAINING WALL WITH FALL PROTECTION. SEE GRADING PLAN FOR REQUIRED ELEVATIONS AND RELATED NOTES. (WALL DESIGN BY OTHERS).
 25. NEW WHEEL STOPS. (TYP.) (SEE DETAIL).
 26. NEW ASPHALT PAVEMENT WITHIN SCODT RIGHT-OF-WAY. SEE DETAIL AND APPROVED SCODT ENCROACHMENT PERMIT.
 27. NEW CONCRETE PAVEMENT. SEE DETAIL.
 28. POOL AREA BY OTHERS. SEE LANDSCAPE PLANS.
 29. NEW CONCRETE STEPS WITH HANDRAIL. SEE ARCHITECTURAL PLANS.
 30. NEW CONCRETE KEY. SEE DETAIL.
 31. NEW SEWER PUMP STATION WITH 6" CRUSHER RUN ON NON WOVEN FILTER FABRIC WITH 6" TALL BLACK OPAQUE FENCE WITH 12' GATE AS SHOWN. SEE DETAIL.
 32. ELEVATED SLAB WALL. SEE STRUCTURAL PLANS.
 33. NEW LIGHT DUTY CONCRETE. CONTRACTOR SHALL INSTALL CONTROL JOINTS 6' O.C. AND AT BENDS IN CONCRETE. INSTALL EXPANSION JOINTS AT ALL JUNCTIONS BETWEEN WALKS.
 34. NEW GRASS PAVERS. SEE DETAIL.

- REFERENCES:**
1. REFERENCES
ALTA/NPS LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC..
- GENERAL NOTES:**
1. THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27.
 2. TOTAL AREA OF SUBJECT PROPERTY IS 52.95 ACRES.
 3. THE SUBJECT PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27 ARE IN THE CITY OF WEST COLUMBIA AND ZONED AS "D (DEVELOPMENT)".
 4. CONTOUR INTERVAL ELEVATIONS ARE ONE (1) FOOT. ELEVATIONS SHOWN ARE NAVD 88 DATUM.
 5. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. THE LOCATIONS OF OTHER UNDERGROUND UTILITIES AND THEIR SERVICES ARE UNKNOWN. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
 6. THIS PROPERTY IS LOCATED IN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP NUMBER 45063C0144J & 45063C0163J, REVISED JULY 5, 2018, BY SCALED LOCATION AND GRAPHIC PLOTTING ONLY.
 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THEY AND THEIR SUBCONTRACTORS HAVE THE CORRECT/MOST UP-TO-DATE PLANS AVAILABLE.
 8. ALL SIDEWALKS, STRIPING AND SIGNAGE SHALL BE ADA AND MUTCD COMPLIANT.
 9. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



CERTIFICATE OF AUTHORIZATION SEAL

NO.	DATE	DESCRIPTION
1	01/18/2023	Revise unit count and Bldg 11 & 12 per owner
2	02/02/2022	Add Building and Parking Setbacks per City
3	3/11/2022	Per Owner's review comments

PRIMARY PERMITTEE:
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1545 PEACHTREE ST. NW, SUITE 280
ATLANTA, GA 30309
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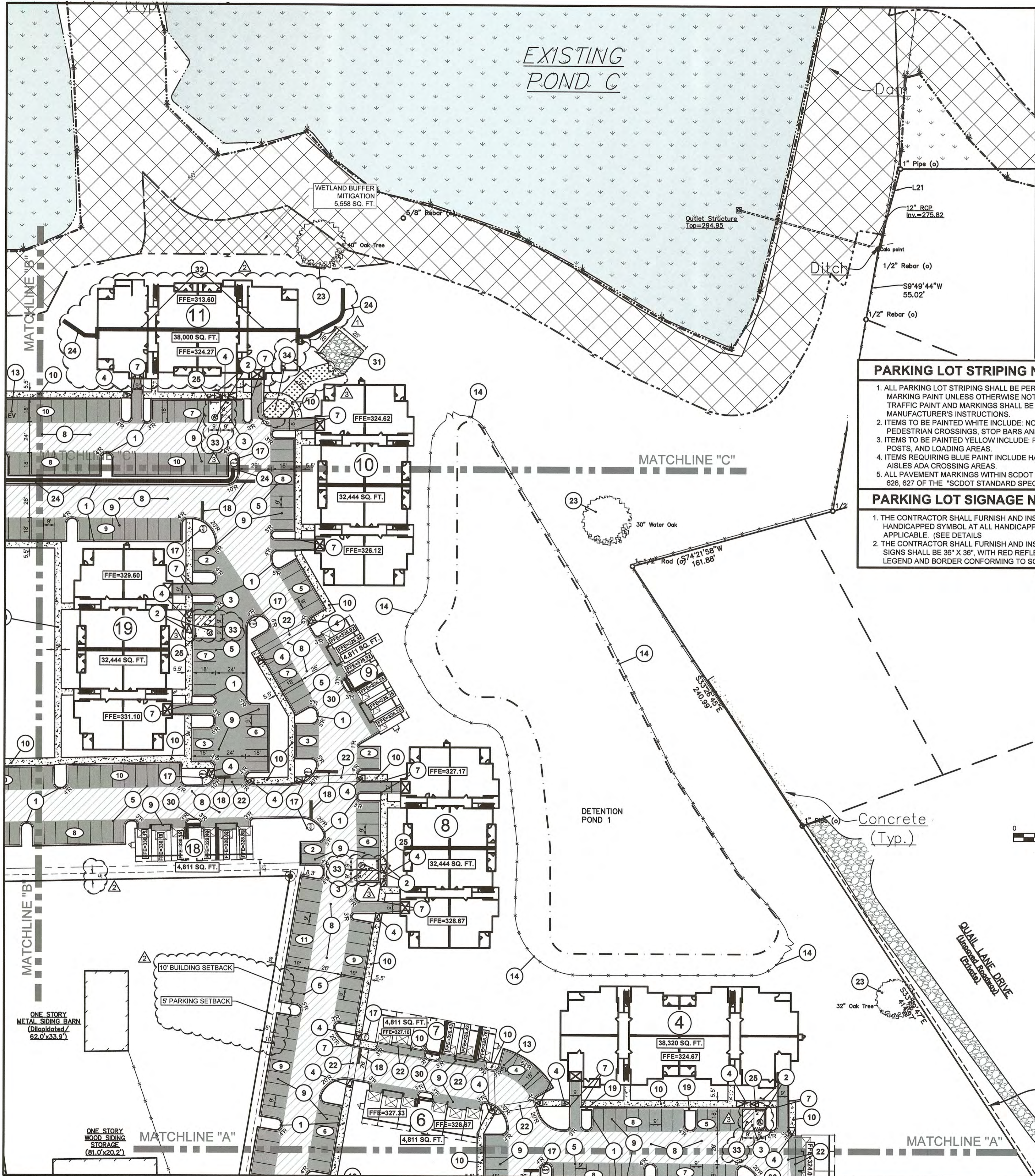
PROJECT
LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.
LOCATED IN THE CITY OF WEST COLUMBIA,
LEXINGTON COUNTY, SOUTH CAROLINA

ENLARGED SITE PLAN

PROJECT NO. 2238
SHEET NO. C2A of 48

TMS 03699-03-11, 04535-1-14, 04597-09-21, -22, -26, & -27
BOOK 68G-42
DATE JANUARY 14, 2022

COPYRIGHT © 2022 COX AND DINKINS, INC. ALL RIGHTS RESERVED.
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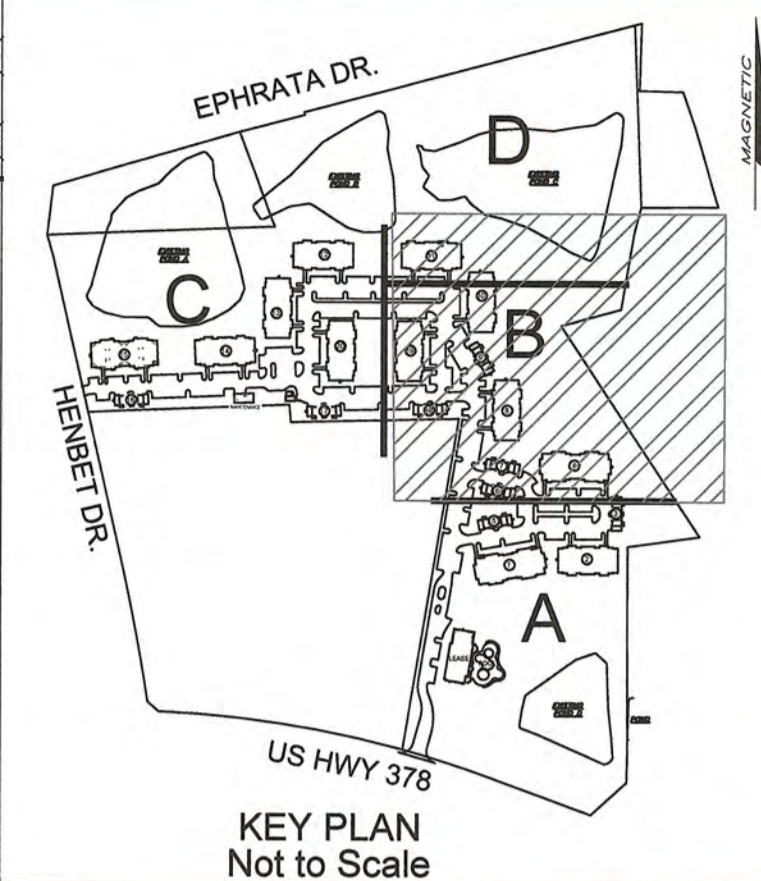


PARKING SUMMARY

PER APPROVED CONCEPT PLAN FOR D ZONING
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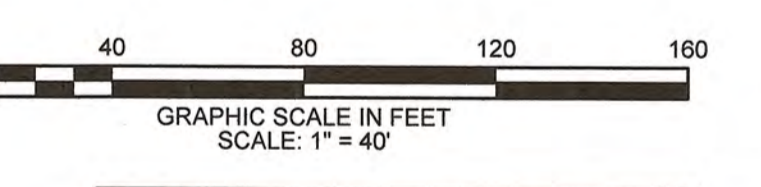
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 - NEW GRASS PAVERS. SEE DETAIL.

NOTE: INFORMATION REGARDING THE REPORTED PRESENCE, SEE CONTRACTOR AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THIS PLAN MAY HAVE BEEN PROVIDED TO COX AND DINKINS BY LOCAL UTILITY COMPANIES. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED THAT NO NOTICE OR KNOWLEDGE OF ANY FACTS THAT WOULD CAUSE US TO REVISION THIS INFORMATION HAS BEEN OBTAINED. COX AND DINKINS, INC. HAS UTILITIES AND STRUCTURES NOT SHOWN ON THESE PLANS MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES OR SUBCONTRACTORS, AGENTS AND HIS CONTRACTORS SHALL HEREBY DISTRICTLY UNDERSTAND THAT COX AND DINKINS, INC. IS NOT RESPONSIBLE FOR THE CORRECTNESS OR RESPECT TO ABOVE GROUND MONUMENTS OF SUCH UTILITIES IS BASED UPON UTILITY FIELD MEASUREMENTS AND OBSERVATIONS, AND IS SHOWN HEREON.

The Palmetto Utility Protection Service, Inc.
South Carolina 811
CALL 811
3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 10 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

- ### REFERENCES:
- REFERENCES ALTANSPS LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.

- ### GENERAL NOTES:
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COX AND DINKINS
ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
724 BELTLINE BLVD.
COLUMBIA, SC 29205
803.254.0518
COXANDINKINS.COM

James M. Ball
LICENSED PROFESSIONAL ENGINEER
No. 27748

COX AND DINKINS, INC.
No. C00294

CERTIFICATE OF AUTHORIZATION SEAL

NO.	DATE	DESCRIPTION
1	01/18/2022	Revise Unit count and Bldg 11 & 12 per owner
2	02/02/2022	Revise Bldg 11 & 12, Added Setbacks
3	3/11/2022	Per Owner's review comments

PRIMARY PERMITTEE:
TODD ANDERSEN
COLUMBIA APARTMENT RESIDENCES, LLC
1545 PEACHTREE ST. NW, SUITE 260
ATLANTA, GA 30309
(404) 815-1234
email: tandersen@novaregroup.com

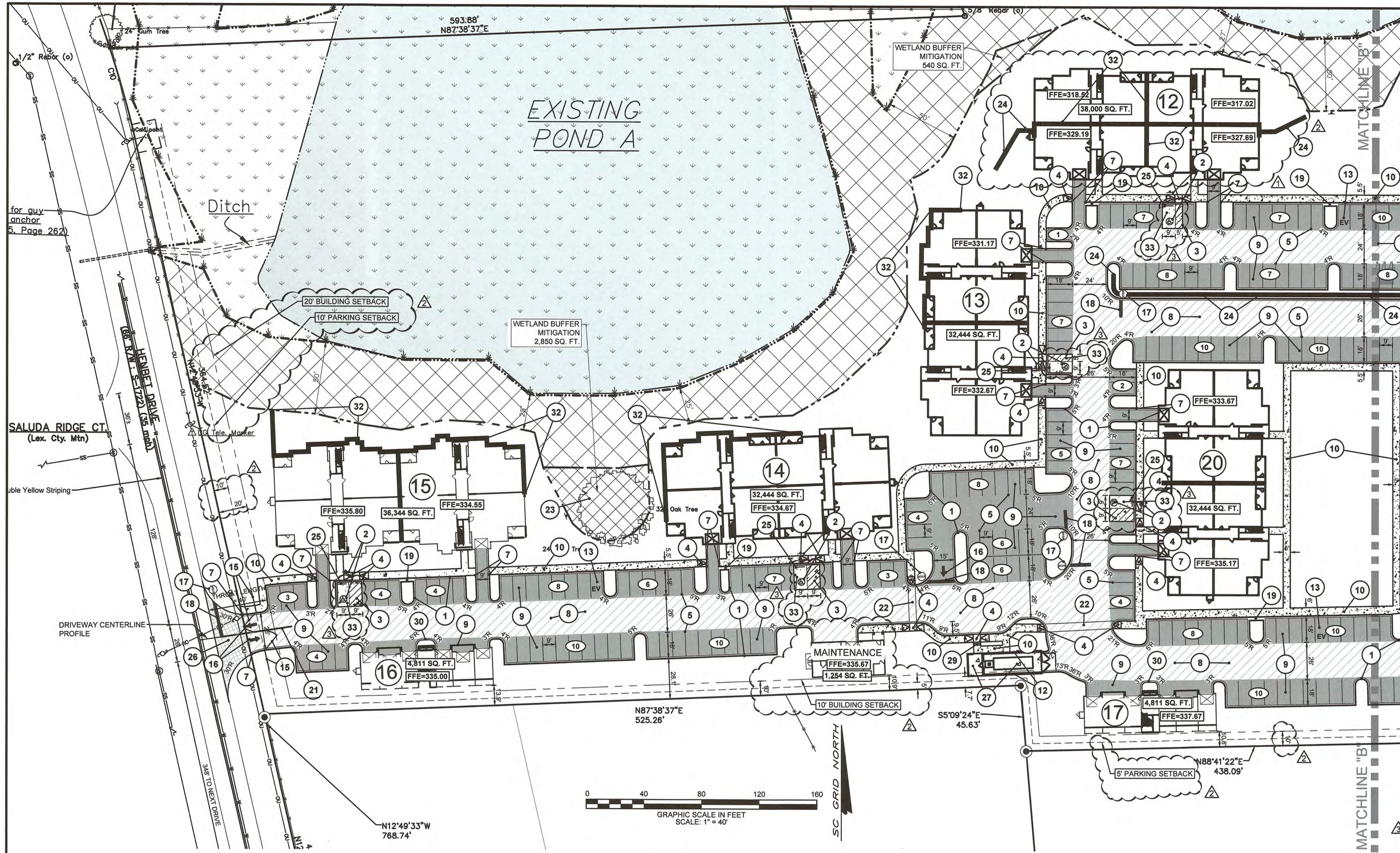
PROJECT: **LULLWATER AT WEST COLUMBIA, SUNSET BLVD. @ HENBET DR.**
LOCATED IN THE CITY OF WEST COLUMBIA, LEXINGTON COUNTY, SOUTH CAROLINA

PROJECT NO. 2258
SF NO. 144-12

ENLARGED SITE PLAN

TMS 03699-03-11; 04535-01-14; 04597-09-21, -22, -26, & -27
BOOK 68G-42
DATE JANUARY 14, 2022
SHEET NO. **C2B of 48**

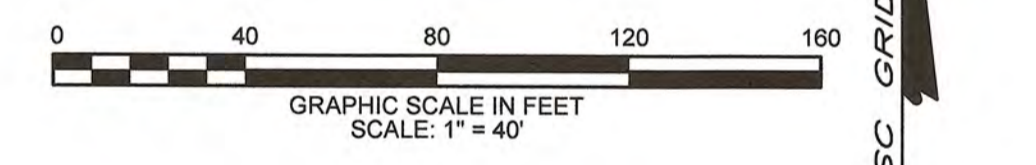
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PAVEMENT LEGEND

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8	NEW HEAVY DUTY ASPHALT PAVEMENT	27	NEW HEAVY DUTY CONCRETE PAVEMENT
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 - PAINTED 24" WIDE WHITE STOP BAR, (THERMOPLASTIC WHEN IN SCDDOT RIGHT-OF-WAY). TYPICAL THIS SYMBOL. (SEE STRIPING NOTES) (SEE SCDDOT APPROVED ENCROACHMENT PERMIT)
 - PROVIDE 2" WIDE CONCRETE OPENING FOR DRAINAGE.
 - PROPOSED SIGN. SEE ARCHITECTURAL PLANS FOR DETAILS. SIGN TO CONFORM WITH ALL APPLICABLE CODES.
 - NEW 4" WIDE THERMOPLASTIC DOUBLE YELLOW STRIPING PER APPROVED SCDDOT ENCROACHMENT PERMIT.
 - 8" WIDE PAINTED WHITE CROSSWALK STRIPING. (SEE STRIPING NOTES).
 - EXISTING TREE TO REMAIN. CONTRACTOR SHALL USE TREE PROTECTION PER SWPPP AND LANDSCAPE PLANS.
 - NEW SITE RETAINING WALL WITH FALL PROTECTION. SEE GRADING PLAN FOR REQUIRED ELEVATIONS AND RELATED NOTES. (WALL DESIGN BY OTHERS).
 - NEW WHEEL STOPS. (TYP.) (SEE DETAIL).
 - NEW ASPHALT PAVEMENT WITHIN SCDDOT RIGHT-OF-WAY. SEE DETAIL AND APPROVED SCDDOT ENCROACHMENT PERMIT.
 - NEW CONCRETE PAVEMENT. SEE DETAIL.
 - POOL AREA BY OTHERS. SEE LANDSCAPE PLANS.
 - NEW CONCRETE STEPS WITH HANDRAIL. SEE ARCHITECTURAL PLANS.
 - NEW CONCRETE KEY. SEE DETAIL.
 - NEW SEWER PUMP STATION WITH 6" CRUSHER RUN ON NON WOVEN FILTER FABRIC WITH 6" TALL BLACK OPAQUE FENCE WITH 12" GATE AS SHOWN. SEE DETAIL.
 - ELEVATED SLAB WALL. SEE STRUCTURAL PLANS.
 - NEW LIGHT DUTY CONCRETE. CONTRACTOR SHALL INSTALL CONTROL JOINTS 6' O.C. AND AT BENDS IN CONCRETE. INSTALL EXPANSION JOINTS AT ALL JUNCTIONS BETWEEN WALKS.
 - NEW GRASS PAVERS. SEE DETAIL.



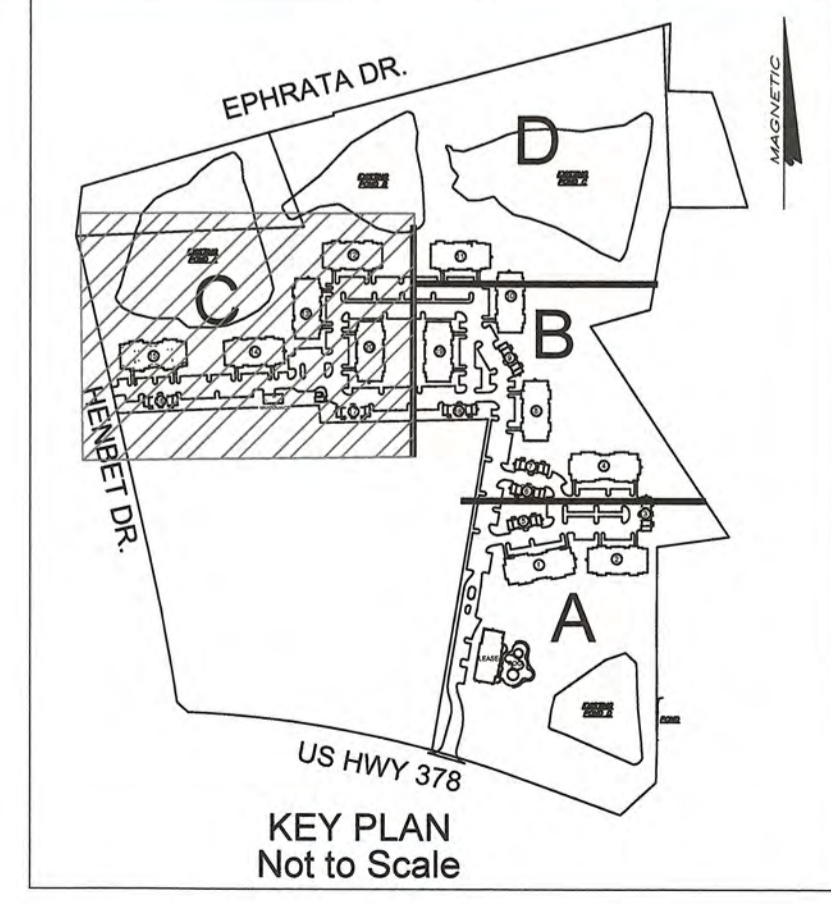
SEE EXISTING CONDITIONS AND DEMOLITION PLANS FOR WETLAND BUFFER AND MITIGATION AREAS.

PARKING SUMMARY

PER APPROVED CONCEPT PLAN FOR D ZONING NUMBER OF APARTMENT UNITS = 312 UNITS

SURFACE PARKING PROVIDED:	
REGULAR SPACES (9'x18')	= 447
ADA (9'x18')	= 12
GARAGE PARKING PROVIDED =	72
TOTAL PARKING SPACES =	531

- ### PARKING LOT STRIPING NOTES
- ALL PARKING LOT STRIPING SHALL BE PERFORMED BY THE CONTRACTOR USING WHITE TRAFFIC MARKING PAINT UNLESS OTHERWISE NOTED ON PLANS OR ENCROACHMENT PERMITS. ALL TRAFFIC PAINT AND MARKINGS SHALL BE APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 - ITEMS TO BE PAINTED WHITE INCLUDE: NON-ADA PARKING STALLS AND NON-ADA AISLES, PEDESTRIAN CROSSINGS, STOP BARS AND TRAFFIC ARROWS OUTSIDE OF SCDDOT RIGHT-OF-WAY.
 - ITEMS TO BE PAINTED YELLOW INCLUDE: RAISED MEDIANS AND/OR DIVIDERS, PROTECTIVE GUARD POSTS, AND LOADING AREAS.
 - ITEMS REQUIRING BLUE PAINT INCLUDE HANDICAP PARKING STALLS AND SYMBOLS, ACCESSIBLE AISLES ADA CROSSING AREAS.
 - ALL PAVEMENT MARKINGS WITHIN SCDDOT R/W SHALL BE THERMOPLASTIC AND PER SECTIONS 625, 626, 627 OF THE "SCDDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION".
- ### PARKING LOT SIGNAGE NOTES
- THE CONTRACTOR SHALL FURNISH AND INSTALL "HANDICAPPED PARKING" SIGNS WITH IDENTIFYING HANDICAPPED SYMBOL AT ALL HANDICAPPED PARKING SPACES. INCLUDE VAN ACCESSIBLE WHERE APPLICABLE. (SEE DETAILS)
 - THE CONTRACTOR SHALL FURNISH AND INSTALL "STOP" SIGNS IN THE LOCATIONS INDICATED. "STOP" SIGNS SHALL BE 36" X 36" WITH RED REFLECTORIZED BACKGROUND AND WHITE REFLECTORIZED LEGEND AND BORDER CONFORMING TO SCDDOT SPECIFICATIONS FOR R1-1-38.



NOTE: INFORMATION REGARDING THE REPORTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES, BEFORE THESE PLANS MAY BE PROCEEDED TO AND OWNER. THE FIELD QUALITY CONTROL HAS BEEN PERFORMED TO THE BEST OF OUR KNOWLEDGE AND IT SHALL BE CONSIDERED THAT THE LOCATION OF UTILITIES SHOWN HEREON ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND STRUCTURES NOT SHOWN ON THESE PLANS MAY BE ENCOUNTERED. THE OWNER USES UTILITIES, THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND STRUCTURES NOT SHOWN ON THESE PLANS MAY BE ENCOUNTERED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND STRUCTURES NOT SHOWN ON THESE PLANS MAY BE ENCOUNTERED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND STRUCTURES NOT SHOWN ON THESE PLANS MAY BE ENCOUNTERED.

3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
CALL 811
CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATIONS EVERY 30 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

- ### REFERENCES:
- REFERENCES
 - ALTANSP'S LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.
- ### GENERAL NOTES:
- THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP PARCELS 03899-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27.
 - TOTAL AREA OF SUBJECT PROPERTY IS 52.95 ACRES.
 - THE SUBJECT PARCELS 03899-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27 ARE IN THE CITY OF WEST COLUMBIA AND ZONED AS "D" (DEVELOPMENT).
 - CONTOUR INTERVAL ELEVATIONS ARE ONE (1) FOOT. ELEVATIONS SHOWN ARE NAVD 88 DATUM.
 - THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. THE LOCATIONS OF OTHER UNDERGROUND UTILITIES AND THEIR SERVICES ARE UNKNOWN. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
 - THIS PROPERTY IS LOCATED IN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP NUMBER 45083C01444 & 45083C0163J, REVISED JULY 5, 2018, BY SCALED LOCATION AND GRAPHIC PLOTTING ONLY.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THEY AND THEIR SUBCONTRACTORS HAVE THE CORRECT/MOST UP-TO-DATE PLANS AVAILABLE.
 - ALL SIDEWALKS, STRIPING AND SIGNAGE SHALL BE ADA AND MUTCD COMPLIANT.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

NOTE TO CONTRACTOR REGARDING WORK IN PUBLIC STREET RIGHTS OF WAY

ALL WORK AND MATERIALS WITHIN THE SCDDOT RIGHT-OF-WAYS SHALL CONFORM TO THE APPROVED SCDDOT ENCROACHMENT PERMITS. TRAFFIC CONTROL SHALL BE PER THE APPROVED ENCROACHMENT PERMIT & SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

COX AND DINKINS
ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
724 BELTLINE BLVD.
COLUMBIA, SC 29205
803.254.0518
COXANDDINKINS.COM

James M. Bell
LICENSED PROFESSIONAL ENGINEER
No. 27748

COX AND DINKINS, INC.
No. C00294

CERTIFICATE OF AUTHORIZATION SEAL

NO.	DATE	DESCRIPTION	REVISIONS
1	01/18/2022	Revise unit count and Blg 11 & 12 per owner	
2	02/04/2022	Revise Blg 11 & 12, Added Setbacks	
3	3/11/2022	Per Owner's review comments	

PRIMARY PERMITTEE:
TODD ANDERSEN
COLUMBIA APARTMENT RESIDENCES, LLC
1545 PEACHTREE ST. NW, SUITE 260
ATLANTA, GA 30309
(404) 815-1234
email: tandersen@novaregroup.com

PROJECT: LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.
LOCATED IN THE CITY OF WEST COLUMBIA,
LEXINGTON COUNTY, SOUTH CAROLINA

PROJECT NO. 2238
SF NO. 144-12

ENLARGED SITE PLAN

TMS 03899-03-11; 04535-01-14; 04597-09-21, -22, -26, & -27
BOOK 68G-42
DATE JANUARY 14, 2022
SHEET NO. C2C of 48

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LEGEND

--- LOD	--- LOD	---	---	(CW)	CONCRETE WASHOUT
(SF)	(SF)	(SF)	(SF)	(FB)	FILTER BERM
-315	-315	-315	-315	(SK)	SKIMMER
-314	-314	-314	-314	(ES)	EMERGENCY SPILLWAY
-314	-314	-314	-314	(SS)	SEDIMENT STAKE
---	---	---	---	(PP)	PLUNGE POOL
---	---	---	---	(TD)	TRAPEZOIDAL DIVERSION SWALE (MIN. 2' DEPTH)
---	---	---	---	(TR)	SEDIMENT TRAP
---	---	---	---	(RO)	SILT FENCE ROCK OUTLET
---	---	---	---	(J15)	SILT FENCE TIE-BACK
(CE)	(CE)	(CE)	(CE)	(CD)	ROCK CHECKDAM - SEE DETAIL SPACING: 70' O.C.

CONSTRUCTION SEQUENCE : PHASE 1

DATE: 3/1/2022 - 3/15/2022

- RECEIVE PERMIT COVERAGE FROM CITY OF WEST COLUMBIA & LEXINGTON COUNTY AND SCHEG.
- THE CONTRACTOR, OWNER AND/OR PRIMARY PERMITTEE, ENGINEER, AND NECESSARY GOVERNMENT REPRESENTATIVES SHALL ATTEND A PRE-CONSTRUCTION CONFERENCE AT THE APPROPRIATE PRE-DETERMINED LOCATION.
- NOTIFY CITY OF WEST COLUMBIA AND LEXINGTON COUNTY 48 HOURS PRIOR TO BEGINNING LAND-DISTURBING ACTIVITIES.
- INSTALL CONSTRUCTION ENTRANCES.
- INSTALL HIGH VISIBILITY ORANGE SAFETY FENCING AND PERIMETER SILT FENCING. THE SILT FENCE INSTALLATION SHALL OCCUR PRIOR TO CLEARING OR OTHER LAND DISTURBING ACTIVITIES. DOUBLE ROW OF SILT FENCE SHALL BE AT ALL WETLAND BUFFERS WITHIN LIMITS OF DISTURBANCE.
- DATE: 3/16/2022 - 4/7/2022
- BUILD DETENTION PONDS 1, 2, 3. INSTALL SKIMMER, FILTER BERM AND BAFFLES IN DETENTION PONDS.
- BUILD TEMPORARY SEDIMENT TRAP WITH RIPRAP BERM NEAR PROPOSED POOL AREA.
- THE CONTRACTOR SHALL GRADE MIN. 2" DEEP TEMPORARY SWALES AND/OR TRAPEZOIDAL DIVERSION DITCHES AS NEEDED TO DIRECT RUNOFF INTO THE STORM DRAINAGE SYSTEM, DETENTION PONDS, AND TEMPORARY SEDIMENT TRAP. INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO ENSURE RUNOFF DOES NOT ERODE.
- DATE: 4/1/2022 - 5/1/2022
- DEMOLISH ITEMS AS NOTED ON THE DEMOLITION PLAN AND DISPOSE OF PER ALL APPLICABLE REGULATIONS.
- DATE: 4/1/2022 - 7/1/2022
- COMMENCE EARTH MOVING OPERATIONS.
- TEMPORARILY ESTABLISH VEGETATION TO THE MAXIMUM EXTENT POSSIBLE ON ALL DISTURBED AREAS REQUIRED FOR INSTALLATION OF ALL ITEMS NOTED ABOVE PER THE EROSION CONTROL NOTES AND SEEDING SCHEDULE.
- PROCEED TO SWPPP PHASE 2.

NOTE TO CONTRACTOR REGARDING PHASED SWPPP

THE INTENT OF THE PHASED SWPPP IS TO LIMIT THE AMOUNT OF EXPOSED SOIL DURING CONSTRUCTION TO PREVENT LOSS OF SEDIMENT. THE CONTRACTOR MUST REVIEW ALL PORTIONS OF THE SWPPP TO UNDERSTAND EACH PHASE AND THE PURPOSE OF THE PHASING. THERE WILL BE INFORMATION CONTAINED IN THE CONSTRUCTION PHASE SWPPP AND DETAILS THAT WILL BE NEEDED AS YOU TRANSITION FROM INITIAL PHASE THROUGH STABILIZATION PHASE. CONSULT ALL PLAN SHEETS AND DETAILS TO DETERMINE THE BEST COURSE OF ACTION WHILE KEEPING THE OVERALL INTENT OF THESE PHASED SWPPPS. IT IS HIGHLY RECOMMENDED THAT THE CONTRACTOR HAVE THE PROJECT ENGINEER OR SWPPP INSPECTOR PERFORM AN INSPECTION TO VERIFY THAT ALL ELEMENTS OF THE INITIAL SWPPP ARE INSTALLED PROPERLY PRIOR TO MOVING FORWARD WITH THE CONSTRUCTION PHASE SWPPP.

DIVERSION SWALE GRASSING NOTE:

ALL DIVERSION SWALES SHALL BE DOUBLE-SEEDED PER THE TEMPORARY SEEDING SCHEDULE.

**TOTAL DISTURBED AREA
18.2 ACRES**

PRIMARY PERMITTEE:
**TODD ANDERSEN
COLUMBIA APARTMENT
RESIDENCES, LLC**
1645 PEACHTREE ST. NW, SUITE 280
ATLANTA, GA 30309
(404) 815-1234
email: tandersen@novaregroup.com

PROJECT:
**LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.**
LOCATED IN THE CITY OF WEST COLUMBIA,
LEXINGTON COUNTY, SOUTH CAROLINA

PROJECT NO.: 2288
SF NO.: 144-12

SWPPP - PHASE 1

NOTE:
INFORMATION REGARDING THE REPORTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS MAY HAVE BEEN PROVIDED TO COX AND DINKINS, INC. FROM LOCAL UTILITY COMPANIES. THERE IS NO WARRANTY OF THE LIGHT BY THOSE USING THE DRAWING, HOWEVER, COX AND DINKINS, INC. HAS MADE REASONABLE ATTEMPTS TO OBTAIN THE MOST RECENT INFORMATION AVAILABLE TO CONCLUDE THAT THE INFORMATION IS NOT ACCURATE, FURTHERMORE, OTHER UTILITIES AND STRUCTURES NOT SHOWN ON THESE PLANS MAY BE PRESENT. THE OWNER, HIS EMPLOYEES, HIS CONTRACTORS, THE ARCHITECT AND HIS CONTRACTORS SHALL HEREBY EXPRESSLY UNDERSTAND AND AGREE THAT THEY ARE RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE UNDERGROUND INFORMATION INFORMATION WITH RESPECT TO THEIR OWNING AND OPERATING THE PROJECT. COX AND DINKINS, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND IS SHOWN HEREON.

The Palmetto Utility Protection Service, Inc.
South Carolina 811
3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
CALL 811
CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 15 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

REFERENCES:

- REFERENCES
ALTA/NSPS LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.

GENERAL NOTES:

- THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27.
- TOTAL AREA OF SUBJECT PROPERTY IS 52.96 ACRES.
- THE SUBJECT PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27 ARE IN THE CITY OF WEST COLUMBIA AND ZONED AS "D (DEVELOPMENT)".
- CONTOUR INTERVAL ELEVATIONS ARE ONE (1) FOOT. ELEVATIONS SHOWN ARE NAVD 88 DATUM.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. THE LOCATIONS OF OTHER UNDERGROUND UTILITIES AND THEIR SERVICES ARE UNKNOWN. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
- THIS PROPERTY IS LOCATED IN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP NUMBER 45063C0144J & 45063C0163J, REVISED JULY 5, 2018, BY SCALED LOCATION AND GRAPHIC PLOTTING ONLY.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT THEY AND THEIR SUBCONTRACTORS HAVE THE CORRECTMOST UP-TO-DATE PLANS AVAILABLE.
- ALL SIDEWALKS, STRIPING AND SIGNAGE SHALL BE ADA AND MUTCD COMPLIANT.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

COX AND DINKINS
ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
724 BELLINE BLVD.
COLUMBIA, SC 29205
803.254.0518
COXANDINKINS.COM

South Carolina
Professional Engineer
No. 27748
3/1/2022
Laura M. Baker
Licensed Professional Engineer
No. 27748

South Carolina
Professional Engineer
No. C00294
Certificate of Authority

CERTIFICATE OF AUTHORIZATION SEAL

REVISIONS	DESCRIPTION	DATE	NO.

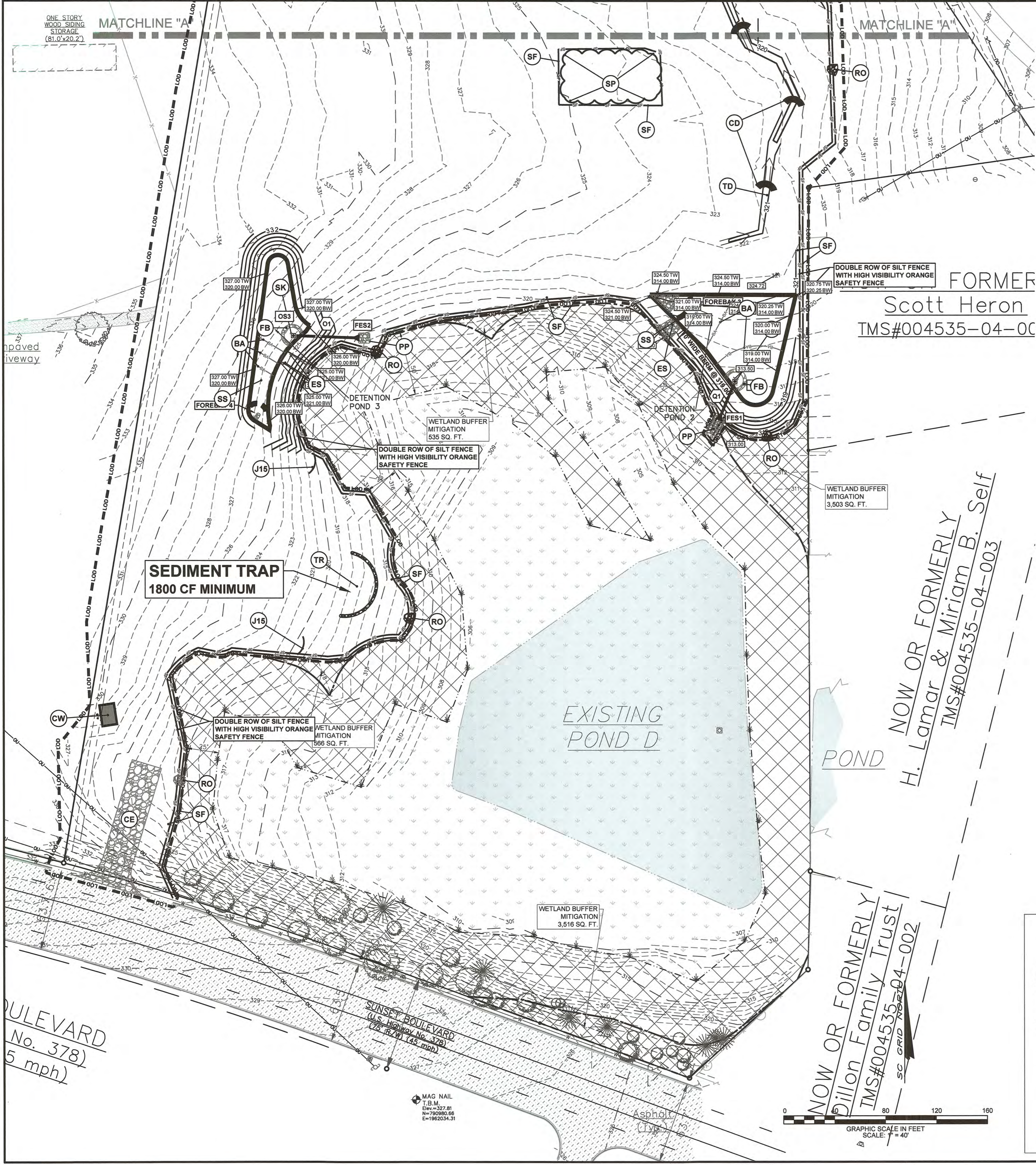
PROJECT:
**LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.**
LOCATED IN THE CITY OF WEST COLUMBIA,
LEXINGTON COUNTY, SOUTH CAROLINA

PROJECT NO.: 2288
SF NO.: 144-12

SWPPP - PHASE 1

TMS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27
BOOK 68G-42
DATE JANUARY 14, 2022
SHEET NO. **C3** of **48**

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LEGEND

--- LOD --- LOD	LIMITS OF DISTURBANCE	☐ CW	CONCRETE WASHOUT
--- SF --- SF	WIRE BACKED SILT FENCE (SEE DETAIL)	○ FB	FILTER BERM
--- 315 ---	PROPOSED INDEX CONTOUR	○ SK	SKIMMER
--- 314 ---	PROPOSED INTERMEDIATE CONTOUR	○ ES	EMERGENCY SPILLWAY
--- 315 ---	EXISTING INDEX CONTOUR	○ SS	SEDIMENT STAKE
--- 314 ---	EXISTING INTERMEDIATE CONTOUR	○ PP	PLUNGE POOL
← ← ←	FLOW ARROW INDICATING STORMWATER FLOW DIRECTION	○ TD	TRAPEZOIDAL DIVERSION SWALE (MIN. 2' DEPTH)
☐ CE	CONSTRUCTION ENTRANCE / EXIT	○ TR	SEDIMENT TRAP
☐ CD	ROCK CHECKDAM - SEE DETAIL SPACING: 70' O.C.	○ RO	SILT FENCE ROCK OUTLET
		○ J15	SILT FENCE TIE-BACK

CONSTRUCTION SEQUENCE : PHASE 1

- DATE: 3/1/2022 - 3/15/2022
1. RECEIVE PERMIT COVERAGE FROM CITY OF WEST COLUMBIA & LEXINGTON COUNTY AND SCDEEC.
 2. THE CONTRACTOR, OWNER AND/OR PRIMARY PERMITTEE, ENGINEER, AND NECESSARY GOVERNMENT REPRESENTATIVES SHALL ATTEND A PRE-CONSTRUCTION CONFERENCE AT THE APPROPRIATE PRE-DETERMINED LOCATION.
 3. NOTIFY CITY OF WEST COLUMBIA AND LEXINGTON COUNTY 48 HOURS PRIOR TO BEGINNING LAND-DISTURBING ACTIVITIES.
 4. INSTALL CONSTRUCTION ENTRANCES.
 5. INSTALL HIGH VISIBILITY ORANGE SAFETY FENCING AND PERIMETER SILT FENCING. THE SILT FENCE INSTALLATION SHALL OCCUR PRIOR TO CLEARING OR OTHER LAND DISTURBING ACTIVITIES. DOUBLE ROW OF SILT FENCE SHALL BE AT ALL WETLAND BUFFERS WITHIN LIMITS OF DISTURBANCE.
- DATE: 3/16/2022 - 4/7/2022
6. BUILD DETENTION PONDS 1, 2, 3. INSTALL SKIMMER, FILTER BERM AND BAPFLES IN DETENTION PONDS.
 7. BUILD TEMPORARY SEDIMENT TRAP WITH RIPRAP BERM NEAR PROPOSED POOL AREA.
 8. THE CONTRACTOR SHALL GRADE MIN. 2' DEEP TEMPORARY SWALES AND/OR TRAPEZOIDAL DIVERSION DITCHES AS NEEDED TO DIRECT RUNOFF INTO THE STORM DRAINAGE SYSTEM, DETENTION PONDS, AND TEMPORARY SEDIMENT TRAP. INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO ENSURE RUNOFF DOES NOT ERODE.
- DATE: 4/1/2022 - 5/1/2022
9. DEMOLISH ITEMS AS NOTED ON THE DEMOLITION PLAN AND DISPOSE OF PER ALL APPLICABLE REGULATIONS.
 10. COMMENCE EARTH MOVING OPERATIONS.
 11. TEMPORARILY ESTABLISH VEGETATION TO THE MAXIMUM EXTENT POSSIBLE ON ALL DISTURBED AREAS REQUIRED FOR INSTALLATION OF ALL ITEMS NOTED ABOVE PER THE EROSION CONTROL NOTES AND SEEDING SCHEDULE.
 12. PROCEED TO SWPPP PHASE 2.

NOTE TO CONTRACTOR REGARDING PHASED SWPPP

THE INTENT OF THE PHASED SWPPP IS TO LIMIT THE AMOUNT OF EXPOSED SOIL DURING CONSTRUCTION TO PREVENT LOSS OF SEDIMENT. THE CONTRACTOR MUST REVIEW ALL PORTIONS OF THE SWPPP TO UNDERSTAND EACH PHASE AND THE PURPOSE OF THE PHASING. THERE WILL BE INFORMATION CONTAINED IN THE CONSTRUCTION PHASE SWPPP AND DETAILS THAT WILL BE NEEDED AS YOU TRANSITION FROM INITIAL PHASE THROUGH STABILIZATION PHASE. CONSULT ALL PLAN SHEETS AND DETAILS TO DETERMINE THE BEST COURSE OF ACTION WHILE KEEPING THE OVERALL INTENT OF THESE PHASED SWPPPS. IT IS HIGHLY RECOMMENDED THAT THE CONTRACTOR HAVE THE PROJECT ENGINEER OR SWPPP INSPECTOR PERFORM AN INSPECTION TO VERIFY THAT ALL ELEMENTS OF THE INITIAL SWPPP ARE INSTALLED PROPERLY PRIOR TO MOVING FORWARD WITH THE CONSTRUCTION PHASE SWPPP.

DIVERSION SWALE GRASSING NOTE:

ALL DIVERSION SWALES SHALL BE DOUBLE-SEEDED PER THE TEMPORARY SEEDING SCHEDULE.

**TOTAL DISTURBED AREA
18.2 ACRES**

COX AND DINKINS
ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
724 BELTLINE BLVD.
COLUMBIA, SC 29205
803.254.0518
COXANDINKINS.COM

South Carolina Professional Engineer
No. 27748
3/1/2022
Laura M. Baker
LICENSED PROFESSIONAL ENGINEER
No. 27748

South Carolina Professional Engineer
No. 00294
COX AND DINKINS, INC.
No. 00294

CERTIFICATE OF AUTHORIZATION SEAL

NO.	DATE	DESCRIPTION

PRIMARY PERMITTEE:
TODD ANDERSEN
COLUMBIA APARTMENT
RESIDENCES, LLC
1545 PEACHTREE ST. NW, SUITE 260
ATLANTA, GA 30309
(404) 815-1234
email: tandersen@novaregroup.com

PROJECT
LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.
LOCATED IN THE CITY OF WEST COLUMBIA,
LEXINGTON COUNTY, SOUTH CAROLINA

PROJECT NO.
2238

ENLARGED SWPPP - PHASE 1

TMS 03699-03-11, 04535-01-14,
04597-09-21, -22, -26, & -27

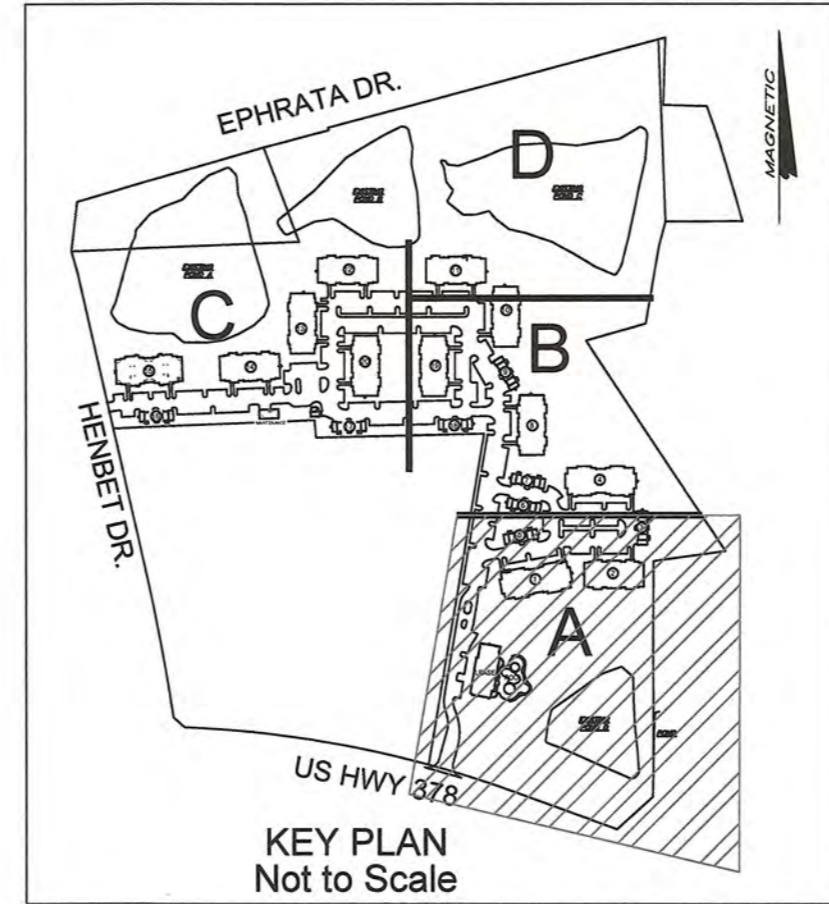
BOOK
69G-42

DATE
JANUARY 14, 2022

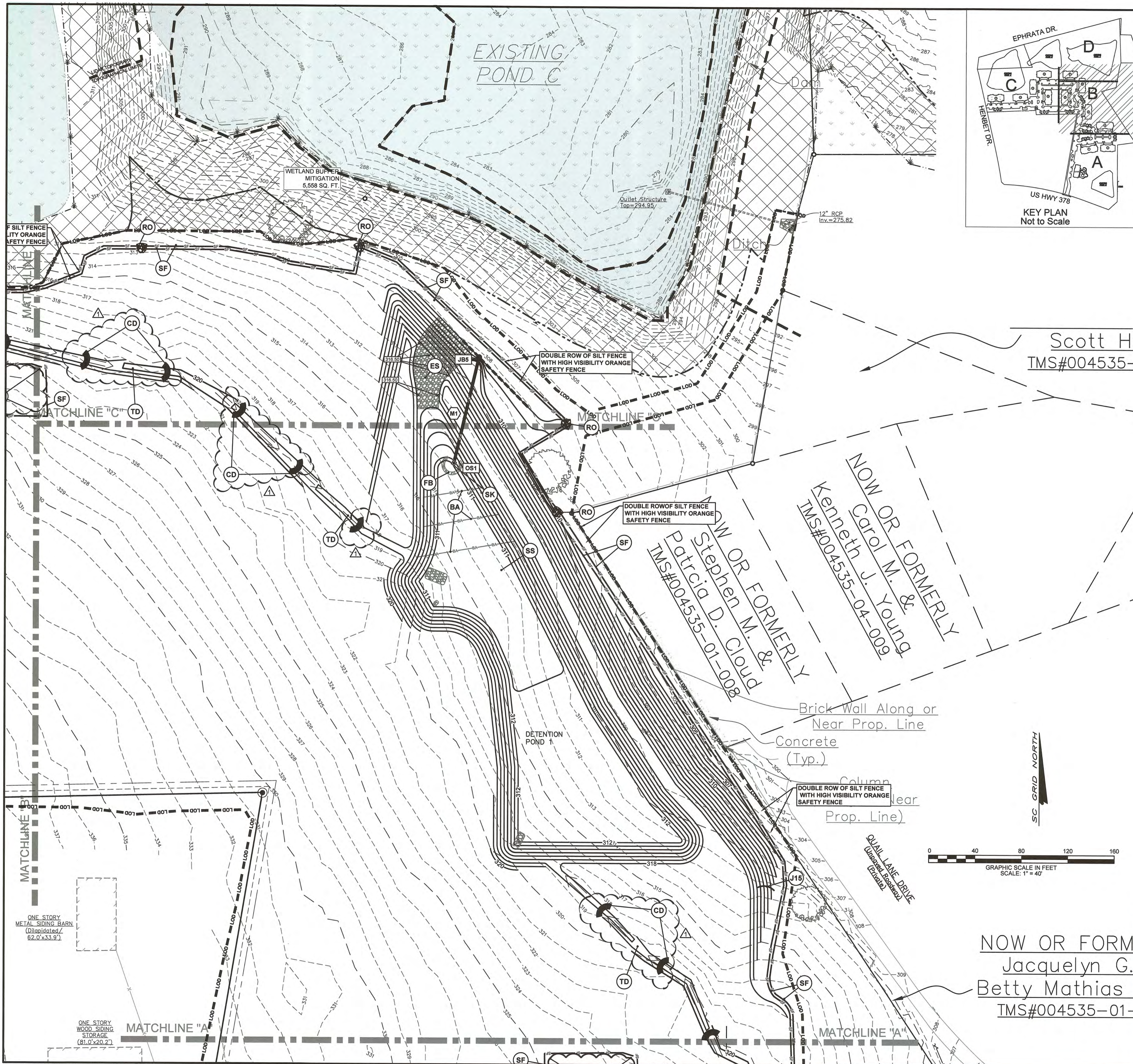
SHEET NO.
C3A of 48

South Carolina 811
The Palmetto Utility Protection Service, Inc.
3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
CALL 811
CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATIONS EVERY 10 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

- REFERENCES:**
1. REFERENCES
ALTA/NPS LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.
- GENERAL NOTES:**
1. THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27.
 2. TOTAL AREA OF SUBJECT PROPERTY IS 62.96 ACRES.
 3. THE SUBJECT PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27 ARE IN THE CITY OF WEST COLUMBIA AND ZONED AS "D (DEVELOPMENT)".
 4. CONTOUR INTERVAL ELEVATIONS ARE ONE (1) FOOT. ELEVATIONS SHOWN ARE NAVD 88 DATUM.
 5. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. THE LOCATIONS OF OTHER UNDERGROUND UTILITIES AND THEIR SERVICES ARE UNKNOWN. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
 6. THIS PROPERTY IS LOCATED IN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP NUMBER 45083C0144J & 45083C0163J, REVISED JULY 5, 2018, BY SCALED LOCATION AND GRAPHIC PLOTTING ONLY.
 7. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT THEY AND THEIR SUBCONTRACTORS HAVE THE CORRECTMOST UP-TO-DATE PLANS AVAILABLE.
 8. ALL SIDEWALKS, STRIPING AND SIGNAGE SHALL BE ADA AND MUTCD COMPLIANT.
 9. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



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LEGEND

--- LOD ---	LIMITS OF DISTURBANCE	CW	CONCRETE WASHOUT
--- SF ---	WIRE BACKED SILT FENCE (SEE DETAIL)	FB	FILTER BERM
-315-	PROPOSED INDEX CONTOUR	SK	SKIMMER
-314-	PROPOSED INTERMEDIATE CONTOUR	ES	EMERGENCY SPILLWAY
-315-	EXISTING INDEX CONTOUR	SS	SEDIMENT STAKE
-314-	EXISTING INTERMEDIATE CONTOUR	PP	PLUNGE POOL
←	FLOW ARROW INDICATING STORMWATER FLOW DIRECTION	TD	TRAPEZOIDAL DIVERSION SWALE (MIN. 2' DEPTH)
←	FLOW ARROW INDICATING STORMWATER FLOW DIRECTION	TR	SEDIMENT TRAP
←	FLOW ARROW INDICATING STORMWATER FLOW DIRECTION	RO	SILT FENCE ROCK OUTLET
←	FLOW ARROW INDICATING STORMWATER FLOW DIRECTION	J15	SILT FENCE TIE-BACK
CE	CONSTRUCTION ENTRANCE / EXIT		
CD	ROCK CHECKDAM - SEE DETAIL SPACING: 70' O.C.		

- CONSTRUCTION SEQUENCE : PHASE 1**
- 1-2 WEEKS FROM START DATE
 1. RECEIVE PERMIT COVERAGE FROM CITY OF WEST COLUMBIA & LEXINGTON COUNTY AND SCDEH.
 2. THE CONTRACTOR, OWNER AND/OR PRIMARY PERMITTEE, ENGINEER, AND NECESSARY GOVERNMENT REPRESENTATIVES SHALL ATTEND A PRE-CONSTRUCTION CONFERENCE AT THE APPROPRIATE PRE-DETERMINED LOCATION.
 3. NOTIFY CITY OF WEST COLUMBIA AND LEXINGTON COUNTY 48 HOURS PRIOR TO BEGINNING LAND-DISTURBING ACTIVITIES.
 4. INSTALL CONSTRUCTION ENTRANCE(S).
 5. INSTALL WATER QUALITY BUFFER SIGNS EVERY 100' ALONG WETLAND BUFFER AND HIGH VISIBILITY ORANGE SAFETY FENCING AND PERIMETER SILT FENCING. THE SILT FENCE INSTALLATION SHALL OCCUR PRIOR TO CLEARING OR OTHER LAND DISTURBING ACTIVITIES. DOUBLE ROW OF SILT FENCE SHALL BE AT ALL WETLAND BUFFERS WITHIN LIMITS OF DISTURBANCE.
 - 1-2 MONTHS FROM START DATE
 6. BUILD DETENTION PONDS 1, 2, 3. INSTALL SKIMMER, FILTER BERM AND BAFFLES IN DETENTION PONDS.
 7. BUILD TEMPORARY SEDIMENT TRAP WITH RIPRAP BERM NEAR PROPOSED POOL AREA.
 8. THE CONTRACTOR SHALL GRADE MIN. 2" DEEP TEMPORARY SWALES AND/OR TRAPEZOIDAL DIVERSION DITCHES AS NEEDED TO DIRECT RUNOFF INTO THE STORM DRAINAGE SYSTEM, DETENTION PONDS, AND TEMPORARY SEDIMENT TRAP. INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO ENSURE RUNOFF DOES NOT ERODE.
 9. DEMOLISH ITEMS AS NOTED ON THE DEMOLITION PLAN AND DISPOSE OF PER ALL APPLICABLE REGULATIONS.
 - 2-6 MONTHS FROM START DATE
 10. COMMENCE EARTH MOVING OPERATIONS.
 11. TEMPORARILY ESTABLISH VEGETATION TO THE MAXIMUM EXTENT POSSIBLE ON ALL DISTURBED AREAS REQUIRED FOR INSTALLATION OF ALL ITEMS NOTED ABOVE PER THE EROSION CONTROL NOTES AND SEEDING SCHEDULE.
 12. PROCEED TO SWPPP PHASE 2.

NOTE TO CONTRACTOR REGARDING PHASED SWPPP

THE INTENT OF THE PHASED SWPPP IS TO LIMIT THE AMOUNT OF EXPOSED SOIL DURING CONSTRUCTION TO PREVENT LOSS OF SEDIMENT. THE CONTRACTOR MUST REVIEW ALL PORTIONS OF THE SWPPP TO UNDERSTAND EACH PHASE AND THE PURPOSE OF THE PHASING. THERE WILL BE INFORMATION CONTAINED IN THE CONSTRUCTION PHASE SWPPP AND DETAILS THAT WILL BE NEEDED AS YOU TRANSITION FROM INITIAL PHASE THROUGH STABILIZATION PHASE. CONSULT ALL PLAN SHEETS AND DETAILS TO DETERMINE THE BEST COURSE OF ACTION WHILE KEEPING THE OVERALL INTENT OF THESE PHASED SWPPPS. IT IS HIGHLY RECOMMENDED THAT THE CONTRACTOR HAVE THE PROJECT ENGINEER OR SWPPP INSPECTOR PERFORM AN INSPECTION TO VERIFY THAT ALL ELEMENTS OF THE INITIAL SWPPP ARE INSTALLED PROPERLY PRIOR TO MOVING FORWARD WITH THE CONSTRUCTION PHASE SWPPP.

DIVERSION SWALE GRASSING NOTE:

ALL DIVERSION SWALES SHALL BE DOUBLE-SEEDED PER THE TEMPORARY SEEDING SCHEDULE.

TOTAL DISTURBED AREA
18.2 ACRES

COX AND DINKINS
ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
724 BELTLINE BLVD.
COLUMBIA, SC 29205
803.254.0618
COXANDDINKINS.COM

South Carolina Professional Engineer
No. 27748
3/11/2022
James M. Baker
LICENSED PROFESSIONAL ENGINEER
No. 27748

South Carolina Professional Engineer
No. 00294
COX AND DINKINS, INC.
No. 00294

CERTIFICATE OF AUTHORIZATION SEAL

NO.	DATE	DESCRIPTION
1	3/17/2022	Revised per Lexington County Comments.

PRIMARY PERMITTEE:
TODD ANDERSEN
COLUMBIA APARTMENT
RESIDENCES, LLC
1545 PEACHTREE ST. NW, SUITE 280
ATLANTA, GA 30309
(404) 815-1234
email: tandersen@novaregroup.com

PROJECT
LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.
LOCATED IN THE CITY OF WEST COLUMBIA,
LEXINGTON COUNTY, SOUTH CAROLINAPROJECT NO. 2238
SHEET NO. **C3B** of 48

ENLARGED SWPPP - PHASE 1

TMS 03899-03-11, 04535-1-14,
04597-09-21, -22, -26, & -27

BOOK 68C-42

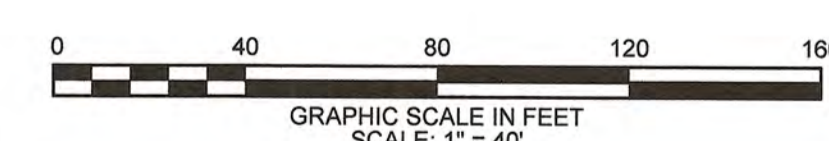
DATE JANUARY 14, 2022

- REFERENCES:**
1. REFERENCES
 2. ALTA/NPS LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.
- GENERAL NOTES:**
1. THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP PARCELS 03899-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27.
 2. TOTAL AREA OF SUBJECT PROPERTY IS 52.95 ACRES.
 3. THE SUBJECT PARCELS 03899-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27 ARE IN THE CITY OF WEST COLUMBIA AND ZONED AS "D" (DEVELOPMENT).
 4. CONTOUR INTERVAL ELEVATIONS ARE ONE (1) FOOT. ELEVATIONS SHOWN ARE NAVD 88 DATUM.
 5. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. THE LOCATIONS OF OTHER UNDERGROUND UTILITIES AND THEIR SERVICES ARE UNKNOWN. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
 6. THIS PROPERTY IS LOCATED IN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP NUMBER 45083C0144J & 45083C0163L, REVISED JULY 5, 2018, BY SCALED LOCATION AND GRAPHIC PLOTTING ONLY.
 7. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT THEY AND THEIR SUBCONTRACTORS HAVE THE CORRECT/MOST UP-TO-DATE PLANS AVAILABLE.
 8. ALL SIDEWALKS, STRIPING AND SIGNAGE SHALL BE ADA AND MUTCD COMPLIANT.
 9. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

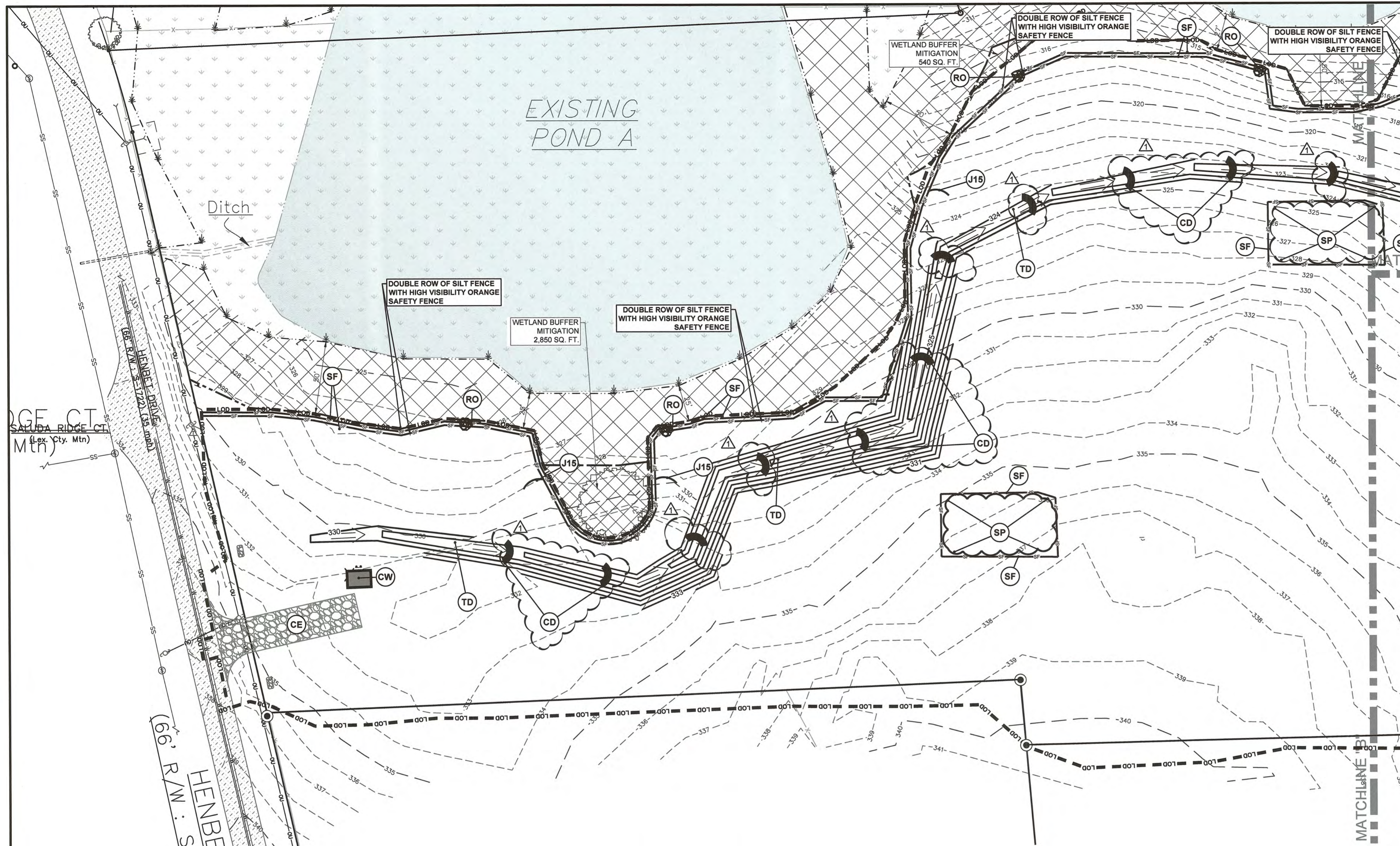
NOW OR FORM
Jacquelyn G.
Betty Mathias
TMS#004535-01-

NOW OR FORMERLY
Stephen M. &
Patricia D. Cloud
TMS#004535-01-008

NOW OR FORMERLY
Kenneth J. Young
TMS#004535-04-009



The Palmetto Utility Protection Service, Inc.
South Carolina 811
3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
CALL 811
CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 10 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.



LEGEND

- LOD - LIMITS OF DISTURBANCE
- SF - WIRE BACKED SILT FENCE (SEE DETAIL)
- 315 - PROPOSED INDEX CONTOUR
- 314 - PROPOSED INTERMEDIATE CONTOUR
- 315 - EXISTING INDEX CONTOUR
- 314 - EXISTING INTERMEDIATE CONTOUR
- FL - FLOW ARROW INDICATING STORMWATER FLOW DIRECTION
- CE - CONSTRUCTION ENTRANCE / EXIT
- CD - ROCK CHECKDAM - SEE DETAIL SPACING: 7' O.C.
- CW - CONCRETE WASHOUT
- FB - FILTER BERM
- SK - SKIMMER
- ES - EMERGENCY SPILLWAY
- SS - SEDIMENT STAKE
- PP - PLUNGE POOL
- TD - TRAPEZOIDAL DIVERSION SWALE (MIN. 2' DEPTH)
- TR - SEDIMENT TRAP
- RO - SILT FENCE ROCK OUTLET
- J15 - SILT FENCE TIE-BACK

CONSTRUCTION SEQUENCE : PHASE 1

- 1-2 WEEKS FROM START DATE
- RECEIVE PERMIT COVERAGE FROM CITY OF WEST COLUMBIA & LEXINGTON COUNTY AND SCHEC.
- THE CONTRACTOR, OWNER AND/OR PERMITS ENGINEER AND NECESSARY GOVERNMENT REPRESENTATIVES SHALL ATTEND A PRE-CONSTRUCTION CONFERENCE AT THE APPROPRIATE PRE-DETERMINED LOCATION.
- NOTIFY CITY OF WEST COLUMBIA AND LEXINGTON COUNTY 48 HOURS PRIOR TO BEGINNING LAND-DISTURBING ACTIVITIES.
- INSTALL CONSTRUCTION ENTRANCES.
- INSTALL WATER QUALITY BUFFER SIGNS EVERY 100' ALONG WETLAND BUFFER AND HIGH VISIBILITY ORANGE SAFETY FENCING AND PERIMETER SILT FENCING. THE SILT FENCE INSTALLATION SHALL OCCUR PRIOR TO CLEARING OR OTHER LAND DISTURBING ACTIVITIES. DOUBLE ROW OF SILT FENCE SHALL BE AT ALL WETLAND BUFFERS WITHIN LIMITS OF DISTURBANCE.
- 1-2 MONTHS FROM START DATE
- BUILD DETENTION PONDS 1, 2, 3. INSTALL SKIMMER, FILTER BERM AND Baffles IN DETENTION PONDS.
- BUILD TEMPORARY SEDIMENT TRAP WITH RIPRAP BERM NEAR PROPOSED POOL AREA.
- THE CONTRACTOR SHALL GRADE MIN. 2' DEEP TEMPORARY SWALES AND/OR TRAPEZOIDAL DIVERSION DITCHES AS NEEDED TO DIRECT RUNOFF INTO THE STORM DRAINAGE SYSTEM, DETENTION PONDS, AND TEMPORARY SEDIMENT TRAP. INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO ENSURE RUNOFF DOES NOT ERODE.
- DEMOLISH ITEMS AS NOTED ON THE DEMOLITION PLAN AND DISPOSE OF PER ALL APPLICABLE REGULATIONS.
- 2-4 MONTHS FROM START DATE
- COMMENCE EARTH MOVING OPERATIONS.
- TEMPORARILY ESTABLISH VEGETATION TO THE MAXIMUM EXTENT POSSIBLE ON ALL DISTURBED AREAS REQUIRED FOR INSTALLATION OF ALL ITEMS NOTED ABOVE PER THE EROSION CONTROL NOTES AND SEEDING SCHEDULE.
- PROCEED TO SWPPP PHASE 2.

NOTE TO CONTRACTOR REGARDING PHASED SWPPP

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TOTAL DISTURBED AREA
18.2 ACRES

COX AND DINKINS
ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
724 BELTLINE BLVD.
COLUMBIA, SC 29205
803.254.0518
COXANDDINKINS.COM

Laura M. Baker
LICENSED PROFESSIONAL ENGINEER
No. 27748

COX AND DINKINS, INC.
No. C00294

REVISIONS	DATE	DESCRIPTION
1	03/11/2022	Revised per Lexington County Comments.

PRIMARY PERMITEE:
TODD ANDERSEN
COLUMBIA APARTMENT
RESIDENCES, LLC
1545 PEACHTREE ST. NW, SUITE 260
ATLANTA, GA 30309
(404) 815-1234
email: tandersen@novaregroup.com

PROJECT
LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.
LOCATED IN THE CITY OF WEST COLUMBIA,
LEXINGTON COUNTY, SOUTH CAROLINA

PROJECT NO.
144-12
2238

ENLARGED SWPPP - PHASE 1

TMS	03699-03-11, 04535-1-14, 04597-09-21, -22, -26, & -27
BOOK	68G-42
DATE	JANUARY 14, 2022
SHEET NO.	C3C of 48

NOTE:
INFORMATION REGARDING THE REPORTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS FROM LOCAL UTILITY COMPANIES. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION. IT IS THE RESPONSIBILITY OF THE USER OF THIS DRAWING TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO MOVING FORWARD WITH THE CONSTRUCTION PHASE SWPPP. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO MOVING FORWARD WITH THE CONSTRUCTION PHASE SWPPP. COX AND DINKINS, INC. IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE UNDERGROUND INFORMATION. INFORMATION WITH RESPECT TO ABOVE-GROUND MONUMENTS OF SUD UTILITIES IS BASED UPON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS, AND IS SHOWN HEREON.

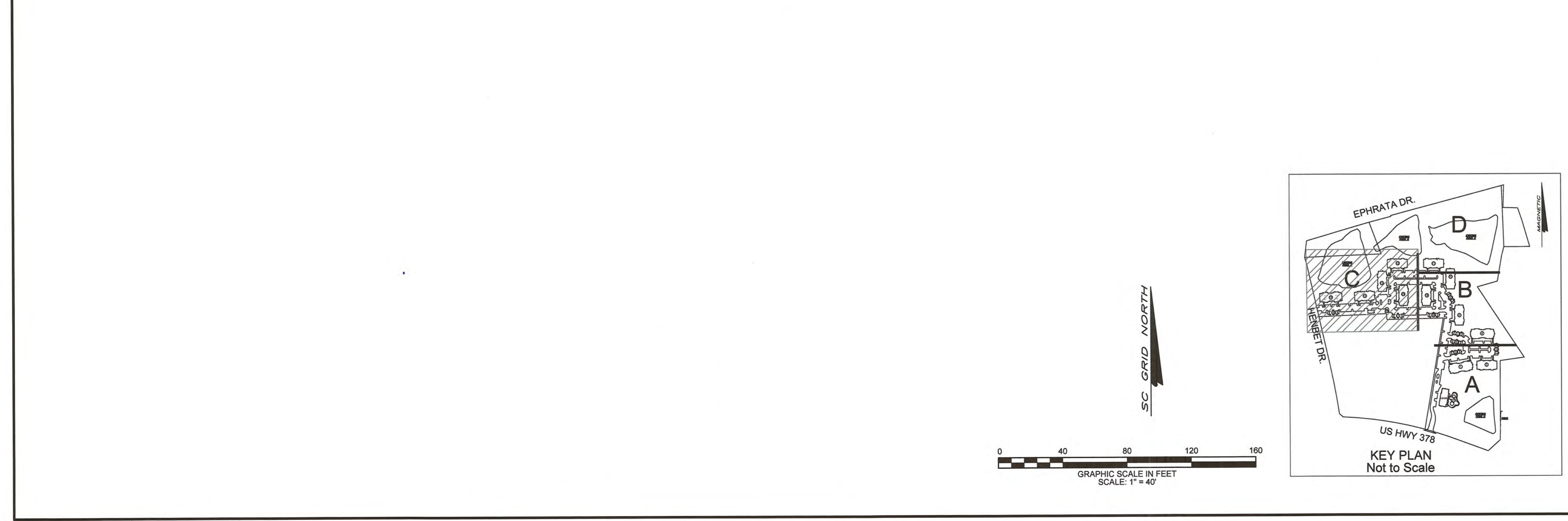
The Palmetto Utility Protection Service, Inc.
South Carolina 811
3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
CALL 811
CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATIONS EVERY 10 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

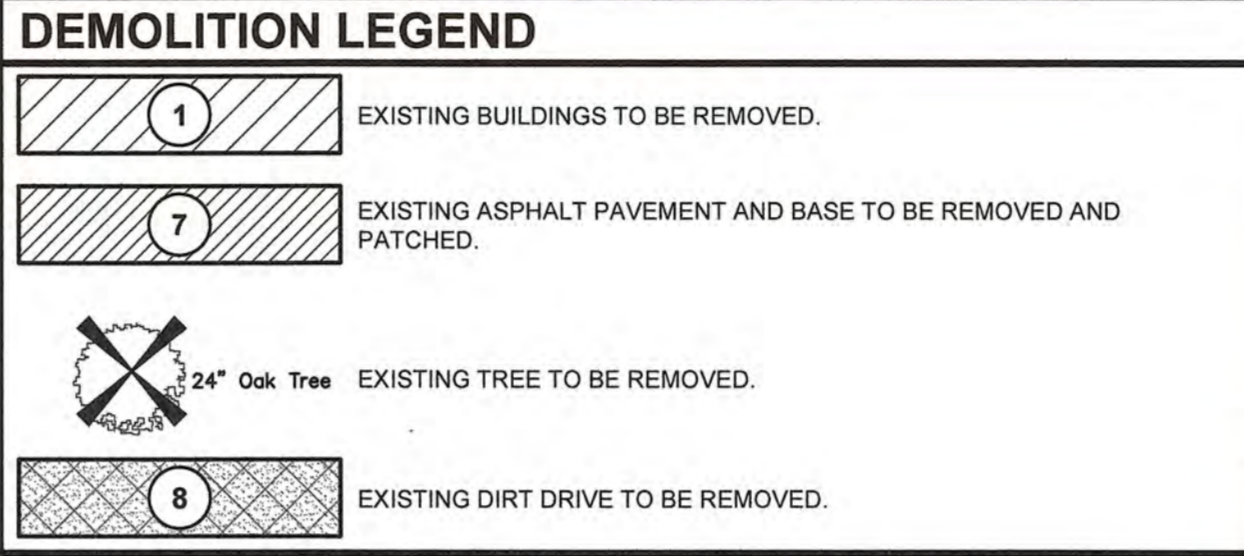
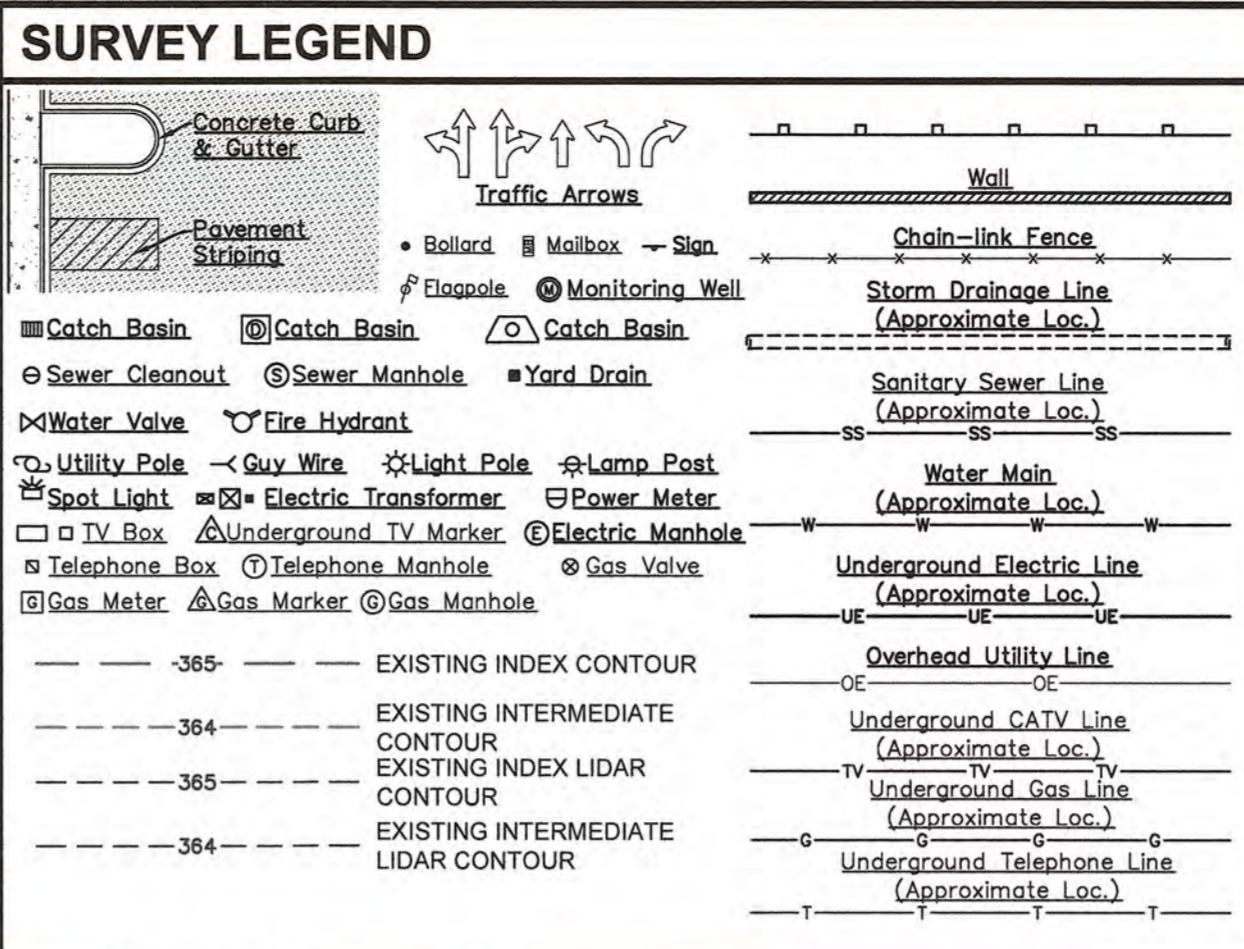
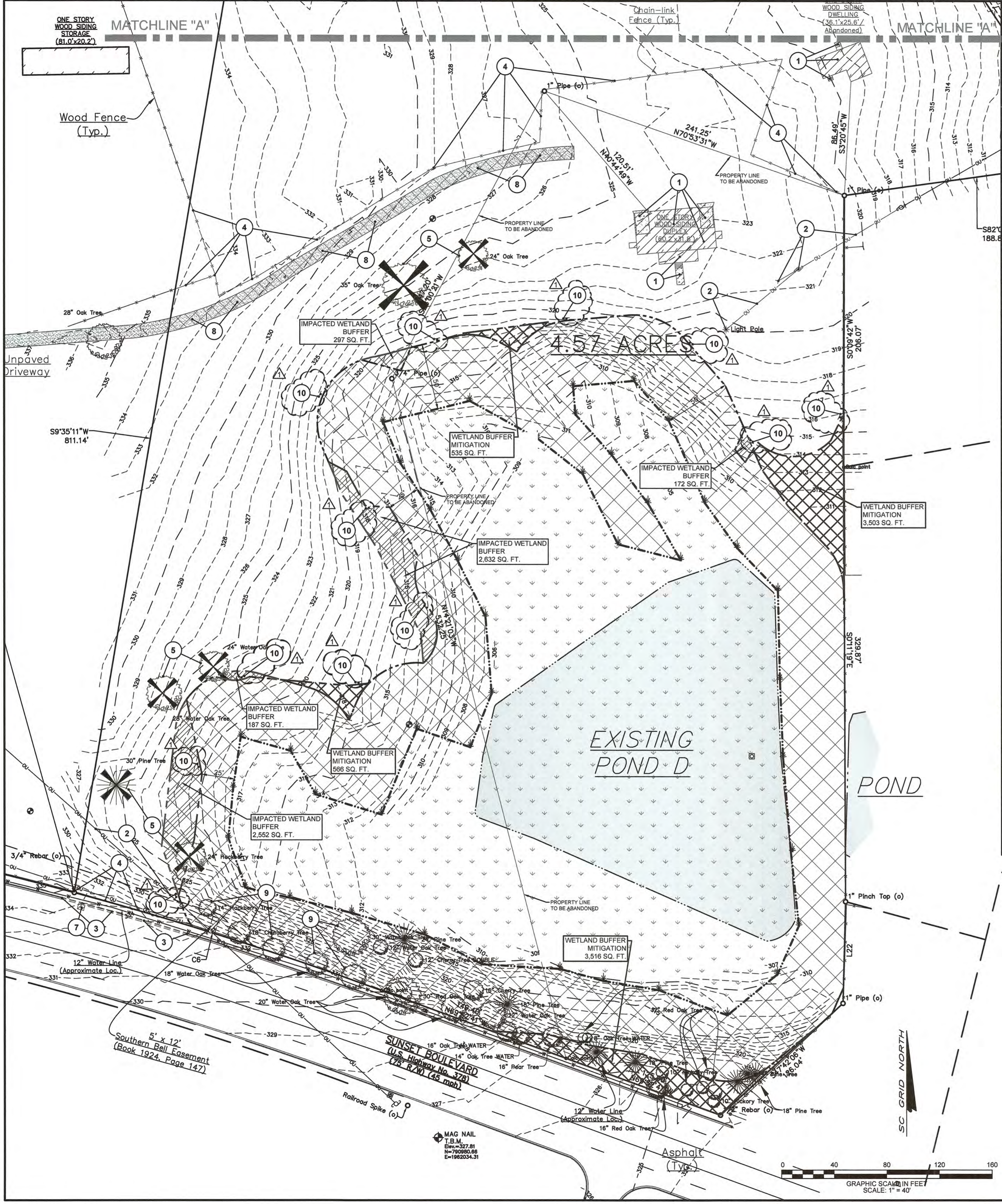
REFERENCES:

1. REFERENCES
ALTA/SPS LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.

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8. ALL SIDEWALKS, STRIPING AND SIGNAGE SHALL BE ADA AND MUTCO COMPLIANT.
9. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



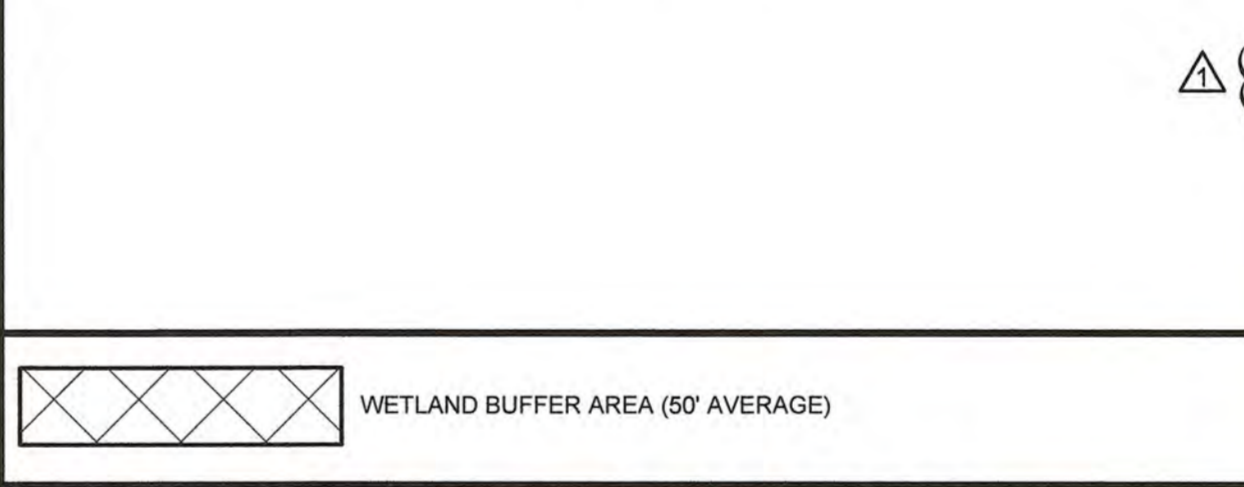


NOTE TO CONTRACTOR REGARDING WORK IN PUBLIC STREET RIGHTS OF WAY

ALL WORK AND MATERIALS WITHIN THE SCDOT RIGHT-OF-WAYS SHALL CONFORM TO THE APPROVED SCDOT ENCROACHMENT PERMITS. TRAFFIC CONTROL SHALL BE PER THE APPROVED ENCROACHMENT PERMIT & SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

Wetlands delineated by: Palmetto Environmental Consulting, Inc. 955 East Main Street, Suite E #52 Lexington, SC 29072 Office: 803-791-1033 Fax: 803-791-1055 www.palmettoenv.com

NOTE: Illustrated freshwater wetlands are under the jurisdiction of the U.S. Army Corps of Engineers and are subject to its permitting authority. Legal reliance cannot be made on the illustrated location and extent of wetlands without written verification of the wetland boundaries by the U.S. Army Corps of Engineers.

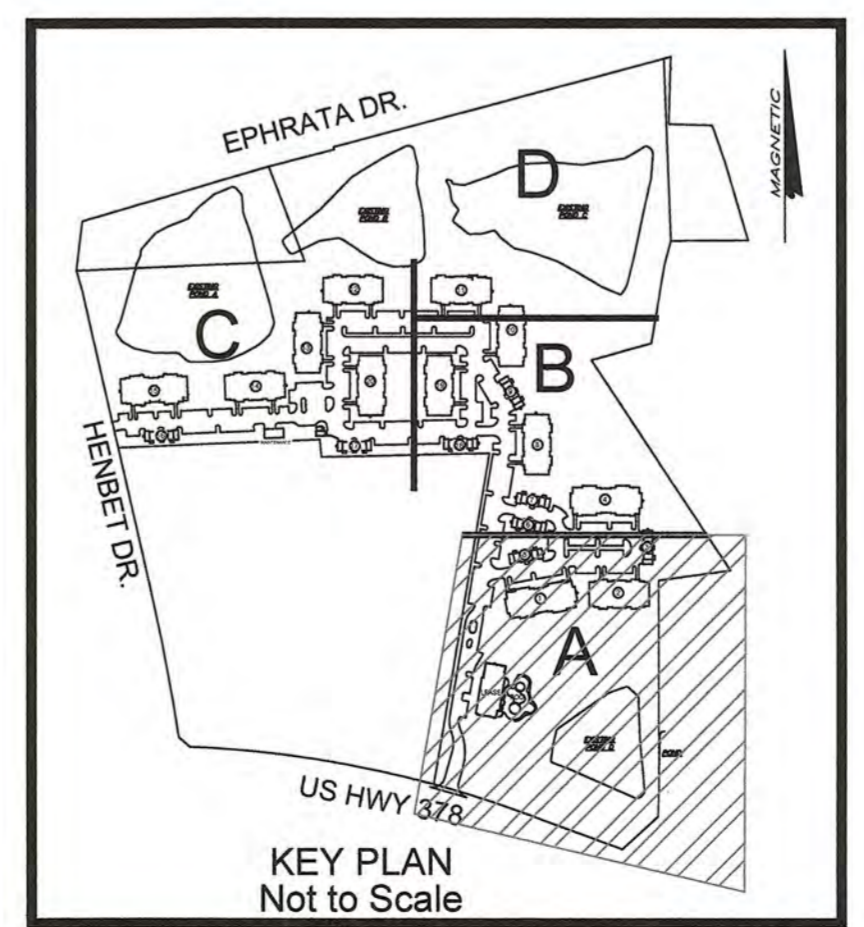


DEMOLITION/CLEARING NOTES

- THE CONTRACTOR SHALL VERIFY ALL ITEMS TO BE DEMOLISHED AND REMOVED FROM THE SITE. THE VERIFICATION PROCESS SHALL INCLUDE VISITING AND WALKING THE SITE. ALL ITEMS REQUIRING DEMOLITION/REMOVAL, WHETHER SHOWN ON THIS PLAN OR NOT, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE ENTIRE PROJECT SITE SHALL NOT NECESSARILY BE CLEARED AND GRUBBED BY THE CONTRACTOR. PRIOR TO COMMENCEMENT OF CLEARING THE CONTRACTOR SHALL WALK THE SITE WITH THE OWNER AND/OR OWNER'S REPRESENTATIVE TO IDENTIFY TREES AND/OR VEGETATION TO REMAIN. PROTECTION OF IDENTIFIED TREES AND/OR VEGETATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT LANDSCAPE ARCHITECT AND/OR ARBORIST FOR SPECIFIC TREE PROTECTION & TREE REMOVAL REQUIREMENTS.
- THERE SHALL BE NO BURNING ON SITE.
- EXISTING STRUCTURES SO NOTED AND RELATED FOOTINGS, FOUNDATIONS, STEPS, ETC. ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF ACCORDING TO APPLICABLE REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REMOVAL AND/OR RELOCATION OF ALL UTILITIES (ABOVE AND BELOW GROUND LEVEL, INCLUDING SEPTIC TANKS AND/OR UNDERGROUND STORAGE) AS NECESSARY TO ACCOMMODATE THE IMPROVEMENTS SHOWN ON THESE PLANS AND AS REQUIRED TO FACILITATE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SERVICES WHICH ARE INDICATED TO BE EXTENDED OR OTHERWISE REUSED, INCLUDING SERVICES THAT IMPACT ADJACENT PROPERTIES.
- NO MONITORING WELL SHALL BE REMOVED FROM THIS PROJECT SITE WITHOUT SPECIFIC INSTRUCTION FROM THE OWNER'S ENVIRONMENTAL CONSULTANT. WELLS LOCATED OUTSIDE THE DEMOLITION AREA SHALL BE BARRICADED, AND GRADES SHALL BE MAINTAINED IN THE AREA SUCH THAT SURFACE RUNOFF CANNOT ENTER THE WELL OPENING.
- ALL EXISTING CONCRETE AND/OR ASPHALT PAVEMENT THAT IS INDICATED ON THESE PLANS TO BE REMOVED FROM THE PROJECT SITE SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR ACCORDING TO APPLICABLE CODES.
- THE CONTRACTOR SHALL CONSULT THE OWNER REGARDING SALVAGE. ANY ITEMS NOT RETAINED BY THE OWNER SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DEMOLISH AND/OR LEGALLY DISPOSE OF.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE IN PLACE PRIOR TO DEMOLITION.
- IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE AGENCIES FOR PROPER REMOVAL AND DISPOSAL.
- DEMOLITION SHALL MEET ALL APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPLICABLE PERMITS.
- WELLS & SEPTIC TANKS, IF ENCOUNTERED, SHALL BE ACCURATELY LOCATED BY THE CONTRACTOR AND THE SURROUNDING AREA SHALL BE BARRICADED AND GRADES SHALL BE MAINTAINED IN THE AREA SUCH THAT SURFACE RUNOFF CANNOT ENTER THE OPENING. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER AND OWNER IMMEDIATELY.

CODED DEMOLITION NOTES

- CONTRACTOR SHALL DEMOLISH EXISTING BUILDINGS, INCLUDING BASEMENTS, CANOPIES, ACCESSORY STRUCTURES AND ATTACHED UTILITIES AND REMOVE FROM SITE. CONSULT OWNER REGARDING SALVAGE AND HAZARDOUS MATERIAL REMOVAL.
- CONTRACTOR SHALL COORDINATE WITH DOMINION IN REMOVING/RELOCATING EXISTING SERVICES (UNDERGROUND & OVERHEAD), POLES, GUYS, ANCHORS, ETC. AS REQUIRED TO FACILITATE CONSTRUCTION.
- EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED, COORDINATE REMOVAL WITH NEW CONSTRUCTION. REMOVAL SHALL NOT TAKE PLACE UNTIL SCDOT ENCROACHMENT PERMIT HAS BEEN ISSUED AND SHALL BE REMOVED JOINT TO JOINT.
- CONTRACTOR SHALL REMOVE EXISTING FENCE. TAKE CARE WHEN REMOVING SECTIONS ADJACENT TO PORTIONS OF FENCE TO REMAIN AND MAKE ARRANGEMENTS FOR PROPER TERMINATION. IF NEEDED CONTACT ENGINEER OR LANDSCAPE ARCHITECT FOR FURTHER INSTRUCTION ON REMOVAL OF FENCE AT EXISTING TREES THAT ARE TO REMAIN.
- EXISTING TREES TO BE REMOVED. COORDINATE WITH LANDSCAPE PLANS. WHERE TREES ARE TO REMAIN PROVIDE TREE PROTECTION AS SHOWN ON LANDSCAPE PLANS.
- CONTRACTOR SHALL DETERMINE THE OPERATION STATUS OF THE EXISTING WATER VALVE PRIOR TO DEMOLITION AND ITS ASSOCIATED ITEMS LIKE PIPING AND ETC.
- ASPHALT CUT AND PATCH FOR WATER TAP AND WATER MAIN INSTALLATION. COORDINATE WITH APPROVED SCDOT ENCROACHMENT PERMIT. (SEE DETAIL).
- CONTRACTOR SHALL REMOVE EXISTING DIRT ROAD AND DISPOSE OF PROPERLY.
- GRAND TREE TO REMAIN. SEE LANDSCAPE PLANS FOR TREE PROTECTION.
- "WATER QUALITY BUFFER DO NOT DISTURB" SIGN SHALL BE INSTALLED EVERY 100' ALONG BUFFER BOUNDARY MOUNTED BETWEEN 4' AND 6' ABOVE GROUND SURFACE PER LEXINGTON COUNTY LAND DEVELOPMENT MANUAL SECTION 7.11 SIGNAGE.



REFERENCES:

- REFERENCES
- ALTA/NSP LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.

GENERAL NOTES:

- THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27.
- TOTAL AREA OF SUBJECT PROPERTY IS 62.95 ACRES.
- THE SUBJECT PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27 ARE IN THE CITY OF WEST COLUMBIA AND ZONED AS 'D' (DEVELOPMENT).
- CONTOUR INTERVAL ELEVATIONS ARE ONE (1) FOOT. ELEVATIONS SHOWN ARE NAVD 88 DATUM.
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- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

COX AND DINKINS
ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS

724 BELTLINE BLVD.
COLUMBIA, SC 29205
803.254.0518
COXANDINKINS.COM

Laura M. Soble
LICENSED PROFESSIONAL ENGINEER
No. 27748

COX AND DINKINS, INC.
No. C00284

CERTIFICATE OF AUTHORIZATION SEAL

REVISIONS	DESCRIPTION	DATE
No. 1	Added "Water Quality Signs" and coded note 10	3/11/2022

PRIMARY PERMITTEE:
TODD ANDERSEN
COLUMBIA APARTMENT RESIDENCES, LLC
1545 PEACHTREE ST. NW, SUITE 260
ATLANTA, GA 30309
(404) 815-1234
email: tandersen@novaregroup.com

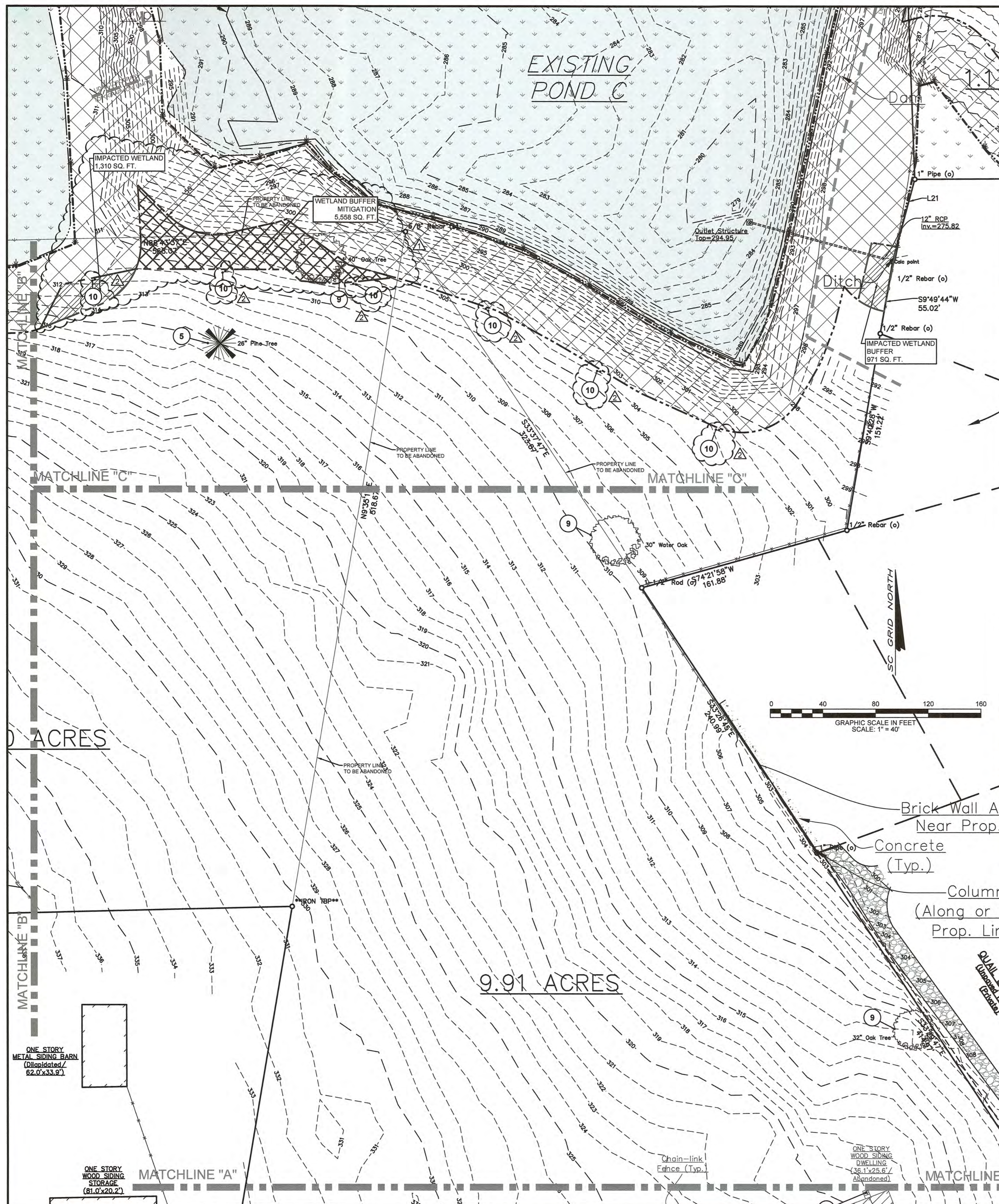
PROJECT: **LULLWATER AT WEST COLUMBIA**
SUNSET BLVD. @ HENBET DR.
LOCATED IN THE CITY OF WEST COLUMBIA,
LEXINGTON COUNTY, SOUTH CAROLINA

PROJECT NO. 2238
SF NO. 144-12

EXISTING CONDITIONS AND DEMOLITION PLAN

TMS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27
BOOK 68G-42
DATE JANUARY 14, 2022
SHEET NO. **44A** of 48

G:\P\2238 West Columbia Multifamily Drawings\2238_Existing.dwg, Plotted By: SNN, Plotted: Mar 10, 2022 - 4:03pm



SURVEY LEGEND

- Concrete Curb & Gutter
- Pavement Striping
- Catch Basin
- Sewer Cleanout
- Water Valve
- Utility Pole
- Soot Light
- IV Box
- Telephone Box
- Gas Meter
- Traffic Arrows
- Ballast
- Mailbox
- Monitoring Well
- Yard Drain
- Fire Hydrant
- Gas Valve
- Gas Manhole
- Well
- Chain-link Fence
- Storm Drainage Line (Approximate Loc.)
- Sanitary Sewer Line (Approximate Loc.)
- Water Main (Approximate Loc.)
- Underground Electric Line (Approximate Loc.)
- Overhead Utility Line
- Underground CATV Line (Approximate Loc.)
- Underground Gas Line (Approximate Loc.)
- Underground Telephone Line (Approximate Loc.)

DEMOLITION LEGEND

- 1 EXISTING BUILDINGS TO BE REMOVED.
- 7 EXISTING ASPHALT PAVEMENT AND BASE TO BE REMOVED AND PATCHED.
- 8 EXISTING DIRT DRIVE TO BE REMOVED.

Wetlands delineated by:
 Palmetto Environmental Consulting, Inc.
 955 East Main Street, Suite E #52
 Lexington, SC 29072
 Office: 803-791-1033
 Fax: 803-791-1055
 www.palmettoenv.com

NOTE:
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EXISTING POND B & C WETLAND MITIGATION

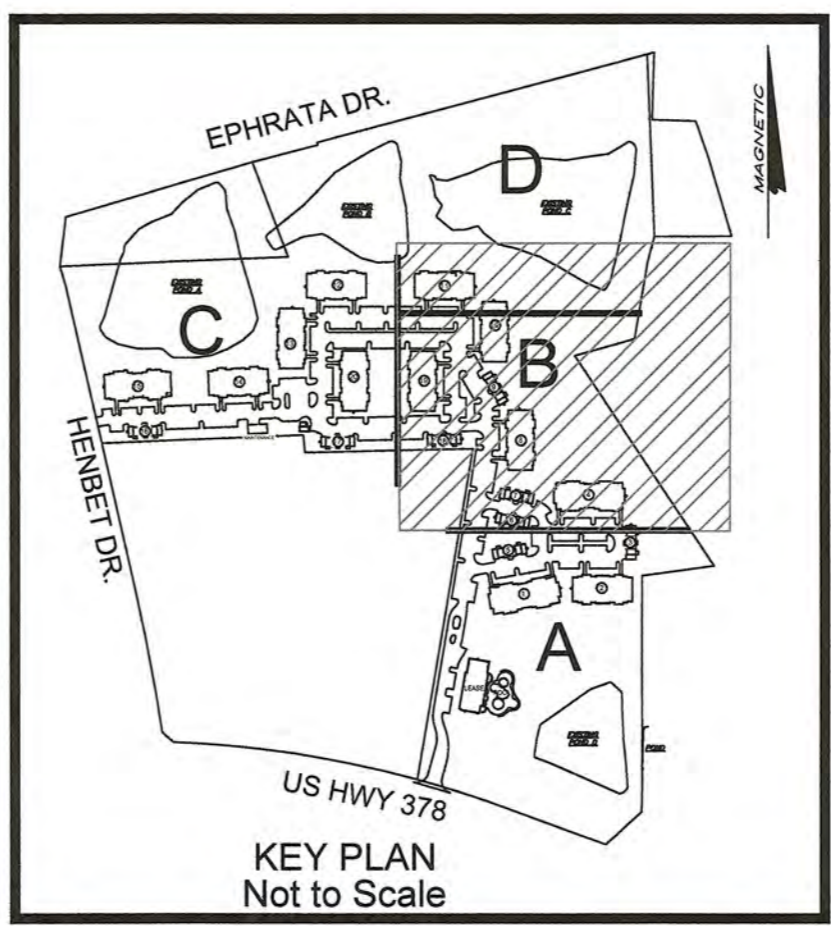
- IMPACTED 50' WETLAND BUFFER 4,750 SQ. FT.
- WETLAND BUFFER MITIGATION 6,098 SQ. FT.

DEMOLITION/CLEARING NOTES

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- 2) THE ENTIRE PROJECT SITE SHALL NOT NECESSARILY BE CLEARED AND GRUBBED BY THE CONTRACTOR. PRIOR TO COMMENCEMENT OF CLEARING THE CONTRACTOR SHALL WALK THE SITE WITH THE OWNER AND/OR OWNER'S REPRESENTATIVE TO IDENTIFY TREES AND/OR VEGETATION TO REMAIN. PROTECTION OF IDENTIFIED TREES AND/OR VEGETATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT LANDSCAPE ARCHITECT AND/OR ARBORIST FOR SPECIFIC TREE PROTECTION & TREE REMOVAL REQUIREMENTS.
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- 5) THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REMOVAL AND/OR RELOCATION OF ALL UTILITIES (ABOVE AND BELOW GROUND LEVEL, INCLUDING SEPTIC TANKS AND/OR UNDERGROUND STORAGE) AS NECESSARY TO ACCOMMODATE THE IMPROVEMENTS SHOWN ON THESE PLANS AND AS REQUIRED TO FACILITATE CONSTRUCTION.
- 6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SERVICES WHICH ARE INDICATED TO BE EXTENDED OR OTHERWISE REUSED, INCLUDING SERVICES THAT IMPACT ADJACENT PROPERTIES.
- 7) NO MONITORING WELL SHALL BE REMOVED FROM THIS PROJECT SITE WITHOUT SPECIFIC INSTRUCTION FROM THE OWNER'S ENVIRONMENTAL CONSULTANT. WELLS LOCATED OUTSIDE THE DEMOLITION AREA SHALL BE BARRICADED AND GRADES SHALL BE MAINTAINED IN THE AREA SUCH THAT SURFACE RUNOFF CANNOT ENTER THE WELL OPENING.
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REFERENCES:

1. REFERENCES
 ALTA/NSPS LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.

GENERAL NOTES:

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 ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
 724 BELTLINE BLVD.
 COLUMBIA, SC 29205
 803.254.0518
 COXANDINKINS.COM

Professional Engineer Seal for James M. Bell, No. 27748, State of South Carolina.

Certificate of Authorization Seal for COX AND DINKINS, INC. No. C00294, State of South Carolina.

NO.	DATE	DESCRIPTION
1	2/14/2022	Revised Wetland Impacts/Mitigations
2	3/11/2022	Added "Water Quality Signs" and coded note 10

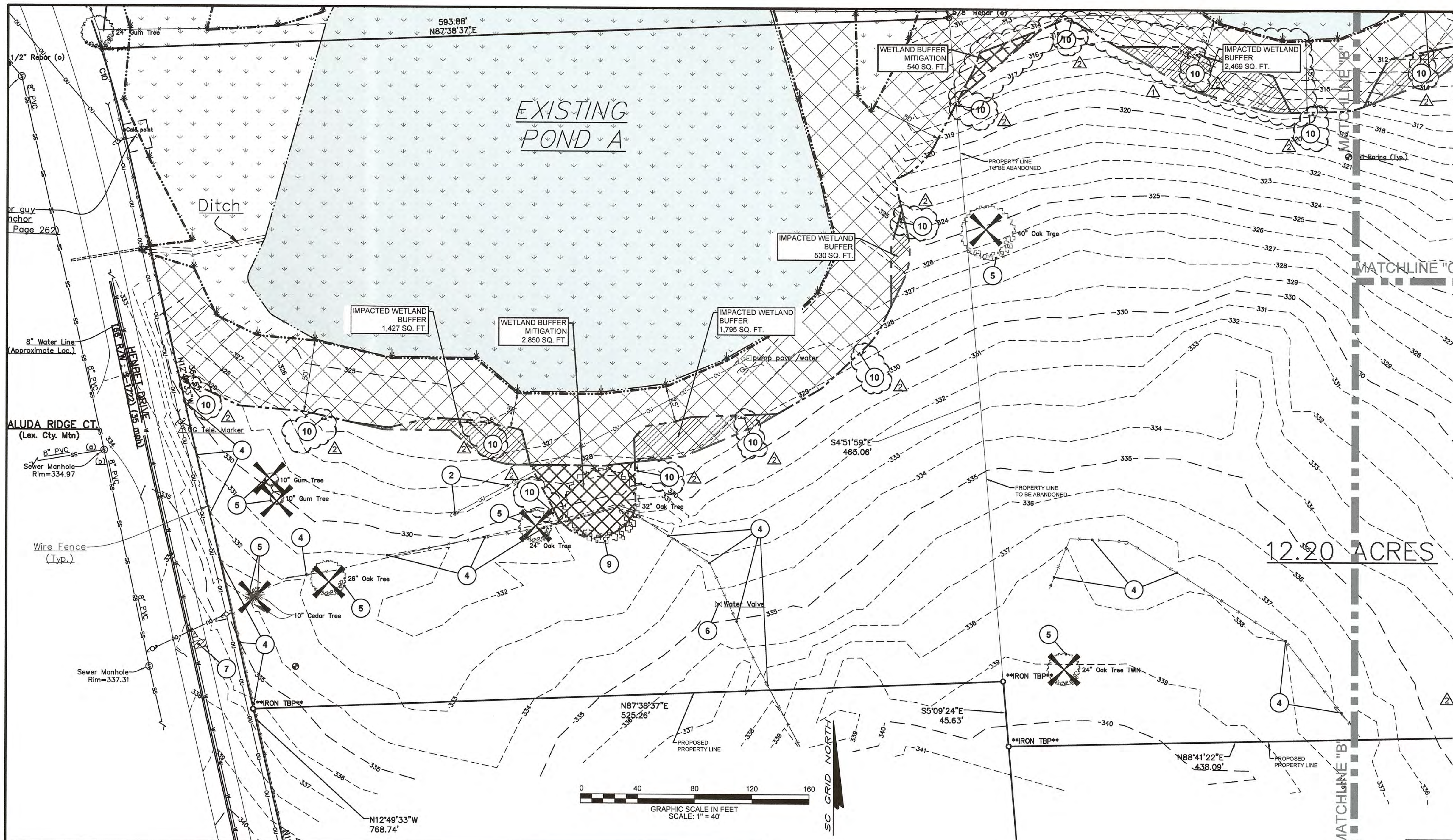
PRIMARY PERMITTEE:
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 ATLANTA, GA 30309
 (404) 815-1234
 email: tandersen@novaregroup.com

PROJECT
LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.
 LOCATED IN THE CITY OF WEST COLUMBIA,
 LEXINGTON COUNTY, SOUTH CAROLINA

PROJECT NO.
 2238

EXISTING CONDITIONS AND DEMOLITION PLAN

TMS 03699-03-11, 04535-114, 04597-09-21, -22, -26, & -27
 BOOK 68G-42
 DATE JANUARY 14, 2022
 SHEET NO. **C4B** of **48**



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SURVEY LEGEND

NOTE TO CONTRACTOR REGARDING WORK IN PUBLIC STREET RIGHTS OF WAY

ALL WORK AND MATERIALS WITHIN THE SCOTD RIGHT-OF-WAYS SHALL CONFORM TO THE APPROVED SCOTD ENCROACHMENT PERMITS. TRAFFIC CONTROL SHALL BE PER THE APPROVED ENCROACHMENT PERMIT & SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

Wetlands delineated by: Palmetto Environmental Consulting, Inc. 955 East Main Street, Suite E #52 Lexington, SC 29072 Office: 803-791-1033 Fax: 803-791-1055 www.palmettoenv.com

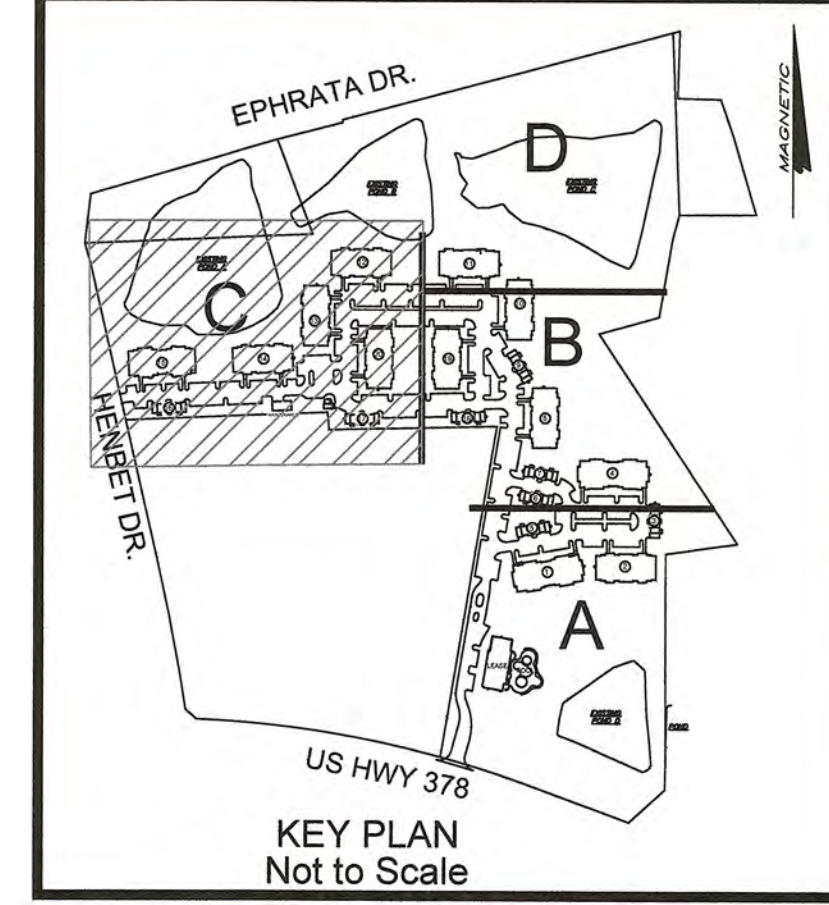
NOTE: Illustrated freshwater wetlands are under the jurisdiction of the U.S. Army Corps of Engineers and are subject to its permitting authority. Legal reliance cannot be made on the illustrated location and extent of wetlands without written verification of the wetland boundaries by the U.S. Army Corps of Engineers.

EXISTING POND A WETLAND MITIGATION

	WETLAND BUFFER AREA (50' AVERAGE)
	IMPACTED 50' WETLAND BUFFER 3,222 SQ. FT.
	WETLAND BUFFER MITIGATION 3,390 SQ. FT.

DEMOLITION LEGEND

	EXISTING BUILDINGS TO BE REMOVED.
	EXISTING ASPHALT PAVEMENT AND BASE TO BE REMOVED AND PATCHED.
	EXISTING TREE TO BE REMOVED.
	EXISTING DIRT DRIVE TO BE REMOVED.



REFERENCES:

1. REFERENCES ALTANSPS LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.

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COLUMBIA, SC 29205
803.254.0518
COXANDINKINS.COM

Professional Engineer Seal for James M. Kelly, No. 27748, State of South Carolina, dated 3/11/2022.

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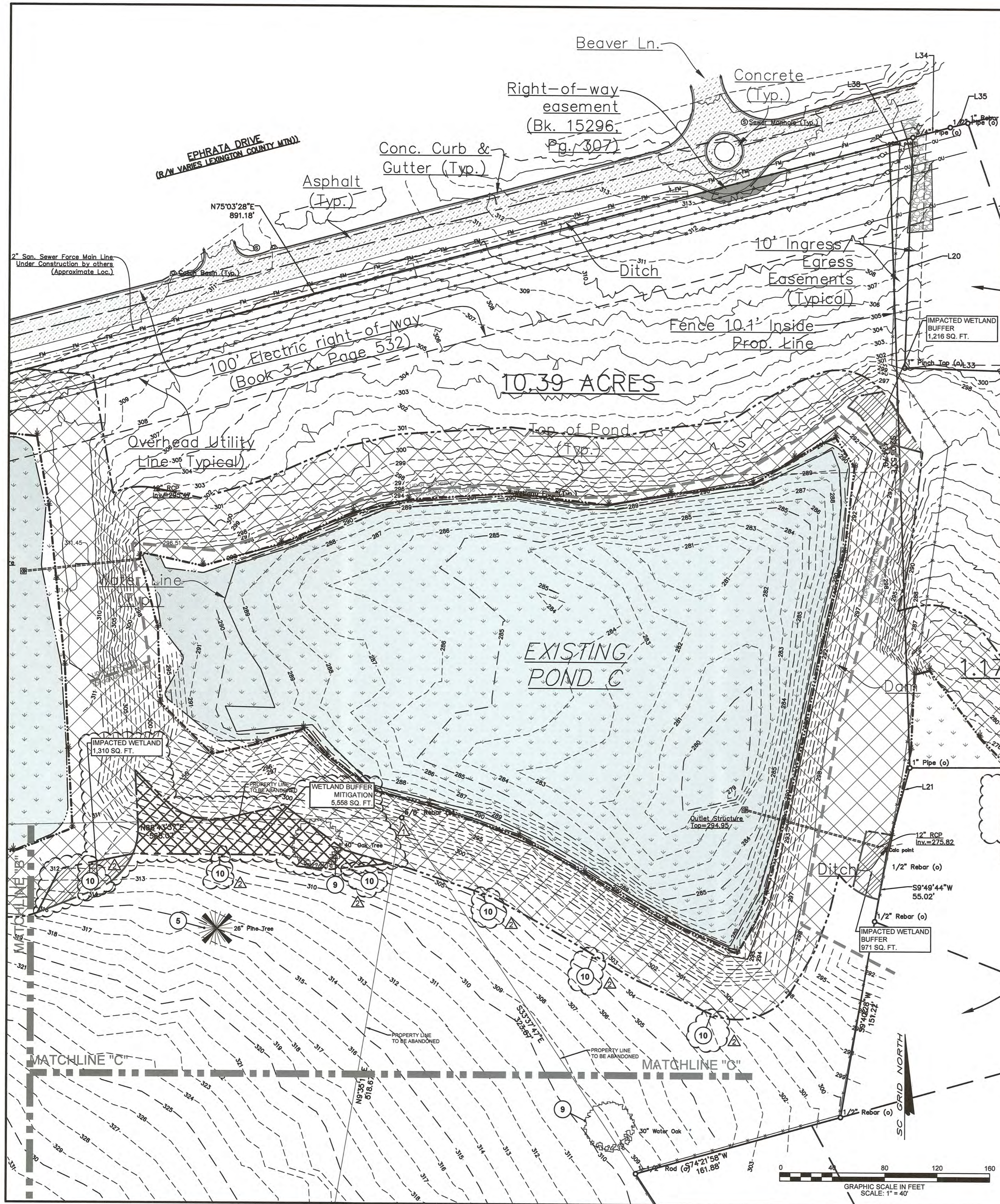
CERTIFICATE OF AUTHORIZATION SEAL

NO.	DATE	DESCRIPTION
1	2/14/2022	Revise Wetlands Impacts/Mitigations
2	3/11/2022	Added "Water Quality Signs" and coded note 10

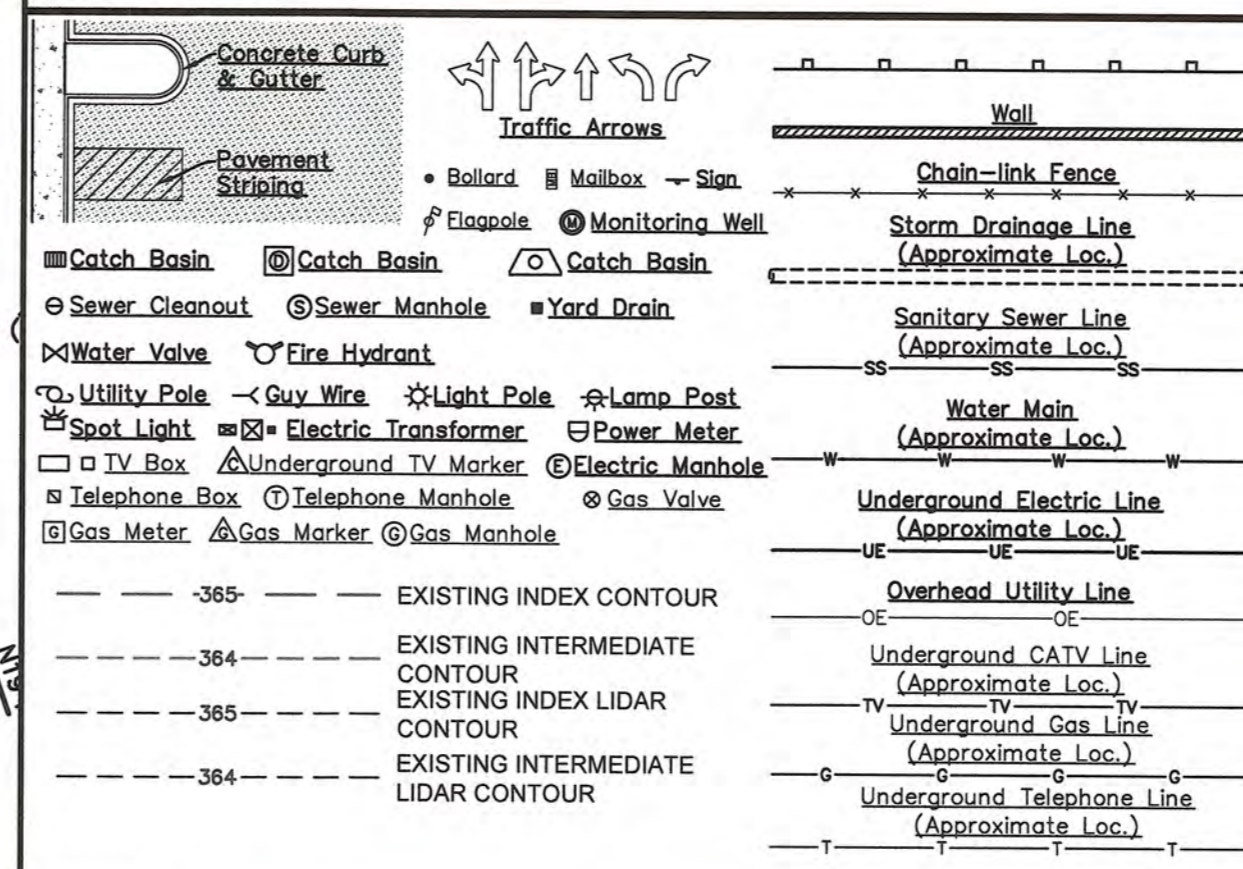
PRIMARY PERMITTEE:
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ATLANTA, GA 30309
(404) 815-1234
email: tandersen@novaregroup.com

PROJECT
LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.
LOCATED IN THE CITY OF WEST COLUMBIA,
LEXINGTON COUNTY, SOUTH CAROLINA
PROJECT NO. 22338
SF NO. 144-12

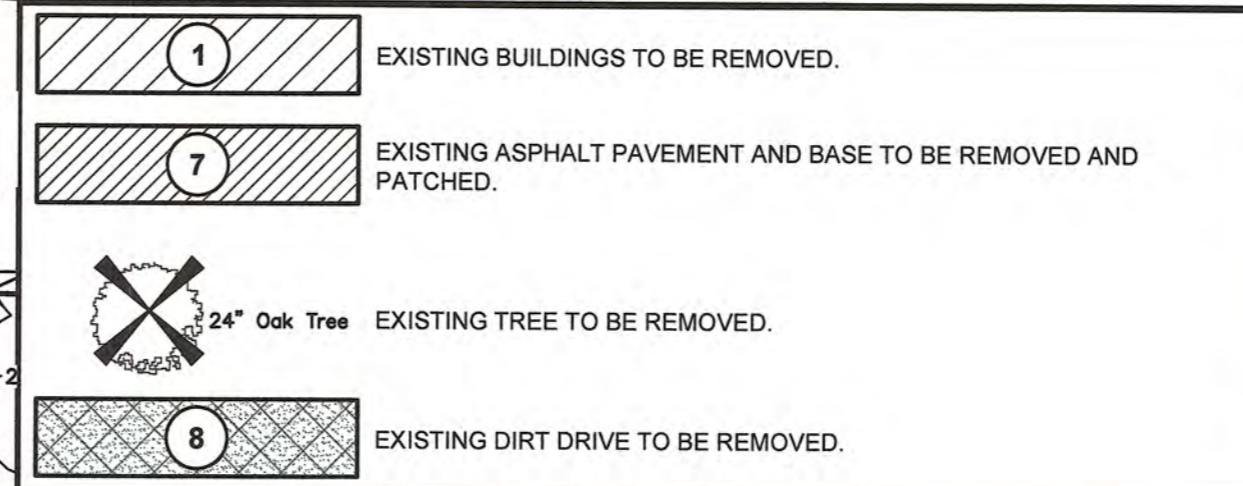
TMS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27
BOOK 68G-42
DATE JANUARY 14, 2022
SHEET NO. **C4C of 48**



SURVEY LEGEND



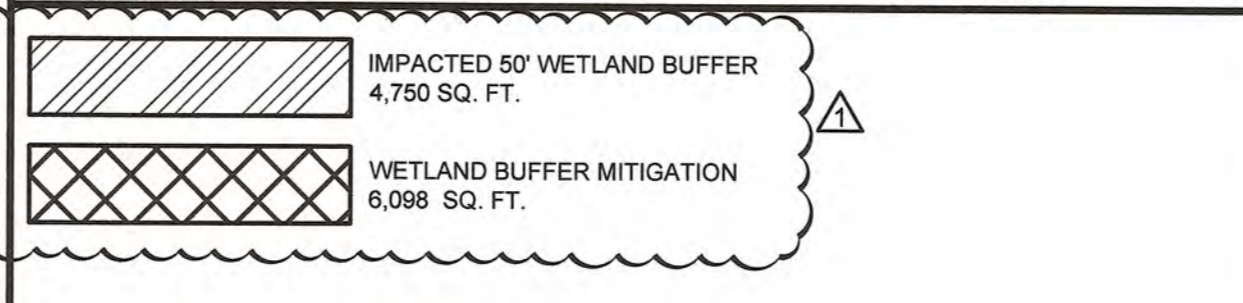
DEMOLITION LEGEND



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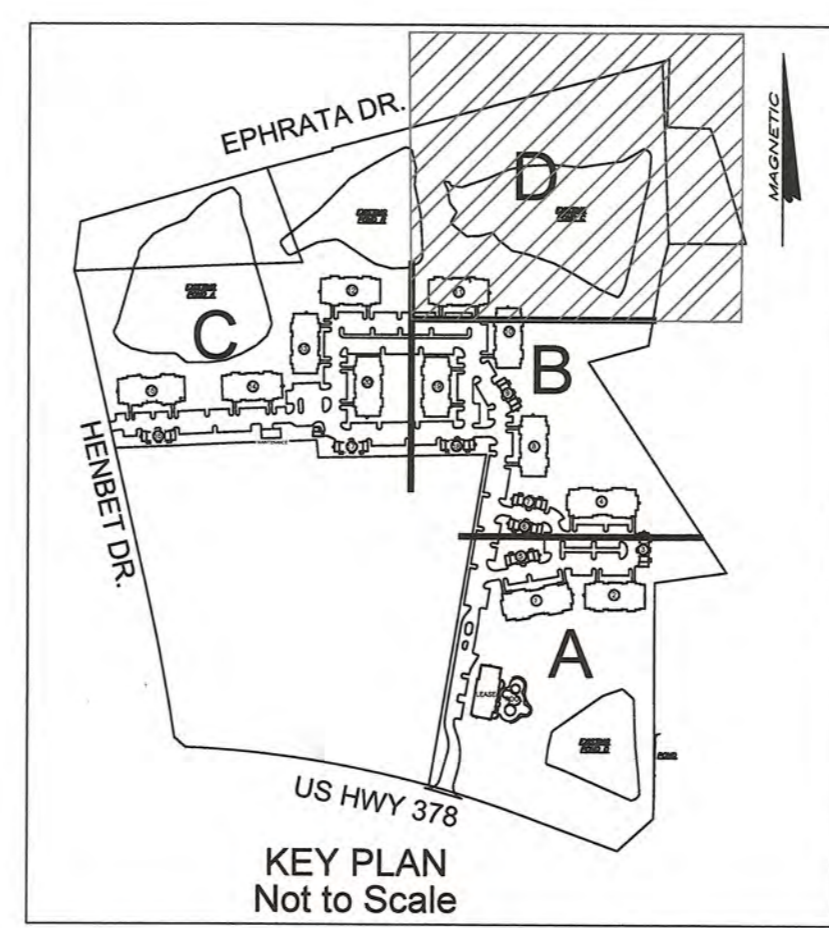


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803.254.0618
COXANDDINKINS.COM

Professional Engineer Seal for James M. Baker, No. 27748, State of South Carolina, License No. 31112022.

Professional Engineer Seal for COX AND DINKINS, INC., No. C00294, State of South Carolina.

CERTIFICATE OF AUTHORIZATION SEAL

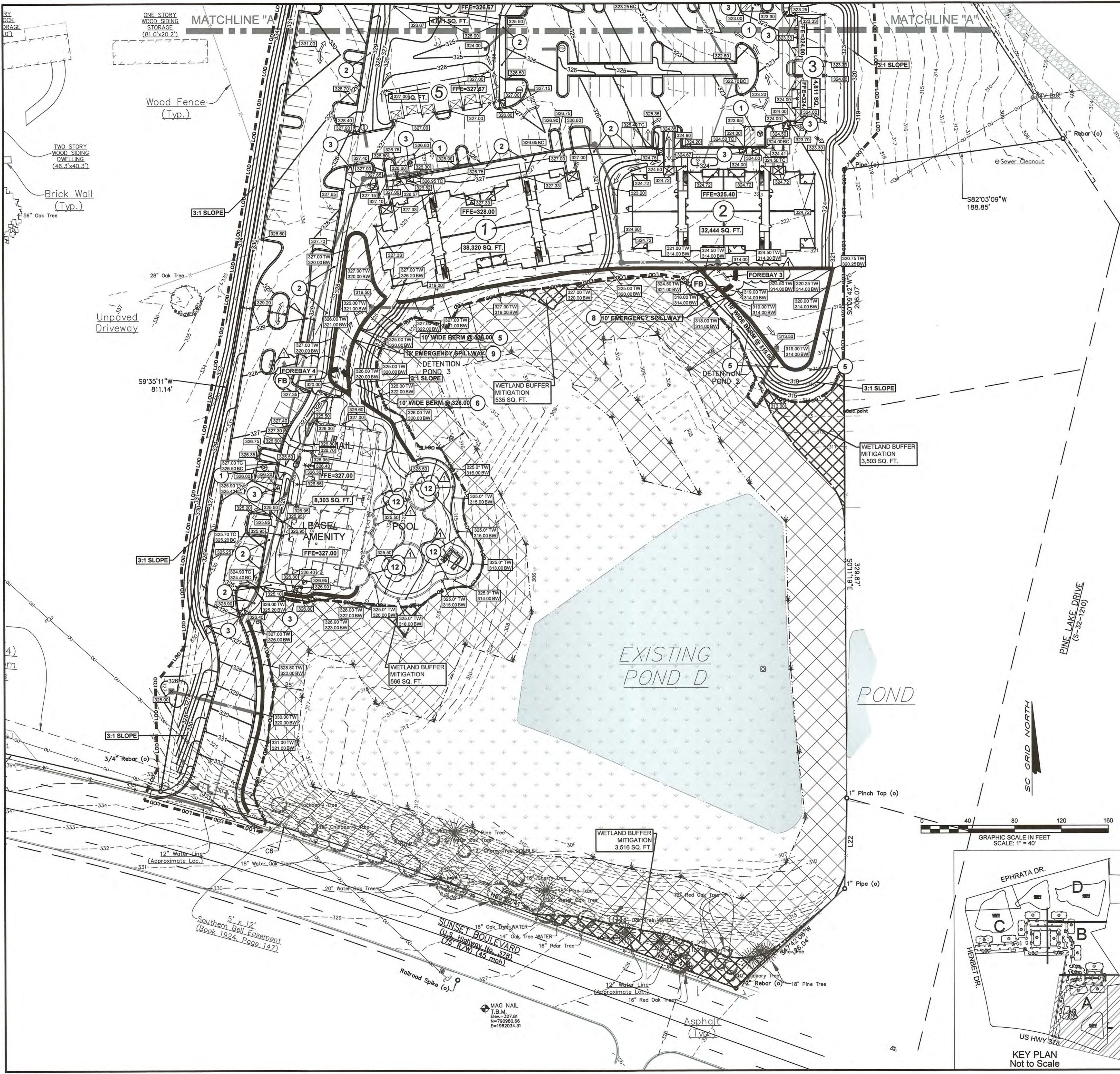
REVISIONS	DESCRIPTION	DATE
1	Revise Wetlands Impacts/Mitigations	2/4/2022
2	Added "Water quality signs" and coded note 10	3/11/2022

PRIMARY PERMITTEE:
TODD ANDERSEN
COLUMBIA APARTMENT
RESIDENCES, LLC
1545 PEACHTREE ST. NW, SUITE 260
ATLANTA, GA 30309
(404) 815-1234
email: tandersen@novaregroup.com

PROJECT
LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.
LOCATED IN THE CITY OF WEST COLUMBIA,
LEXINGTON COUNTY, SOUTH CAROLINA

EXISTING CONDITIONS AND DEMOLITION PLAN

TMS: U3699-03-11, 04535-1-14, 04597-09-21, -22, -26, & -27
BOOK: 68C-42
DATE: JANUARY 14, 2022
SHEET NO: **C4D** of 48



GRADING LEGEND

EXISTING INDEX CONTOUR	PROPOSED INDEX CONTOUR
EXISTING INTERMEDIATE CONTOUR	PROPOSED INTERMEDIATE CONTOUR
LIMITS OF DISTURBANCE	FLOW ARROW INDICATING DIRECTION OF FLOW
PROPOSED SPOT ELEVATION	PROPOSED GRADE BREAK
PROPOSED SPOT ELEVATION TOP OF CURB	PROPOSED SPOT ELEVATION TOP AND BOTTOM OF CURB
PROPOSED SPOT ELEVATION BOTTOM OF CURB	PROPOSED SPOT ELEVATION TOP AND BOTTOM OF WALL
WATER QUALITY FOREBAY - SIZED AS SHOWN (SEE DETAIL)	

* PROPOSED TOP AND BOTTOM OF WALL ELEVATIONS ARE FOR VISIBLE TOP AND BOTTOM OF WALL ONLY. ADDITIONAL PARAPET HEIGHT AND ADDITIONAL DEPTH TO FOOTING OR BURY ARE TO BE DETERMINED BY THE PARTIES RESPONSIBLE FOR THE STRUCTURAL DESIGN OF THE WALL. THE NEED FOR FALL PROTECTION AND THE DESIGN OF ALL SUCH FALL PROTECTION IS TO BE DETERMINED BY THE PARTIES RESPONSIBLE FOR STRUCTURAL DESIGN.

- ### GRADING NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL MEASURES NECESSARY, INCLUDING GRADING ADDITIONAL SWALES AS NEEDED, TO ENSURE POSITIVE DRAINAGE AWAY FROM AND AROUND ALL BUILDINGS.
 2. ALL RUNOFF SHALL BE DIRECTED TOWARD DRAINAGE SWALES, DITCHES, CATCH BASINS, AND STORM WATER BASINS.
 3. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL THE INFORMATION PROVIDED BY THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO BIDDING THIS PROJECT.
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- ### ADA NOTES:
1. MAXIMUM SLOPE IN ANY DIRECTION FOR AN ADA PARKING SPACE IS 2%. THE CONTRACTOR SHALL ENSURE THAT INSTALLATION MEETS ADA STANDARDS.
 2. SIDEWALK MAXIMUM CROSS SLOPE SHALL BE 2%. MAXIMUM LONGITUDINAL SLOPE SHALL BE 5.0% UNLESS OTHERWISE SHOWN. CONTRACTOR SHALL INSURE THAT SLOPE MEETS ADA STANDARDS.
 3. ANY PROPOSED SIDEWALK WITHIN ROW SHALL NOT EXCEED 2% CROSS SLOPE PER ADA GUIDELINES. ALL RAMPS SHALL NOT EXCEED 8.33% FOR EVERY SCENARIO.
 4. IN PRESENCE OF SIDEWALK OR OTHER ADA PATHWAY, ACCESS(ES) TO PROVIDE A MINIMUM OF 3' PEDESTRIAN PATH OF NO GREATER CROSS SLOPE THAN 2% ACROSS THROAT OF DRIVEWAY.

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 4. CONTRACTOR AND DESIGN SHALL COMPLY WITH RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
 5. IN NO WAY SHOULD THESE CONSTRUCTION DOCUMENTS BE CONSTRUED AS DESIGN DOCUMENTS FOR THE PROPOSED RETAINING WALL.
 6. CONTRACTOR SHALL SUBMIT COLOR SAMPLES TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.

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 3. ACCESSIBLE RAMP. (TYPICAL FOR ALL) (SEE DETAILS)
 4. DETENTION POND 1: CONSTRUCT 10' WIDE BERM AT ELEVATION = 318.00'. TOP OF BERM MUST BE THIS GRADE AFTER SETTLEMENT.
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 10. MAINTAIN A MINIMUM OF 0.50% SLOPE ALONG BOTTOM OF THE DETENTION AREA. FLOW ARROWS INDICATING DIRECTION OF FLOW.
 11. CONSTRUCT GRASSED DRAINAGE SWALE WITH MINIMUM 2' WIDE BOTTOM WIDTH AND 3 TO 1 SIDE SLOPES. FLOW ARROWS INDICATING DIRECTION OF FLOW IN SWALE.
 12. TOP OF WALL ELEVATION AT POOL TO MATCH LANDSCAPE PLANS BY OTHERS.

NOTE: INFORMATION REGARDING THE REPORTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS MAY HAVE BEEN PROVIDED TO COX AND DINKINS, INC. FROM LOCAL UTILITY COMPANIES. THESE ARE THE PROPERTY OF THE LIGHT BY THOSE USING THIS DRAWING. HOWEVER, COX AND DINKINS, INC. HAS NO CONTROL OVER ANY FACTS THAT MAY BE DISCOVERED OR CONCLUDED THAT THE INFORMATION IS NOT ACCURATE. FURTHERMORE, OTHER UTILITIES AND STRUCTURES MAY BE FOUND ON THESE PLANS AS WELL AS UNRECORDED UTILITIES AND STRUCTURES. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATIONS EVERY 10 FEET TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES. CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATIONS EVERY 10 FEET TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES.

REFERENCES:

1. REFERENCES: ALTAIR'S LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.

GENERAL NOTES:

1. THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27.
2. TOTAL AREA OF SUBJECT PROPERTY IS 52.96 ACRES.
3. THE SUBJECT PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27 ARE IN THE CITY OF WEST COLUMBIA AND ZONED AS 'D' (DEVELOPMENT).
4. CONTOUR INTERVAL ELEVATIONS ARE ONE (1) FOOT. ELEVATIONS SHOWN ARE NAVD 88 DATUM.
5. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. THE LOCATIONS OF OTHER UNDERGROUND UTILITIES AND THEIR SERVICES ARE UNKNOWN. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
6. THIS PROPERTY IS LOCATED IN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP NUMBER 45063C0144J & 45063C0163J, REVISED JULY 5, 2018, BY SCALED LOCATION AND GRAPHIC PLOTTING ONLY.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THEY AND THEIR SUBCONTRACTORS HAVE THE CORRECT MOST UP-TO-DATE PLANS AVAILABLE.
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COX AND DINKINS
ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
724 BELTLINE BLVD.
COLUMBIA, SC 29205
803.254.0518
COXANDINKINS.COM

James M. Baker
LICENSED PROFESSIONAL ENGINEER
No. 27748

COX AND DINKINS, INC.
No. C00294

REVISIONS	DESCRIPTION
No.	DATE
1	3/11/2022
Added Forebays, CM12, & Revise Fence on Walls	

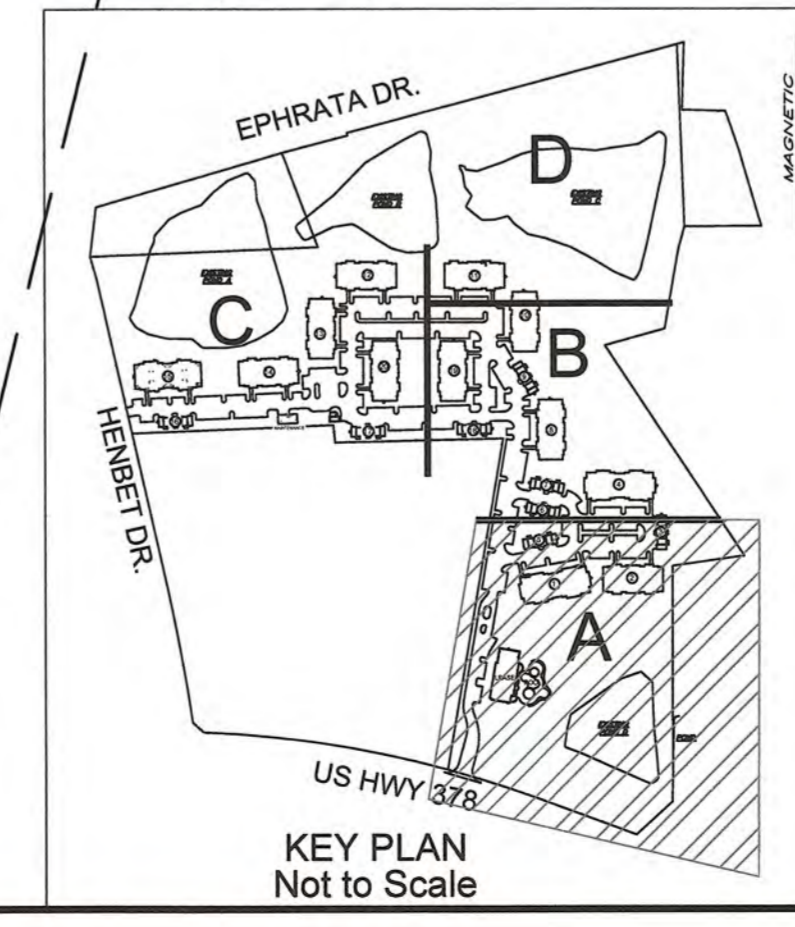
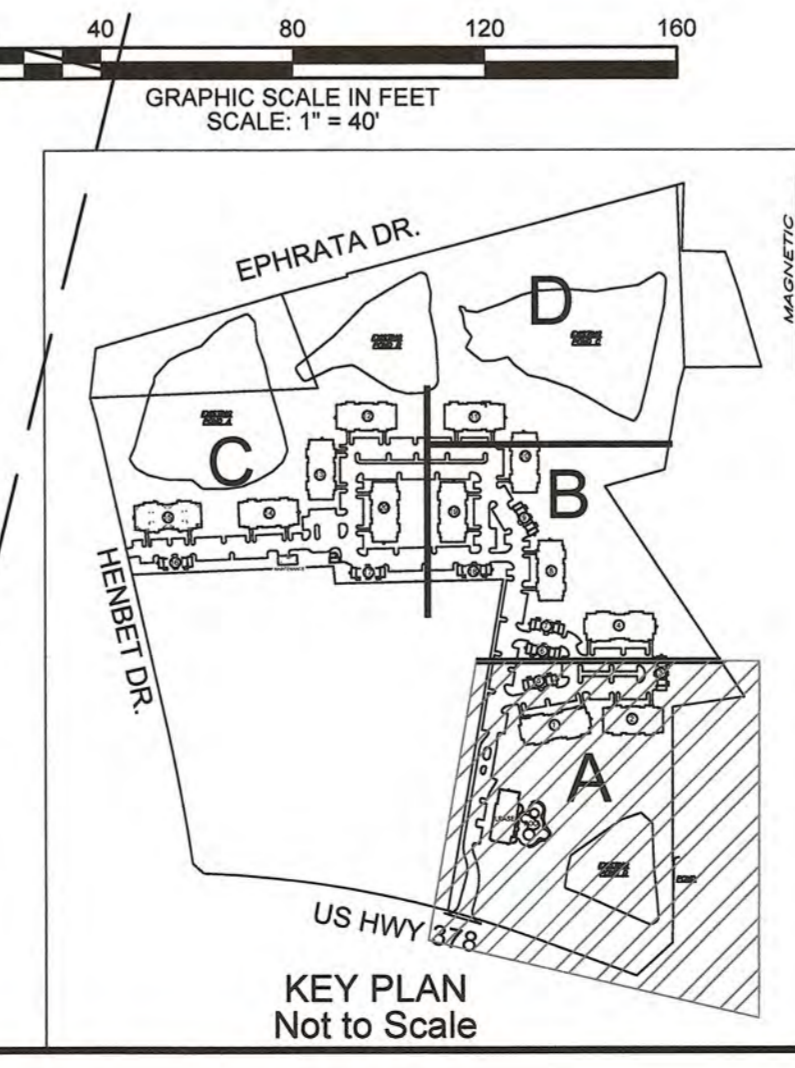
CERTIFICATE OF AUTHORIZATION SEAL

PRIMARY PERMITTEE:
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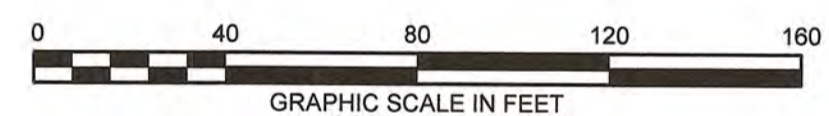
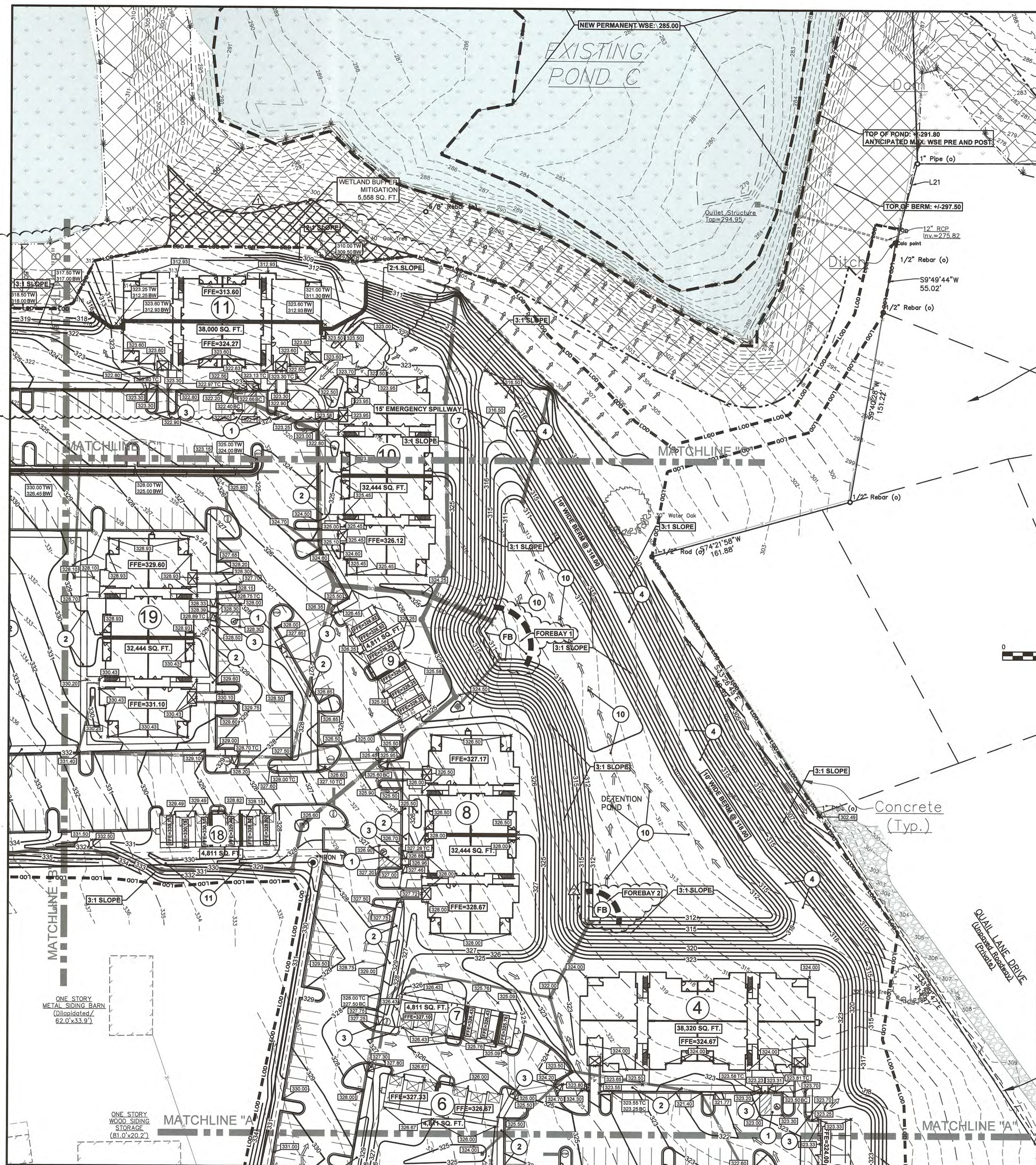
PROJECT
LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.
LOCATED IN THE CITY OF WEST COLUMBIA,
LEXINGTON COUNTY, SOUTH CAROLINA

ENLARGED GRADING PLAN

PROJECT NO. 2238
SHEET NO. **C5A** of 48



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SC GRID NORTH

GRADING LEGEND

	EXISTING INDEX CONTOUR		PROPOSED INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR		PROPOSED INTERMEDIATE CONTOUR
	LIMITS OF DISTURBANCE		FLOW ARROW INDICATING DIRECTION OF FLOW
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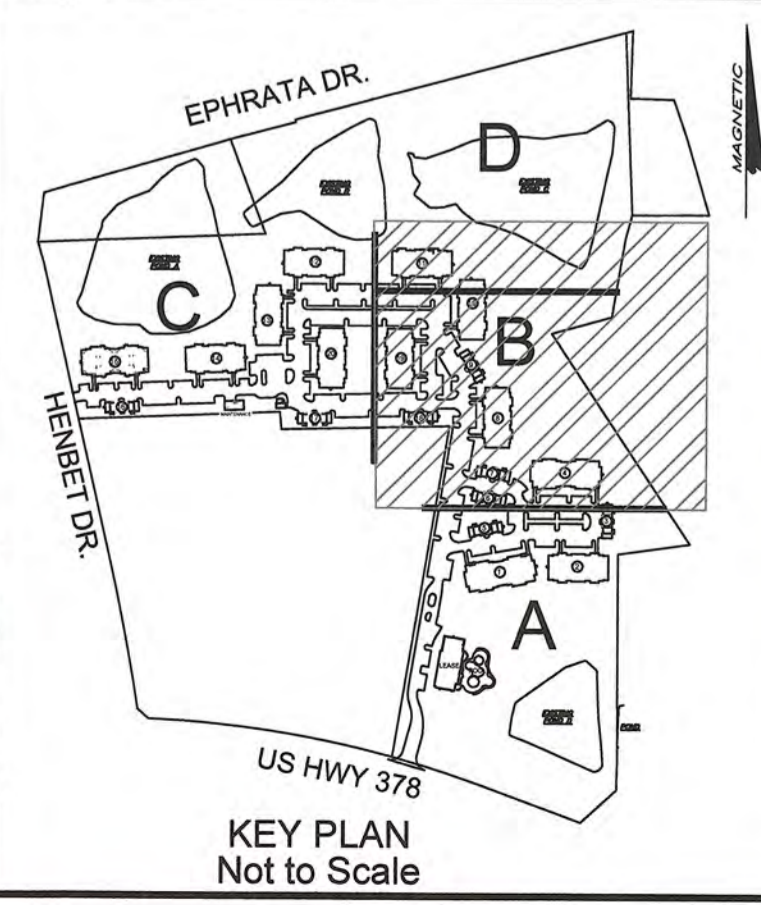
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NOTE: INFORMATION REGARDING THE REQUIRED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS MAY BE OBTAINED FROM THE CITY OF WEST COLUMBIA. THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THESE DESIGN PROFESSIONALS. THE DESIGN PROFESSIONALS HAVE NO NOTICE OR KNOWLEDGE OF ANY FACTS THAT WOULD LEAD US TO BELIEVE THAT THE INFORMATION IS INACCURATE OR MISLEADING. OTHER UTILITIES MAY BE PRESENT ON THESE PLANS THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE UNDERGROUND UTILITIES EVERY 15 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

The Palmetto Utility Protection Service, Inc.
South Carolina 811
 3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
 CALL 811
 CONTRACTOR SHALL CONTACT THE UNDERGROUND UTILITIES EVERY 15 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

- ### REFERENCES:
1. REFERENCES: ALTAIR'S LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.
- ### GENERAL NOTES:
1. THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27.
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COX AND DINKINS
 ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
 724 BELTLINE BLVD.
 COLUMBIA, SC 29205
 803.254.0518
 COXANDINKINS.COM

James M. Babin
 LICENSED PROFESSIONAL ENGINEER
 No. 27748

COX AND DINKINS, INC.
 No. CO0294

REVISIONS	DESCRIPTION	DATE
1	Revise Grading & LOD around Bldgs. 11 & 12	02/14/2022
2	Add Forebays, CN 12, & Revise Fence on walls	3/11/2022

PRIMARY PERMITTEE:
TODD ANDERSEN
 COLUMBIA APARTMENT RESIDENCES, LLC
 1545 PEACHTREE ST. NW, SUITE 280
 ATLANTA, GA 30339
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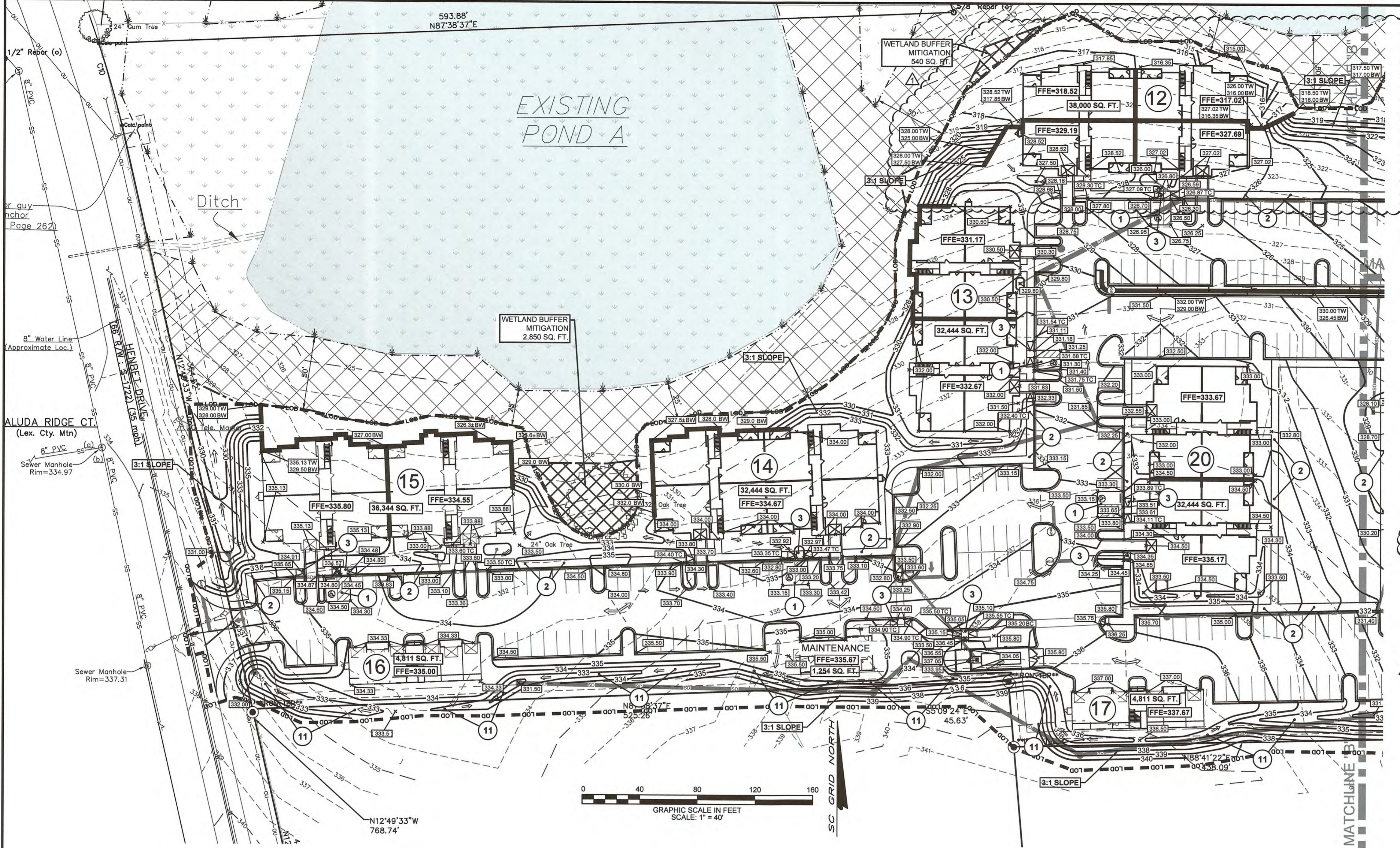
PROJECT:
LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.
 LOCATED IN THE CITY OF WEST COLUMBIA,
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PROJECT NO. 2238

ENLARGED GRADING PLAN

TMS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27
 BOOK 68G-42
 DATE JANUARY 14, 2022
 SHEET NO. **C5B of 48**

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GRADING LEGEND

--- 330 ---	EXISTING INDEX CONTOUR	--- 330 ---	PROPOSED INDEX CONTOUR
--- 331 ---	EXISTING INTERMEDIATE CONTOUR	--- 331 ---	PROPOSED INTERMEDIATE CONTOUR
---	LOD	---	LOD
---	LIMITS OF DISTURBANCE	---	LIMITS OF DISTURBANCE
+	PROPOSED SPOT ELEVATION	+	PROPOSED SPOT ELEVATION
+	PROPOSED SPOT ELEVATION TOP OF CURB	+	PROPOSED SPOT ELEVATION TOP AND BOTTOM OF CURB
+	PROPOSED SPOT ELEVATION BOTTOM OF CURB	+	PROPOSED SPOT ELEVATION TOP AND BOTTOM OF WALL*
+	PROPOSED GRADE BREAK	+	PROPOSED GRADE BREAK
(FB)	WATER QUALITY FOREBAY - SIZED AS SHOWN (SEE DETAIL)	(FB)	WATER QUALITY FOREBAY - SIZED AS SHOWN (SEE DETAIL)

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 4. IN PRESENCE OF SIDEWALK OR OTHER ADA PATHWAY, ACCESS(ES) TO PROVIDE A MINIMUM OF 3' PEDESTRIAN PATH OF NO GREATER CROSS SLOPE THAN 2% ACROSS THROAT OF DRIVEWAY.

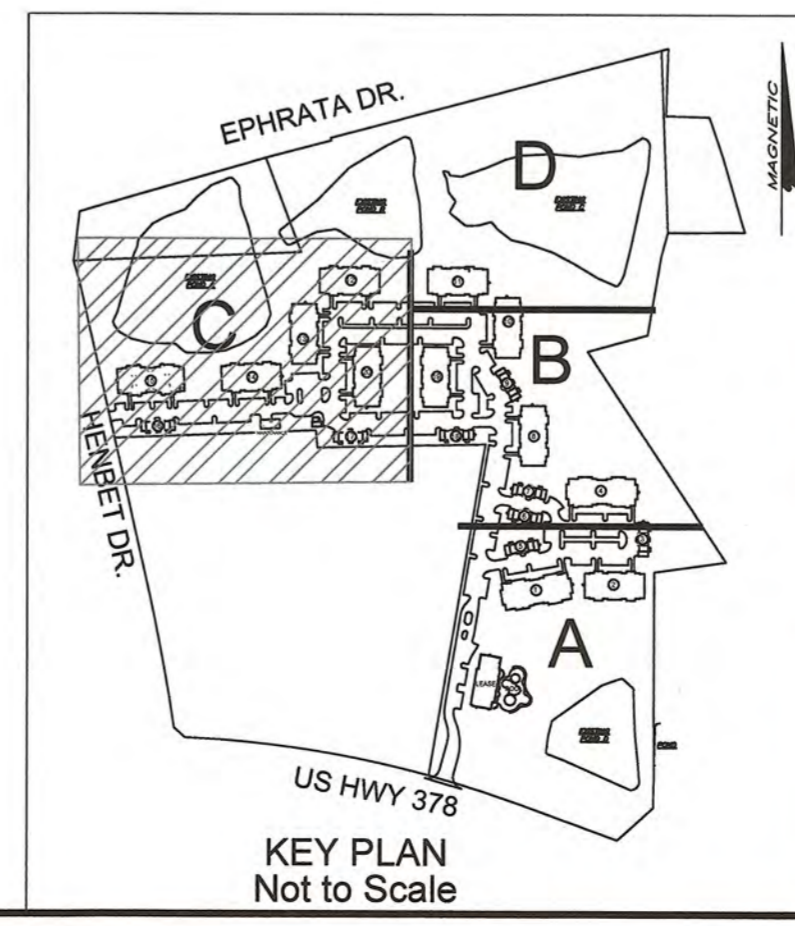
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 2. SIDEWALK MAXIMUM CROSS SLOPE SHALL BE 2.0%. MAXIMUM LONGITUDINAL SLOPE SHALL BE 5.0%. CONTRACTOR SHALL INSURE THAT INSTALLATION MEETS ADA STANDARDS. TYPICAL FOR ALL. CONTACT ENGINEER IMMEDIATELY IF DISCREPANCIES ARE ENCOUNTERED.
 3. ACCESSIBLE RAMP. (TYPICAL FOR ALL) (SEE DETAILS)
 4. DETENTION POND 1: CONSTRUCT 10' WIDE BERM AT ELEVATION = 318.00'. TOP OF BERM MUST BE THIS GRADE AFTER SETTLEMENT.
 5. DETENTION POND 2: CONSTRUCT 10' WIDE BERM AT ELEVATION = 319.00'. TOP OF BERM MUST BE THIS GRADE AFTER SETTLEMENT. COORDINATE WITH INSTALLATION OF RETAINING WALL.
 6. DETENTION POND 3: CONSTRUCT 10' WIDE BERM AT ELEVATION = 326.00'. TOP OF BERM MUST BE THIS GRADE AFTER SETTLEMENT. COORDINATE WITH INSTALLATION OF RETAINING WALL.
 7. DETENTION POND 1: CONSTRUCT 15' RIPRAP LINED EMERGENCY SPILLWAY AT ELEVATION = 316.50'. INSTALL RIPRAP AS SHOWN.
 8. DETENTION POND 2: CONSTRUCT 10' GRASSED EMERGENCY SPILLWAY AT ELEVATION = 318.00'. COORDINATE WITH INSTALLATION OF RETAINING WALL.
 9. DETENTION POND 3: CONSTRUCT 10' GRASSED EMERGENCY SPILLWAY AT ELEVATION = 325.00'. COORDINATE WITH INSTALLATION OF RETAINING WALL.
 10. MAINTAIN A MINIMUM OF 0.50% SLOPE ALONG BOTTOM OF THE DETENTION AREA. FLOW ARROWS INDICATING DIRECTION OF FLOW.
 11. CONSTRUCT GRASSED DRAINAGE SWALE WITH MINIMUM 2' WIDE BOTTOM WIDTH AND 3 TO 1 SIDE SLOPES. FLOW ARROWS INDICATING DIRECTION OF FLOW IN SWALE.
 12. TOP OF WALL ELEVATION AT POOL TO MATCH LANDSCAPE PLANS BY OTHERS.

NOTE: INFORMATION REGARDING THE REPORTED PRESENCE, SIZE, CHARACTER AND LOCATION OF UNDERGROUND UTILITIES ARE BASED UPON THE SHOWN ON THESE PLANS MAY HAVE BEEN PROVIDED TO COX AND DINKINS, INC. FROM LOCAL UTILITY COMPANIES. THERE IS NO GUARANTEE OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. HOWEVER, COX AND DINKINS, INC. HAS CONDUCTED THE SCOPE OF ANY FACTS THAT WOULD LEAD US TO ASSURE THAT THE INFORMATION IS NOT ACCURATE. CONTRACTORS AND OTHERS ENGAGED BY THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS AGENTS AND HIS CONTRACTORS SHALL VERIFY THE LOCATION, DEPTH AND CHARACTER OF ALL UTILITIES BY CONDUCTING FIELD SURVEYS PRIOR TO ANY CONSTRUCTION. COX AND DINKINS, INC. IS NOT RESPONSIBLE FOR THE CONSTRUCTION OR MAINTENANCE OF UNDERGROUND UTILITIES. INFORMATION IS BASED UPON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS, AND IS SHOWN HEREON.

The Palmetto Utility Protection Service, Inc.
South Carolina 811
 3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
 CALL 811
 CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 10 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

- ### REFERENCES:
1. REFERENCES
 - ALTANISPS LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.
- ### GENERAL NOTES:
1. THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27.
 2. TOTAL AREA OF SUBJECT PROPERTY IS 52.95 ACRES.
 3. THE SUBJECT PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27 ARE IN THE CITY OF WEST COLUMBIA AND ZONED AS "D (DEVELOPMENT)".
 4. CONTOUR INTERVAL ELEVATIONS ARE ONE (1) FOOT. ELEVATIONS SHOWN ARE NAVD 88 DATUM.
 5. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. THE LOCATIONS OF OTHER UNDERGROUND UTILITIES AND THEIR SERVICES ARE UNKNOWN. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
 6. THIS PROPERTY IS LOCATED IN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP NUMBER 45063C0144J & 45063C063J, REVISED JULY 5, 2018, BY SC FLOOD DAMAGE PREVENTION AND GRAPHIC PLOTTING ONLY.
 7. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT THEY AND THEIR SUBCONTRACTORS HAVE THE CORRECT MOST UP-TO-DATE PLANS AVAILABLE.
 8. ALL SIDEWALKS, STRIPING AND SIGNAGE SHALL BE ADA AND MUTCD COMPLIANT.
 9. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



COX AND DINKINS
 ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
 724 BELTLINE BLVD.
 COLUMBIA, SC 29205
 803.254.0518
 COXANDINKINS.COM

James M. Baker
 LICENSED PROFESSIONAL ENGINEER
 NO. 27748

COX AND DINKINS, INC.
 LICENSED PROFESSIONAL ENGINEER
 NO. C00294

CERTIFICATE OF AUTHORIZATION SEAL

NO.	DATE	DESCRIPTION
1	02/14/2022	Revise Grading and LOD around Bldgs 11 & 12
2	3/1/2022	Added Forebays, CN 12, & Revise fence on walls

REVISIONS

PRIMARY PERMITTEE:
TODD ANDERSEN
 COLUMBIA APARTMENT RESIDENCES, LLC
 1545 PEACHTREE ST. NW, SUITE 280
 ATLANTA, GA 30309
 (404) 815-1234
 email: tandersen@novaregroup.com

PROJECT
LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.
 LOCATED IN THE CITY OF WEST COLUMBIA,
 LEXINGTON COUNTY, SOUTH CAROLINA

PROJECT NO.
 22238

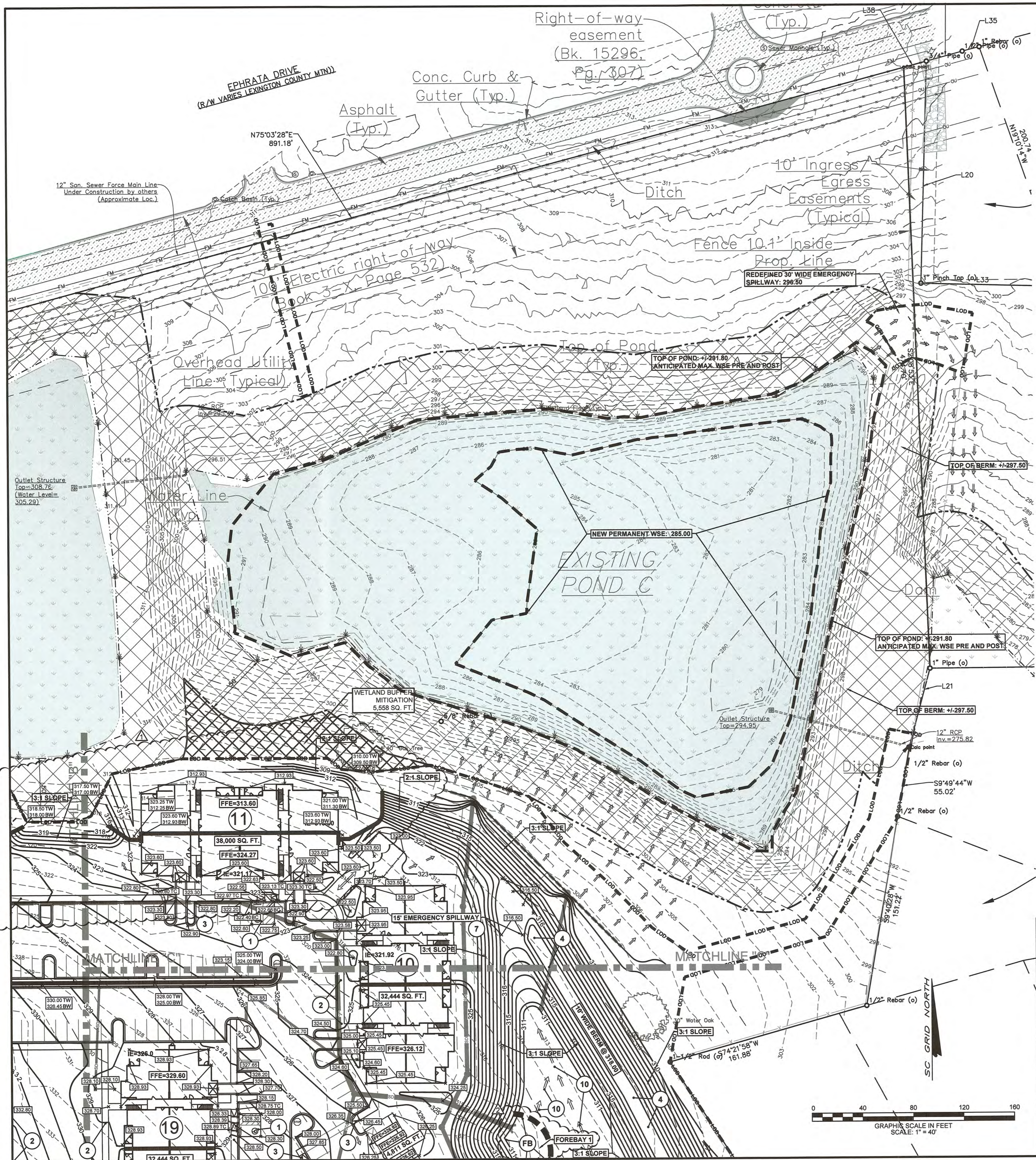
DATE
 JANUARY 14, 2022

SHEET NO.
C5C of 48

ENLARGED GRADING PLAN

PROJECT TMS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27 BOOK 68G-42 DATE SHEET NO. C5C of 48

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GRADING LEGEND

---	EXISTING INDEX CONTOUR	---	PROPOSED INDEX CONTOUR
---	EXISTING INTERMEDIATE CONTOUR	---	PROPOSED INTERMEDIATE CONTOUR
---	LIMITS OF DISTURBANCE	→	FLOW ARROW INDICATING DIRECTION OF FLOW
○	PROPOSED SPOT ELEVATION	↑	PROPOSED GRADE BREAK
○	PROPOSED SPOT ELEVATION TOP OF CURB	↑	PROPOSED SPOT ELEVATION TOP AND BOTTOM OF CURB
○	PROPOSED SPOT ELEVATION BOTTOM OF CURB	↑	PROPOSED SPOT ELEVATION TOP AND BOTTOM OF WALL*
 WATER QUALITY FOREBAY - SIZED AS SHOWN (SEE DETAIL)			

* PROPOSED TOP AND BOTTOM OF WALL ELEVATIONS ARE FOR VISIBLE TOP AND BOTTOM OF WALL ONLY. ADDITIONAL PARAPET HEIGHT AND ADDITIONAL DEPTH TO FOOTING OR BURY ARE TO BE DETERMINED BY THE PARTIES RESPONSIBLE FOR THE STRUCTURAL DESIGN OF THE WALL. THE NEED FOR FALL PROTECTION AND THE DESIGN OF ALL SUCH FALL PROTECTION IS TO BE DETERMINED BY THE PARTIES RESPONSIBLE FOR STRUCTURAL DESIGN.

- ### GRADING NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL MEASURES NECESSARY, INCLUDING GRADING, ADDITIONAL SWALES AS NEEDED, TO ENSURE POSITIVE DRAINAGE AWAY FROM AND AROUND ALL BUILDINGS.
 2. ALL RUNOFF SHALL BE DIRECTED TOWARD DRAINAGE SWALES, DITCHES, CATCH BASINS, AND STORM WATER BASINS.
 3. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL THE INFORMATION PROVIDED BY THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO BIDDING THIS PROJECT.
 4. THE CONTRACTOR SHALL CONDUCT ALL GRADING AND OTHER CONSTRUCTION IN ACCORDANCE WITH RECOMMENDATIONS PROVIDED BY THE OWNER'S GEOTECHNICAL ENGINEER.

- ### ADA NOTES:
1. MAXIMUM SLOPE IN ANY DIRECTION FOR AN ADA PARKING SPACE IS 2%. THE CONTRACTOR SHALL ENSURE THAT INSTALLATION MEETS ADA STANDARDS.
 2. SIDEWALK MAXIMUM CROSS SLOPE SHALL BE 2%, MAXIMUM LONGITUDINAL SLOPE SHALL BE 5.0% UNLESS OTHERWISE SHOWN. CONTRACTOR SHALL INSURE THAT SLOPE MEETS ADA STANDARDS.
 3. ANY PROPOSED SIDEWALK WITHIN ROW SHALL NOT EXCEED 2% CROSS SLOPE PER ADA GUIDELINES. ALL RAMP SHALL NOT EXCEED 8.33% FOR EVERY SCENARIO.
 4. IN PRESENCE OF SIDEWALK OR OTHER ADA PATHWAY, ACCESS(ES) TO PROVIDE A MINIMUM OF 3' PEDESTRIAN PATH OF NO GREATER CROSS SLOPE THAN 2% ACROSS THROAT OF DRIVEWAY.

- ### RETAINING WALL NOTES:
1. RETAINING WALLS SHALL BE MSE SEGMENTAL BLOCK WALL WITH FALL PROTECTION AND WHERE REQUIRED ADD ALUMINUM FENCING OR APPROVED EQUAL. FENCING TO BE APPROVED BY OWNER.
 2. TOP AND BOTTOM OF WALL ELEVATIONS ARE FOR VISIBLE TOP AND BOTTOM OF WALL ONLY. CONTRACTOR SHALL PROVIDE DESIGN OF RETAINING WALL AND FOOTINGS, SUBDRAINAGE/WATERPROOFING DESIGN, BRIDGING OF PROPOSED STORM DRAINAGE PIPE CROSSINGS, MATERIAL SUBMITTALS, FALL PROTECTION (IF APPLICABLE), AND/OR SHOP DRAWINGS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF SOUTH CAROLINA.
 3. CONTRACTOR AND DESIGN SHALL COMPLY WITH RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
 4. IN NO WAY SHOULD THESE CONSTRUCTION DOCUMENTS BE CONSTRUED AS DESIGN DOCUMENTS FOR THE PROPOSED RETAINING WALL.
 5. CONTRACTOR SHALL SUBMIT COLOR SAMPLES TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.

- ### CODED NOTES
- FB** WATER QUALITY FOREBAY. SIZED AS SHOWN. SEE DETAIL.
- 1 HANDICAP PARKING AREA. THE MAXIMUM SLOPE IN ANY DIRECTION IS 2%. THE CONTRACTOR SHALL INSURE THAT INSTALLATION MEETS ADA STANDARDS.
 - 2 SIDEWALK MAXIMUM CROSS SLOPE SHALL BE 2.0%. MAXIMUM LONGITUDINAL SLOPE SHALL BE 5.0%. CONTRACTOR SHALL INSURE THAT INSTALLATION MEETS ADA STANDARDS. TYPICAL FOR ALL. CONTACT ENGINEER IMMEDIATELY IF DISCREPANCIES ARE ENCOUNTERED.
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 - 4 DETENTION POND 1: CONSTRUCT 10' WIDE BERM AT ELEVATION = 318.00'. TOP OF BERM MUST BE THIS GRADE AFTER SETTLEMENT. COORDINATE WITH INSTALLATION OF RETAINING WALL.
 - 5 DETENTION POND 2: CONSTRUCT 10' WIDE BERM AT ELEVATION = 319.00'. TOP OF BERM MUST BE THIS GRADE AFTER SETTLEMENT. COORDINATE WITH INSTALLATION OF RETAINING WALL.
 - 6 DETENTION POND 3: CONSTRUCT 10' WIDE BERM AT ELEVATION = 328.00'. TOP OF BERM MUST BE THIS GRADE AFTER SETTLEMENT. COORDINATE WITH INSTALLATION OF RETAINING WALL.
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 - 9 DETENTION POND 3: CONSTRUCT 10' GRASSED EMERGENCY SPILLWAY AT ELEVATION = 325.00'. COORDINATE WITH INSTALLATION OF RETAINING WALL.
 - 10 MAINTAIN A MINIMUM OF 0.50% SLOPE ALONG BOTTOM OF THE DETENTION AREA. FLOW ARROWS INDICATING DIRECTION OF FLOW.
 - 11 CONSTRUCT GRASSED DRAINAGE SWALE WITH MINIMUM 2' WIDE BOTTOM WIDTH AND 3 TO 1 SIDE SLOPES. FLOW ARROWS INDICATING DIRECTION OF FLOW IN SWALE.
 - 12 TOP OF WALL ELEVATION AT POOL TO MATCH LANDSCAPE PLANS BY OTHERS.

REFERENCES:

1. REFERENCES
- ALTAN/SPS LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.

GENERAL NOTES:

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- THIS PROPERTY IS LOCATED IN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP NUMBER 45063C0144J & 45063C0163J, REVISED JULY 5, 2018, BY SCALED LOCATION AND GRAPHIC PLOTTING ONLY.
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REFERENCES:

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COX AND DINKINS
ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
724 BELTLINE BLVD.
COLUMBIA, SC 29205
803.254.0518
COXANDINKINS.COM

Professional Engineer Seal
SOUTH CAROLINA
No. 27748
3/11/2022
James M. Bell
LICENSED PROFESSIONAL ENGINEER
No. 27748

Professional Engineer Seal
SOUTH CAROLINA
COX AND DINKINS, INC.
No. C00294

CERTIFICATE OF AUTHORIZATION SEAL

NO.	DATE	DESCRIPTION
1	02/14/2022	Revise Grading and LOD around Bldgs. 11 & 12
2	3/11/2022	Added Forebays, CN 12 & Revise fence on wall

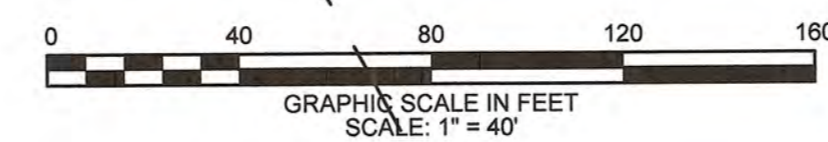
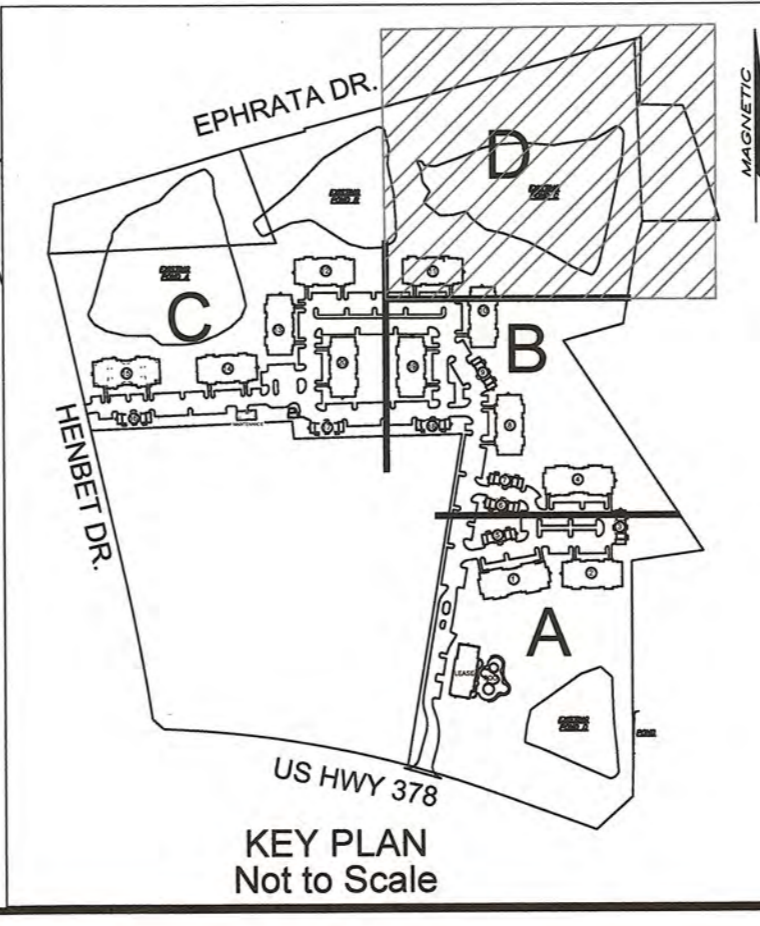
PRIMARY PERMITTEE:
TODD ANDERSEN
COLUMBIA APARTMENT RESIDENCES, LLC
1545 PEACHTREE ST. NW, SUITE 260
ATLANTA, GA 30309
(404) 815-1234
email: tandersen@novaregroup.com

PROJECT
LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.
LOCATED IN THE CITY OF WEST COLUMBIA,
LEXINGTON COUNTY, SOUTH CAROLINA

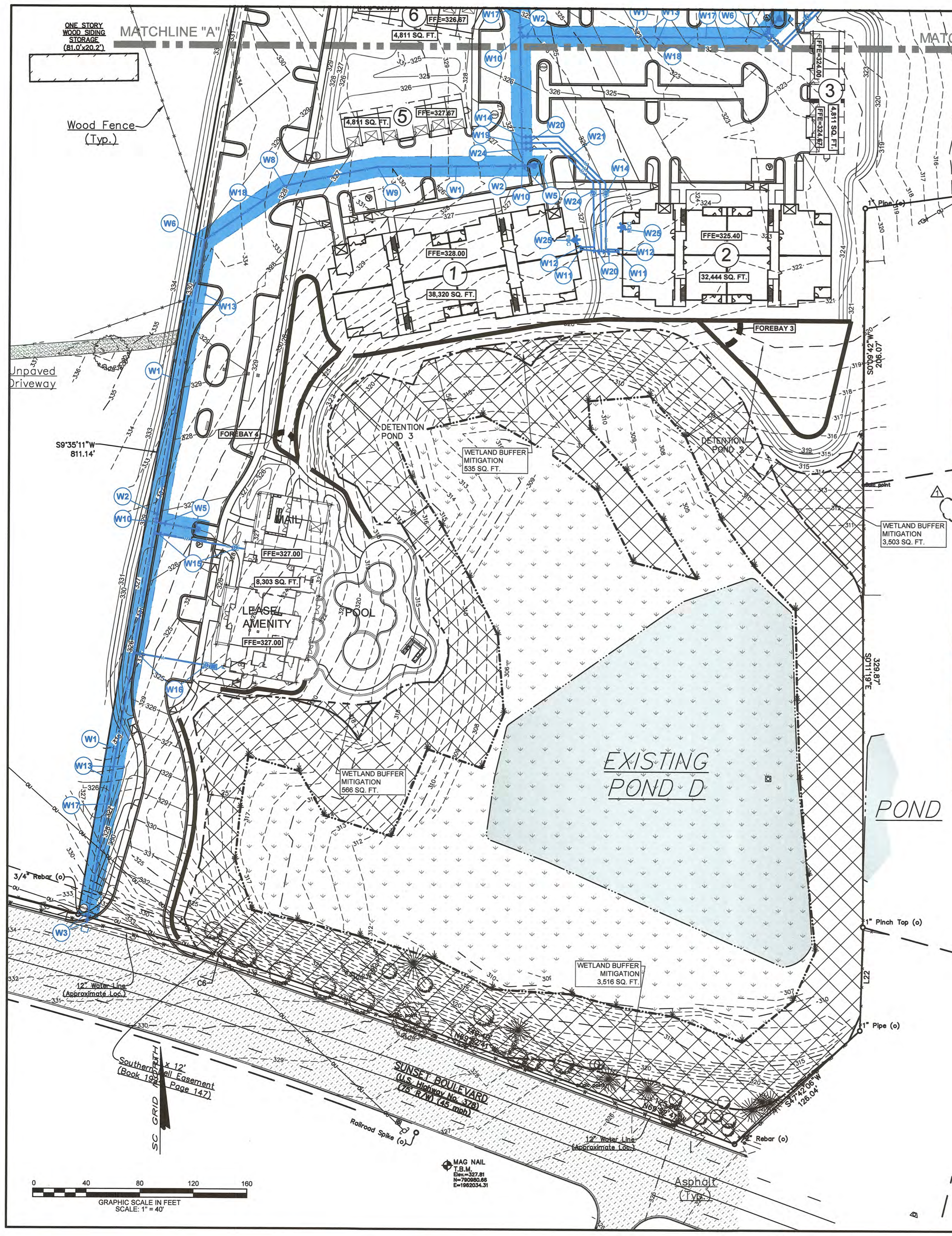
ENLARGED GRADING PLAN

PROJECT NO. 2238
SHEET NO. C5D OF 48

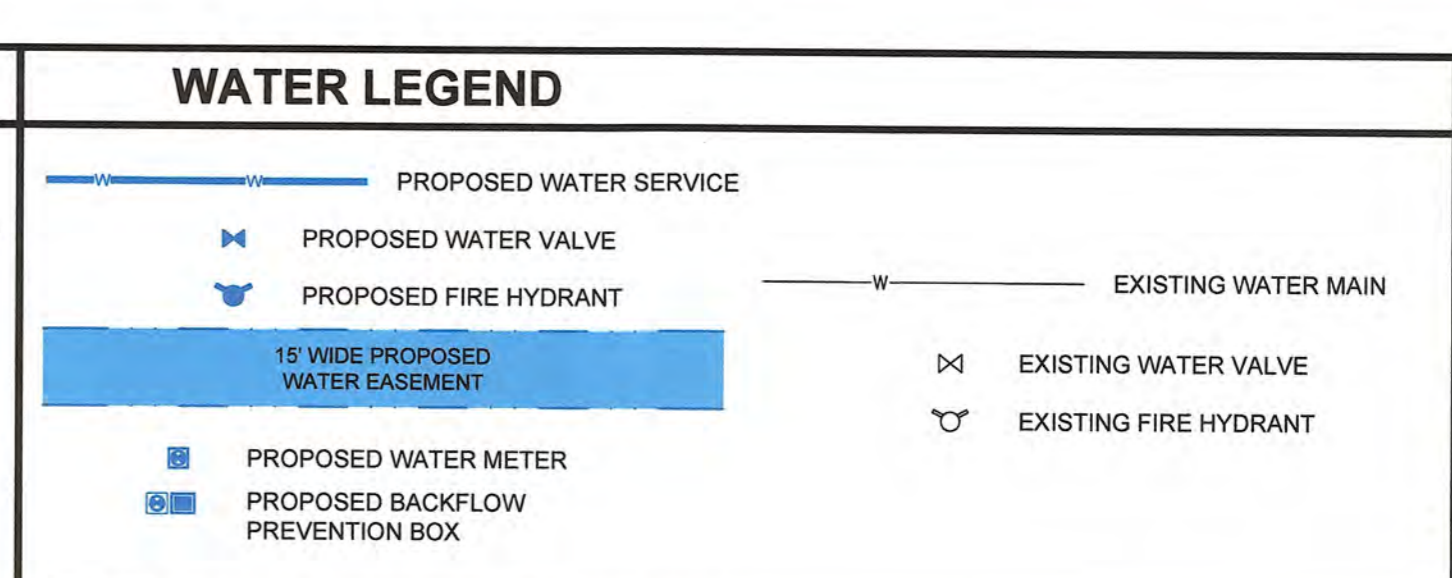
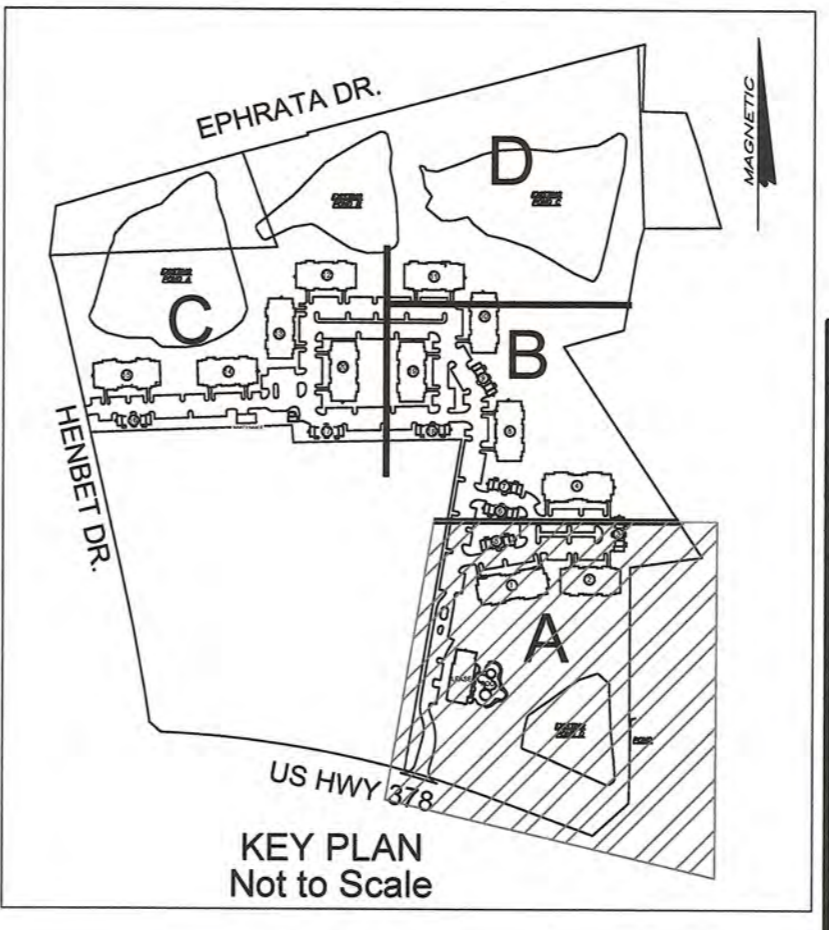
DATE: JANUARY 14, 2022



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- ### CODED WATER NOTES
- W1 CONTRACTOR SHALL FURNISH AND INSTALL NEW 6" DIAMETER DIP WATER MAIN. MAINTAIN A MINIMUM OF 36" OF COVER.
 - W2 CONTRACTOR SHALL FURNISH AND INSTALL 6" GATE VALVE WITH BOX AS SHOWN. (TYPICAL) (SEE DETAIL).
 - W3 CONTRACTOR SHALL TAP EXISTING 12" WATER MAIN WITH A 12"x6" CITY APPROVED TAPPING SLEEVE AND VALVE WITH BOX. AFTER VALVE, CONTRACTOR SHALL CONTINUE WATER MAIN INSTALLATION AS SHOWN. COORDINATE PAVEMENT REMOVAL AND REPAIR. TAP SHALL BE MADE AFTER APPLICATION AND PAYMENT OF ALL FEES BY THE OWNER AND AS PER SCOT ENCRoACHMENT PERMIT.
 - W4 CONTRACTOR SHALL TAP EXISTING 8" WATER MAIN WITH A 8"x6" CITY APPROVED TAPPING SLEEVE AND VALVE WITH BOX. AFTER VALVE, CONTRACTOR SHALL CONTINUE WATER MAIN INSTALLATION AS SHOWN. COORDINATE PAVEMENT REMOVAL AND REPAIR. TAP SHALL BE MADE AFTER APPLICATION AND PAYMENT OF ALL FEES BY THE OWNER AND PER SCOT ENCRoACHMENT PERMIT.
 - W5 CONTRACTOR TO FURNISH AND INSTALL NEW FIRE HYDRANT ASSEMBLY ON 6" CLASS-51 ASPHALT COATED, CEMENT LINE, D.I. LEAD. ASSEMBLY SHALL INCLUDE HYDRANT VALVE INSTALLATION. SEE DETAIL.
 - W6 CONTRACTOR SHALL FURNISH AND INSTALL 6" DIAMETER 45' MJ DI BEND WITH THRUST RESTRAINTS MEETING CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
 - W7 CONTRACTOR SHALL FURNISH AND INSTALL 6" DIAMETER 90' MJ DI BEND WITH THRUST RESTRAINTS MEETING CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
 - W8 CONTRACTOR SHALL FURNISH AND INSTALL 6" DIAMETER 22-1/2" MJ DI BEND WITH THRUST RESTRAINTS MEETING CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
 - W9 CONTRACTOR SHALL FURNISH AND INSTALL 6" DIAMETER 11-1/4" MJ DI BEND WITH THRUST RESTRAINTS MEETING CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
 - W10 CONTRACTOR SHALL FURNISH AND INSTALL 6"x6"x6" DIAMETER MJ DI TEE WITH THRUST RESTRAINT. THRUST RESTRAINT SHALL MEET CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
 - W11 APPROXIMATE LOCATION OF WHERE FIRE WATER SERVICE ENTERS THE BUILDING. SEE PLUMBING PLANS FOR CONTINUATION INTO THE BUILDING. COORDINATE WITH ARCHITECTURAL AND PLUMBING PLANS FOR EXACT LOCATION OF THE SPRINKLER RISER ROOM. BACKFLOW PREVENTION INSIDE BUILDING.
 - W12 APPROXIMATE LOCATION OF WHERE DOMESTIC WATER SERVICE ENTERS THE BUILDING. SEE PLUMBING PLANS FOR CONTINUATION INTO THE BUILDING. COORDINATE WITH ARCHITECTURAL AND PLUMBING PLANS FOR EXACT LOCATION AND SIZE. BACKFLOW PREVENTION INSIDE BUILDING.
 - W13 PROPOSED 15' WIDE WATER EASEMENT TO BE DEDICATED TO THE CITY OF WEST COLUMBIA UPON COMPLETION OF WATER MAIN CONSTRUCTION AND ACCEPTANCE BY THE CITY OF WEST COLUMBIA.
 - W14 CONTRACTOR SHALL INSTALL 2" TAP FOR PROPOSED DOMESTIC SERVICE. INSTALL 2" NUT OPERATED VALVE WITH BOX & INSTALL 2" DIAM. PVC DOMESTIC WATERLINE AS SHOWN. CONTRACTOR SHALL CONSTRUCT/INSTALL A METER BOX SIZED TO HOUSE THE 2" METER PURCHASED FROM CITY OF WEST COLUMBIA AND INSTALLED BY THE CONTRACTOR. BACKFLOW PREVENTION SHALL MEET CITY OF WEST COLUMBIA AND SCDEH REQUIREMENTS. BACKFLOW PREVENTION SHALL BE INSTALLED IN THE BUILDING. MAINTAIN MINIMUM 3' OF COVER OVER TOP OF PIPE.
 - W15 CONTRACTOR SHALL INSTALL 1 1/2" TAP FOR PROPOSED DOMESTIC SERVICE. INSTALL 1 1/2" NUT OPERATED VALVE WITH BOX & INSTALL 1 1/2" DIAM. PVC DOMESTIC WATERLINE AS SHOWN. CONTRACTOR SHALL CONSTRUCT/INSTALL A METER BOX SIZED TO HOUSE THE 1 1/2" METER PURCHASED FROM CITY OF WEST COLUMBIA AND INSTALLED BY THE CONTRACTOR. BACKFLOW PREVENTION SHALL MEET CITY OF WEST COLUMBIA AND SCDEH REQUIREMENTS. BACKFLOW PREVENTION SHALL BE INSTALLED IN THE BUILDING. MAINTAIN MINIMUM 3' OF COVER OVER TOP OF PIPE.
 - W16 CONTRACTOR SHALL PROVIDE A 2" SERVICE FOR PROPOSED IRRIGATION SERVICE. INSTALL 2" NUT OPERATED VALVE WITH BOX & INSTALL 2" DIAM. PVC IRRIGATION WATERLINE AS SHOWN. CONTRACTOR SHALL CONSTRUCT/INSTALL A METER BOX SIZED TO HOUSE THE 2" METER WITH BYPASS PURCHASED FROM CITY OF WEST COLUMBIA AND INSTALLED BY THE CONTRACTOR. CONTRACTOR SHALL THEN CONSTRUCT /INSTALL A BACKFLOW PREVENTION BOX SIZED TO HOUSE A 2" DIAM. WATTS DOUBLE CHECK VALVE ASSEMBLY. BACKFLOW PREVENTION SHALL MEET CITY OF WEST COLUMBIA & SCDEH REQUIREMENTS. SEE LANDSCAPE PLAN FOR CONTINUATION.
 - W17 WATER LINE CROSSES PROPOSED STORM DRAINAGE LINE AT THIS LOCATION. MAINTAIN 18" MINIMUM VERTICAL SEPARATION. WATER LINE SHALL BE PLACED ABOVE STORM DRAINAGE.
 - W18 WATER LINE CROSSES SANITARY SEWER LINE AT THIS LOCATION. MAINTAIN 18" MINIMUM VERTICAL SEPARATION WITH WATER ABOVE SANITARY SEWER.
 - W19 CONTRACTOR SHALL FURNISH AND INSTALL 6"x6"x4" DIAMETER MJ DI TEE WITH THRUST RESTRAINT. THRUST RESTRAINT SHALL MEET CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
 - W20 CONTRACTOR SHALL FURNISH AND INSTALL 4" GATE VALVE WITH BOX AS SHOWN. (TYPICAL) (SEE DETAIL).
 - W21 CONTRACTOR SHALL FURNISH AND INSTALL NEW 4" DIAMETER DIP FIRE WATER MAIN. MAINTAIN A MINIMUM OF 36" OF COVER.
 - W22 CONTRACTOR SHALL INSTALL 1" TAP FOR PROPOSED DOMESTIC SERVICE TO SANITARY SEWER LIFT STATION. INSTALL 1" NUT OPERATED VALVE WITH BOX & INSTALL 1" DIAM. PVC DOMESTIC WATERLINE AS SHOWN. CONTRACTOR SHALL CONSTRUCT/INSTALL A METER BOX SIZED TO HOUSE THE 1" METER PURCHASED FROM CITY OF WEST COLUMBIA AND INSTALLED BY THE CONTRACTOR. BACKFLOW PREVENTION SHALL MEET CITY OF WEST COLUMBIA AND SCDEH REQUIREMENTS. BACKFLOW PREVENTION SHALL BE INSTALLED IN THE BUILDING. MAINTAIN MINIMUM 3' OF COVER OVER TOP OF PIPE.
 - W23 CONTRACTOR SHALL INSTALL FREEZE PROOF HOSE BID WITHIN LIFT STATION FENCE.
 - W24 CONTRACTOR SHALL INSTALL 2-1/2" TAP FOR PROPOSED DOMESTIC SERVICE. INSTALL 2 1/2" NUT OPERATED VALVE WITH BOX & INSTALL 2 1/2" DIAM. PVC DOMESTIC WATERLINE AS SHOWN. CONTRACTOR SHALL CONSTRUCT/INSTALL A METER BOX SIZED TO HOUSE THE 2" METER PURCHASED FROM CITY OF WEST COLUMBIA AND INSTALLED BY THE CONTRACTOR. BACKFLOW PREVENTION SHALL MEET CITY OF WEST COLUMBIA AND SCDEH REQUIREMENTS. BACKFLOW PREVENTION SHALL BE INSTALLED IN THE BUILDING. MAINTAIN MINIMUM 3' OF COVER OVER TOP OF PIPE.
 - W25 BUILDING MOUNTED FIRE DEPARTMENT CONNECTION. INSTALL SIGNAGE AS NECESSARY.
 - W26 CONTRACTOR SHALL FURNISH AND INSTALL 6"x4" DIAMETER MJ DI REDUCER WITH THRUST RESTRAINT. THRUST RESTRAINT SHALL MEET CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.



NOTES TO OWNER AND CONTRACTOR:

- THE OWNER SHALL PAY ALL TAP AND METER FEES ASSOCIATED WITH THE PROJECT TO THE CITY OF WEST COLUMBIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE PAYMENT OF THOSE FEES BETWEEN THE OWNER AND THE CITY OF WEST COLUMBIA.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL METER BOXES.
- AT THE COMPLETION OF THE WATER SYSTEM CONSTRUCTION, THE PROJECT MUST BE GRANTED APPROVAL FROM THE CITY OF WEST COLUMBIA AND RECEIVE AN OPERATIONAL PERMIT FROM SCDEH. IT IS IMPERATIVE THAT COX AND DINKINS, INC. RECEIVE CERTIFIED RECORD DATA FROM THE CONTRACTOR'S SOUTH CAROLINA LICENSED AND REGISTERED PROFESSIONAL LAND SURVEYOR IMMEDIATELY UPON COMPLETION OF THE WATER SYSTEM INSTALLATION. THIS INFORMATION SHALL BE PROVIDED IN A TIMELY FASHION TO ALLOW SUFFICIENT TIME FOR THE RECORD DRAWING SUBMITTAL AND APPROVAL PROCESS THROUGH THE CITY OF WEST COLUMBIA AND SCDEH.
- THE CONTRACTOR SHALL PROVIDE COX AND DINKINS, INC. SIGNED AND SEALED HARD COPIES OF THE CERTIFIED RECORD DRAWINGS. IN ADDITION, COX AND DINKINS, INC. SHALL RECEIVE ALL ELECTRONIC INFORMATION USED TO PREPARE THE AFORESAID CERTIFIED RECORD DRAWINGS, INCLUDING, BUT NOT LIMITED TO, THE AUTOCAD FILES(S) AND FIELD SURVEY DATA FILE(S).
- THE CERTIFIED RECORD DATA PROVIDED TO COX AND DINKINS, INC. SHALL INCLUDE ALL APPURTENANT ITEMS ASSOCIATED WITH THE WATER SYSTEM, INCLUDING, BUT NOT LIMITED TO, LINES, BENDS, VALVES, TAPS, HYDRANTS, REDUCERS, ETC.
- EASEMENT DOCUMENTATION WILL BE PREPARED BY EITHER THE CITY OF WEST COLUMBIA'S LEGAL DEPARTMENT OR THE OWNER'S ATTORNEY BASED UPON THE RECORD DRAWINGS. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE WHO WILL PREPARE THE EASEMENT DOCUMENTATION. SHOULD THE EASEMENT DOCUMENTATION BE THE RESPONSIBILITY OF THE OWNER, THEIR ATTORNEY SHALL PREPARE AND PROVIDE THE EASEMENT DOCUMENTATION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF WEST COLUMBIA.
- THE CITY OF WEST COLUMBIA, AS COORDINATED AND ASSISTED BY THE CONTRACTOR, WILL CONDUCT THE REQUIRED TESTS ON THE WATER SYSTEM, AS DIRECTED BY THE CITY OF WEST COLUMBIA OR THE ENGINEER. THE CONTRACTOR WILL BE RESPONSIBLE FOR PERFORMING THE REQUIRED TESTING.
- UPON APPROVAL OF THE RECORD DRAWINGS BY THE CITY OF WEST COLUMBIA, SUCCESSFUL TESTING OF THE WATER SYSTEM, AND RECEIPT OF AN APPROVAL LETTER FROM THE CITY OF WEST COLUMBIA, COX AND DINKINS, INC. WILL PREPARE AND SUBMIT THE NECESSARY PACKAGE TO SCDEH REQUIRED FOR FINAL APPROVAL TO PLACE THE WATER SYSTEM INTO OPERATION.

WATER SYSTEM NOTES:

- ALL MATERIALS AND INSTALLATION OF THE PROPOSED WATER SYSTEM SHALL MEET THE REQUIREMENTS AS SET FORTH BY THE CITY OF WEST COLUMBIA AND SCDEH.
- ALL PROPOSED DOMESTIC AND FIRE PROTECTION WATER LINES (MAINS AND SERVICES) SHALL CONFORM TO "TEN STATE STANDARDS."
- CONTRACTOR SHALL NOTIFY THE CITY OF WEST COLUMBIA 48 HOURS PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING NECESSARY PERMITS AND LICENSES FROM THE CITY OF WEST COLUMBIA AND SCDEH PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL NECESSARY TESTING OF THE NEW WATER SYSTEM (MAINS AND/OR SERVICES) ACCORDING TO THE REQUIREMENTS OF THE CITY OF WEST COLUMBIA & SCDEH. CONTRACTOR SHALL FURNISH AND INSTALL A STONE SPLASH PAD AT ALL PROPOSED HYDRANTS, OR OTHER POINTS OF DISCHARGE, PRIOR TO THE REQUIRED TESTING OF THE WATER SYSTEM.
- CONTRACTOR SHALL FURNISH AND INSTALL SILT FENCING AND/OR OTHER SEDIMENT AND EROSION CONTROL DEVICES, AS NECESSARY, TO CONTROL AND LIMIT, TO THE MAXIMUM EXTENT POSSIBLE, EROSION DURING THE INSTALLATION AND TESTING OF THE WATER SYSTEM.
- ALL DISTURBED AREAS RESULTING FROM THE INSTALLATION OF THE PROPOSED WATER SYSTEM SHALL BE CLEANED, GRADED, AND IMMEDIATELY STABILIZED UPON COMPLETION OF THE INSTALLATION.
- OTHER UTILITY CROSSINGS MAY EXIST THAT ARE NOT SHOWN ON THE CONSTRUCTION PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION(S) AND ELEVATION(S) OF UTILITY CROSSINGS OF BOTH EXISTING AND PROPOSED UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN, PROTECT, RELOCATE, OR CONNECT ANY AND ALL OPERATING UTILITIES FOUND DURING CONSTRUCTION THAT ARE NOT SHOWN ON THIS PLAN. CONSULT THE ARCHITECT AND ENGINEER IMMEDIATELY IF UTILITIES ARE ENCOUNTERED ON DURING CONSTRUCTION THAT ARE NOT SHOWN WITHIN THESE PLANS.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL FITTINGS, BENDS, ETC. AS REQUIRED TO FACILITATE AND COMPLETE THE WATER SYSTEM INSTALLATION.
- IF BACKFLOW PREVENTION IS LOCATED INSIDE THE PROPOSED BUILDING(S), THE CONTRACTOR SHALL REFER TO THE PLUMBING PLANS FOR MORE INFORMATION.
- IF THE FIRE DEPARTMENT CONNECTION (FDC) IS MOUNTED ON THE EXTERIOR OF THE PROPOSED BUILDING(S), THE LOCATION SHOWN ON THE CONSTRUCTION PLANS IS APPROXIMATE. CONTRACTOR SHALL COORDINATE WITH THE ARCHITECTURAL AND PLUMBING PLANS FOR THE EXACT LOCATION(S) OF THE FDC. CONTRACTOR SHALL FURNISH AND FURNISH THE FDC(S) LOCATED WITHIN 100' OF A FIRE HYDRANT.
- ALL PROPOSED AND EXISTING WATER MAINS AND SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED ENCRoACHMENT PERMIT(S). CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TRAFFIC CONTROL MEASURES PER THE APPROVED ENCRoACHMENT PERMIT(S).

REFERENCES:

- REFERENCES
- ALTANPS LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.

GENERAL NOTES:

- THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27.
- TOTAL AREA OF SUBJECT PROPERTY IS 52.95 ACRES.
- THE SUBJECT PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27 ARE IN THE CITY OF WEST COLUMBIA AND ZONED AS "D (DEVELOPMENT)".
- CONTOUR INTERVAL ELEVATIONS ARE ONE (1) FOOT. ELEVATIONS SHOWN ARE NAVD 88 DATUM.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. THE LOCATIONS OF OTHER UNDERGROUND UTILITIES AND THEIR SERVICES ARE UNKNOWN. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
- THIS PROPERTY IS LOCATED IN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP NUMBER 45063C0144J & 45063R0143J, REVISED JULY 5, 2018. EXACT LOCATION AND GRAPHIC PLOTTING ONLY.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT THEY AND THEIR SUBCONTRACTORS HAVE THE CORRECTMOST UP-TO-DATE PLANS AVAILABLE.
- ALL SIDEWALKS, STRIPING AND SIGNAGE SHALL BE ADA AND MUTCD COMPLIANT.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

NOTE: INFORMATION REGARDING THE REPORTED PRESENCE, SIZE, CHARACTER AND LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY HAVE BEEN PROVIDED TO COX AND DINKINS, INC. FROM LOCAL UTILITY COMPANIES. THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THIS LIGHT BY THOSE USING THESE DRAWINGS. COX AND DINKINS, INC. HAS NO NOTICE OR KNOWLEDGE OF ANY FACTS THAT WOULD LEAD TO CONCLUDE THAT THE INFORMATION IS INACCURATE. A PROFESSIONAL OTHER ENGINEER, THE OWNER, HIS EMPLOYER, HIS CONSULTANTS, HIS AGENTS AND HIS CONTRACTORS SHALL VERIFY THE INFORMATION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OR SUPERSEDED OF THE UNDERGROUND INFORMATION. INFORMATION WITH REFERENCE TO ABOVE GROUND MONUMENTS OF HIGH UTILITIES IS BASED UPON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS, AND IS SHOWN HEREON.

The Palmetto Utility Protection Service, Inc.
South Carolina 811
 3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
CALL 811
 CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 10 DAYS FOR ANY UPDATES TO UTILITY LOCATIONS.

COX AND DINKINS
 ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
 724 BELTLINE BLVD.
 COLUMBIA, SC 29205
 803.254.0518
 COXANDINKINS.COM

JAMES W. BALLE
 LICENSED PROFESSIONAL ENGINEER
 No. 27748

COX AND DINKINS, INC.
 No. C00294

NO.	DATE	REVISIONS
1	03/11/2022	REVISED PER W. COLUMBIA COMMENTS

PRIMARY PERMITTEE:
TODD ANDERSEN
 COLUMBIA APARTMENT RESIDENCES, LLC
 1545 PEACHTREE ST. NW, SUITE 280
 ATLANTA, GA 30309
 (404) 815-1234
 email: tandersen@novaregroup.com

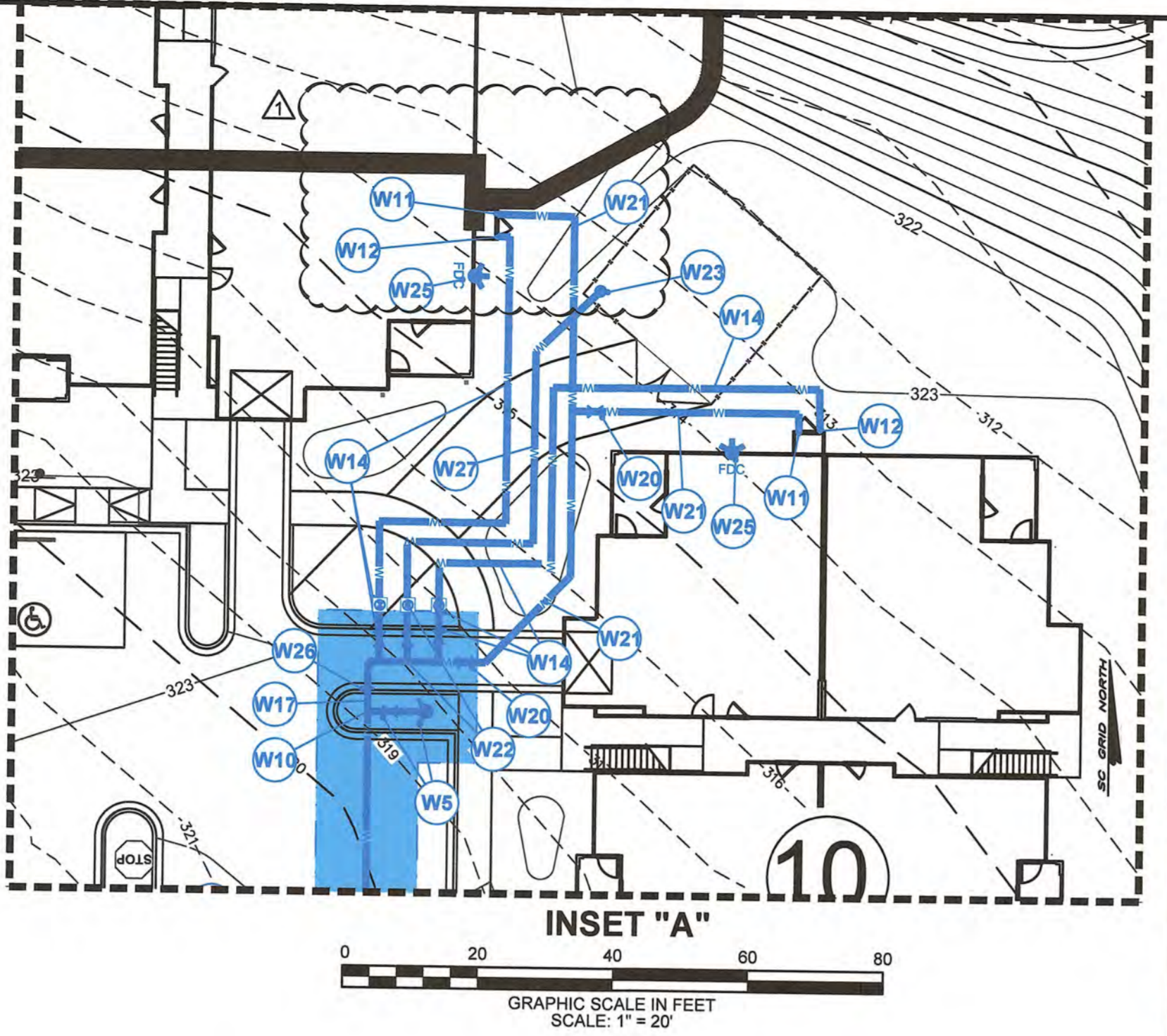
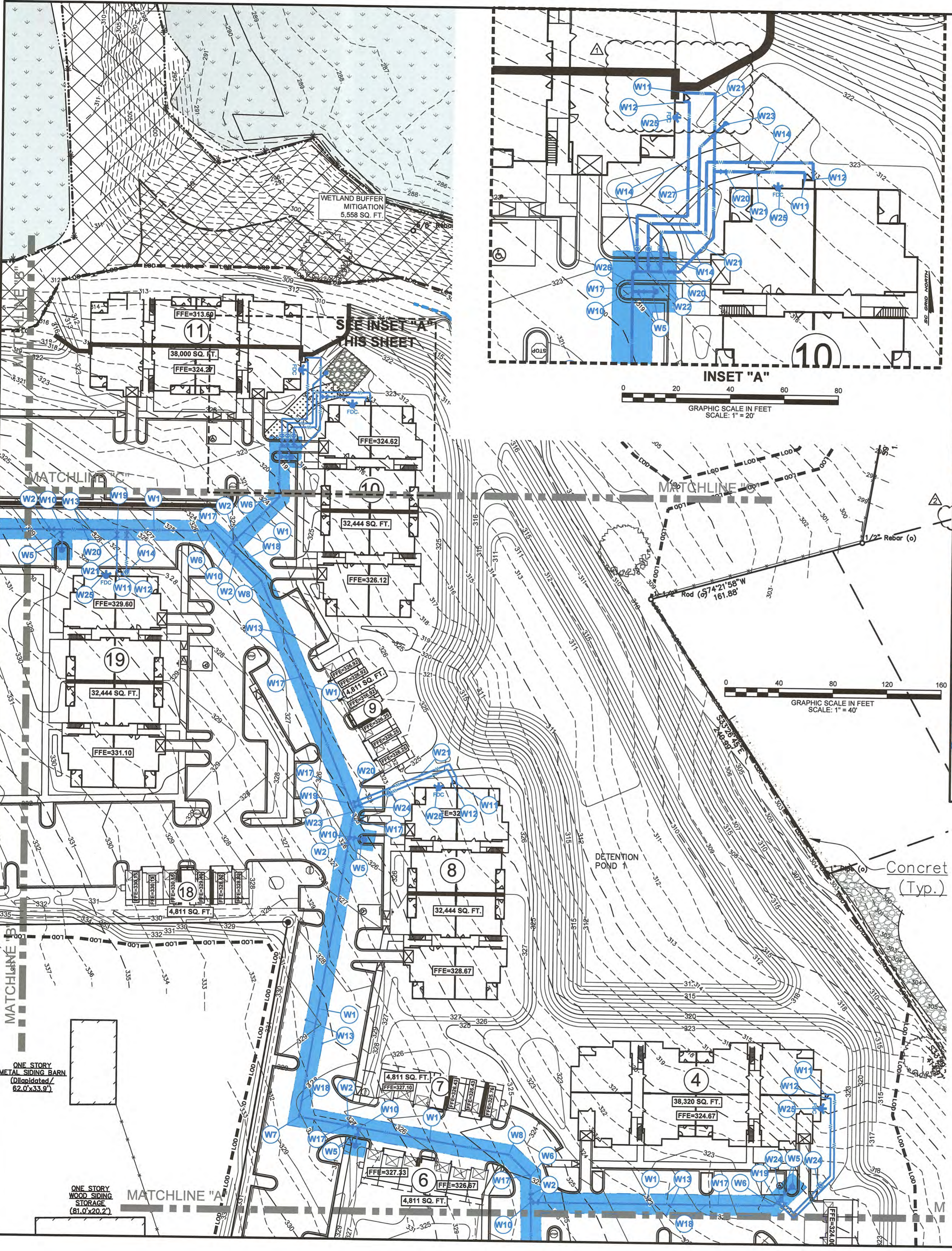
PROJECT:
LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.
 LOCATED IN THE CITY OF WEST COLUMBIA,
 LEXINGTON COUNTY, SOUTH CAROLINA

PROJECT NO:
 2238

SHEET NO:
C6A of 48

ENLARGED WATER PLAN

C:\Pro\2238 West Columbia Multifamily\DRAWINGS\2238_Water.dwg, Plotted By: SNN, Plotted: Mar 11, 2022 - 4:10pm



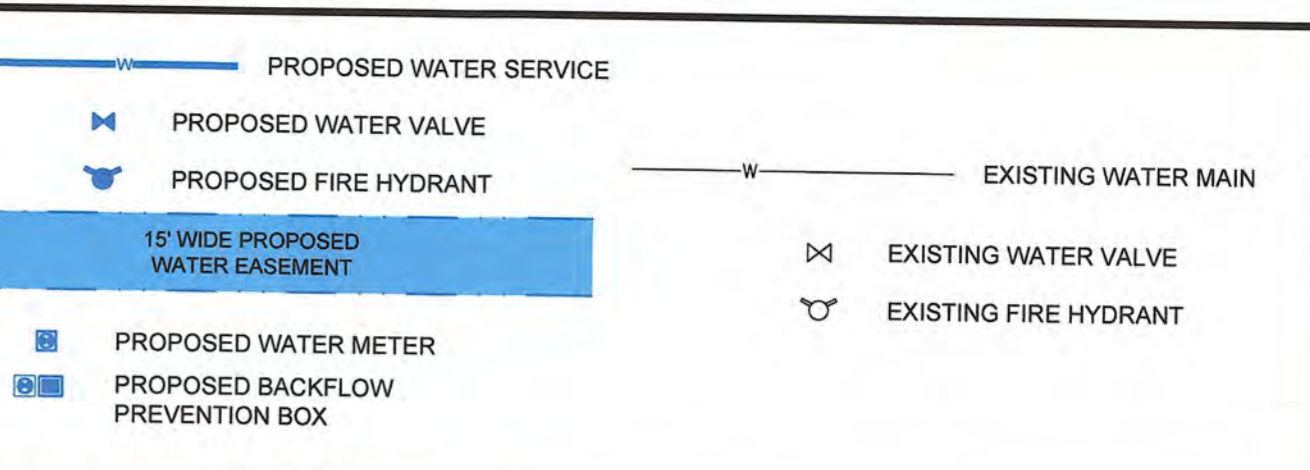
GRAPHIC SCALE IN FEET
SCALE: 1" = 20'

GRAPHIC SCALE IN FEET
SCALE: 1" = 40'

CODED WATER NOTES

- W1 CONTRACTOR SHALL FURNISH AND INSTALL NEW 6" DIAMETER DIP WATER MAIN. MAINTAIN A MINIMUM OF 36" OF COVER.
- W2 CONTRACTOR SHALL FURNISH AND INSTALL 6" GATE VALVE WITH BOX AS SHOWN. (TYPICAL) (SEE DETAIL)
- W3 CONTRACTOR SHALL TAP EXISTING 12" WATER MAIN WITH A 12" CITY APPROVED TAPPING SLEEVE AND SLEEVE WITH BOX. AFTER VALVE, CONTRACTOR SHALL CONTINUE WATER MAIN INSTALLATION AS SHOWN. COORDINATE PAVEMENT REMOVAL AND REPAIR. TAP SHALL BE MADE AFTER APPLICATION AND PAYMENT OF ALL FEES BY THE OWNER AND AS PER SCOTD ENCROACHMENT PERMIT.
- W4 CONTRACTOR SHALL TAP EXISTING 8" WATER MAIN WITH A 8" CITY APPROVED TAPPING SLEEVE AND VALVE WITH BOX. AFTER VALVE, CONTRACTOR SHALL CONTINUE WATER MAIN INSTALLATION AS SHOWN. COORDINATE PAVEMENT REMOVAL AND REPAIR. TAP SHALL BE MADE AFTER APPLICATION AND PAYMENT OF ALL FEES BY THE OWNER AND PER SCOTD ENCROACHMENT PERMIT.
- W5 CONTRACTOR TO FURNISH AND INSTALL NEW FIRE HYDRANT ASSEMBLY ON 6" CLASS-51 ASPHALT COATED, CEMENT LINE, D.I. LEAD. ASSEMBLY SHALL INCLUDE HYDRANT VALVE INSTALLATION. SEE DETAIL.
- W6 CONTRACTOR SHALL FURNISH AND INSTALL 6" DIAMETER 45° MJ DI BEND WITH THRUST RESTRAINTS MEETING CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
- W7 CONTRACTOR SHALL FURNISH AND INSTALL 90° DIAMETER 90° MJ DI BEND WITH THRUST RESTRAINTS MEETING CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
- W8 CONTRACTOR SHALL FURNISH AND INSTALL 6" DIAMETER 22-1/2" MJ DI BEND WITH THRUST RESTRAINTS MEETING CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
- W9 CONTRACTOR SHALL FURNISH AND INSTALL 6" DIAMETER 11-1/4" MJ DI BEND WITH THRUST RESTRAINTS MEETING CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
- W10 CONTRACTOR SHALL FURNISH AND INSTALL 6"x6"x4" DIAMETER MJ DI TEE WITH THRUST RESTRAINT. THRUST RESTRAINT SHALL MEET CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
- W11 APPROXIMATE LOCATION OF WHERE FIRE WATER SERVICE ENTERS THE BUILDING. SEE PLUMBING PLANS FOR CONTINUATION INTO THE BUILDING. COORDINATE WITH ARCHITECTURAL AND PLUMBING PLANS FOR EXACT LOCATION OF THE SPRINKLER RISER ROOM. BACKFLOW PREVENTION INSIDE BUILDING.
- W12 APPROXIMATE LOCATION OF WHERE DOMESTIC WATER SERVICE ENTERS THE BUILDING. SEE PLUMBING PLANS FOR CONTINUATION INTO THE BUILDING. COORDINATE WITH ARCHITECTURAL AND PLUMBING PLANS FOR EXACT LOCATION AND SIZE. BACKFLOW PREVENTION INSIDE BUILDING.
- W13 PROPOSED 15' WIDE WATER EASEMENT TO BE DEDICATED TO THE CITY OF WEST COLUMBIA UPON COMPLETION OF WATER MAIN CONSTRUCTION AND ACCEPTANCE BY THE CITY OF WEST COLUMBIA.
- W14 CONTRACTOR SHALL INSTALL 2" TAP FOR PROPOSED DOMESTIC SERVICE. INSTALL 2" NUT OPERATED VALVE WITH BOX & INSTALL 2" DIAM. PVC DOMESTIC WATERLINE AS SHOWN. CONTRACTOR SHALL CONSTRUCT/INSTALL A METER BOX SIZED TO HOUSE THE 2" METER PURCHASED FROM CITY OF WEST COLUMBIA AND INSTALLED BY THE CONTRACTOR. BACKFLOW PREVENTION SHALL MEET CITY OF WEST COLUMBIA AND SCDEHC REQUIREMENTS. BACKFLOW PREVENTION SHALL BE INSTALLED IN THE BUILDING. MAINTAIN MINIMUM 3' OF COVER OVER TOP OF PIPE.
- W15 CONTRACTOR SHALL INSTALL 1 1/2" TAP FOR PROPOSED DOMESTIC SERVICE. INSTALL 1 1/2" NUT OPERATED VALVE WITH BOX & INSTALL 1 1/2" DIAM. PVC DOMESTIC WATERLINE AS SHOWN. CONTRACTOR SHALL CONSTRUCT/INSTALL A METER BOX SIZED TO HOUSE THE 1 1/2" METER PURCHASED FROM CITY OF WEST COLUMBIA AND INSTALLED BY THE CONTRACTOR. BACKFLOW PREVENTION SHALL MEET CITY OF WEST COLUMBIA AND SCDEHC REQUIREMENTS. BACKFLOW PREVENTION SHALL BE INSTALLED IN THE BUILDING. MAINTAIN MINIMUM 3' OF COVER OVER TOP OF PIPE.
- W16 CONTRACTOR SHALL PROVIDE A 2" SERVICE FOR PROPOSED IRRIGATION SERVICE. INSTALL 2" NUT OPERATED VALVE WITH BOX & INSTALL 2" DIAM. PVC IRRIGATION WATERLINE AS SHOWN. CONTRACTOR SHALL CONSTRUCT/INSTALL A METER BOX SIZED TO HOUSE THE 2" METER PURCHASED FROM CITY OF WEST COLUMBIA AND INSTALLED BY THE CONTRACTOR. CONTRACTOR SHALL THEN CONSTRUCT/INSTALL A BACKFLOW PREVENTION BOX SIZED TO HOUSE A 2" DIAM. WATTS DOUBLE CHECK VALVE ASSEMBLY. BACKFLOW PREVENTION SHALL MEET CITY OF WEST COLUMBIA & SCDEHC REQUIREMENTS. SEE LANDSCAPE PLAN FOR CONTINUATION.
- W17 WATER LINE CROSSES PROPOSED STORM DRAINAGE LINE AT THIS LOCATION. MAINTAIN 18" MINIMUM VERTICAL SEPARATION. WATER LINE SHALL BE PLACED ABOVE STORM DRAINAGE.
- W18 WATER LINE CROSSES SANITARY SEWER LINE AT THIS LOCATION. MAINTAIN 18" MINIMUM VERTICAL SEPARATION WITH WATER ABOVE SANITARY SEWER.
- W19 CONTRACTOR SHALL FURNISH AND INSTALL 6"x6"x4" DIAMETER MJ DI TEE WITH THRUST RESTRAINT. THRUST RESTRAINT SHALL MEET CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
- W20 CONTRACTOR SHALL FURNISH AND INSTALL 4" GATE VALVE WITH BOX AS SHOWN. (TYPICAL) (SEE DETAIL)
- W21 CONTRACTOR SHALL FURNISH AND INSTALL NEW 4" DIAMETER DIP FIRE WATER MAIN. MAINTAIN A MINIMUM OF 36" OF COVER.
- W22 CONTRACTOR SHALL INSTALL 1" TAP FOR PROPOSED DOMESTIC SERVICE TO SANITARY SEWER LIFT STATION. INSTALL 1" NUT OPERATED VALVE WITH BOX & INSTALL 1" DIAM. PVC DOMESTIC WATERLINE AS SHOWN. CONTRACTOR SHALL CONSTRUCT/INSTALL A METER BOX SIZED TO HOUSE THE 1" METER PURCHASED FROM CITY OF WEST COLUMBIA AND INSTALLED BY THE CONTRACTOR. BACKFLOW PREVENTION SHALL MEET CITY OF WEST COLUMBIA AND SCDEHC REQUIREMENTS. BACKFLOW PREVENTION SHALL BE INSTALLED IN A METER BOX. MAINTAIN MINIMUM 3' OF COVER OVER TOP OF PIPE.
- W23 CONTRACTOR SHALL INSTALL FREEZE PROOF HOSE BID WITHIN LIFT STATION FENCE.
- W24 CONTRACTOR SHALL INSTALL 2-1/2" TAP FOR PROPOSED DOMESTIC SERVICE. INSTALL 2 1/2" NUT OPERATED VALVE WITH BOX & INSTALL 2 1/2" DIAM. PVC DOMESTIC WATERLINE AS SHOWN. CONTRACTOR SHALL CONSTRUCT/INSTALL A METER BOX SIZED TO HOUSE THE 2" METER PURCHASED FROM CITY OF WEST COLUMBIA AND INSTALLED BY THE CONTRACTOR. BACKFLOW PREVENTION SHALL MEET CITY OF WEST COLUMBIA AND SCDEHC REQUIREMENTS. BACKFLOW PREVENTION SHALL BE INSTALLED IN THE BUILDING. MAINTAIN MINIMUM 3' OF COVER OVER TOP OF PIPE.
- W25 BUILDING MOUNTED FIRE DEPARTMENT CONNECTION. INSTALL SIGNAGE AS NECESSARY.
- W26 CONTRACTOR SHALL FURNISH AND INSTALL 6"x4" DIAMETER MJ DI REDUCER WITH THRUST RESTRAINT. THRUST RESTRAINT SHALL MEET CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.

WATER LEGEND



NOTES TO OWNER AND CONTRACTOR:

1. THE OWNER SHALL PAY ALL TAP AND METER FEES ASSOCIATED WITH THE PROJECT TO THE CITY OF WEST COLUMBIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE PAYMENT OF THOSE FEES BETWEEN THE OWNER AND THE CITY OF WEST COLUMBIA.
2. CONTRACTOR SHALL FURNISH AND INSTALL ALL METER BOXES.
3. AT THE COMPLETION OF THE WATER SYSTEM CONSTRUCTION, THE PROJECT MUST BE GRANTED APPROVAL FROM THE CITY OF WEST COLUMBIA AND RECEIVE AN OPERATIONAL PERMIT FROM SCDEHC. IT IS IMPERATIVE THAT COX AND DINKINS, INC. RECEIVE CERTIFIED RECORD DATA FROM THE CONTRACTOR'S SOUTH CAROLINA LICENSED AND REGISTERED PROFESSIONAL LAND SURVEYOR IMMEDIATELY UPON COMPLETION OF THE WATER SYSTEM INSTALLATION. THIS INFORMATION SHALL BE PROVIDED IN A TIMELY FASHION TO ALLOW SUFFICIENT TIME FOR THE RECORD DRAWING SUBMITTAL AND APPROVAL PROCESS THROUGH THE CITY OF WEST COLUMBIA AND SCDEHC.
4. THE CONTRACTOR SHALL PROVIDE COX AND DINKINS, INC. SIGNED AND SEALED HARD COPIES OF THE CERTIFIED RECORD DRAWINGS. IN ADDITION, COX AND DINKINS, INC. SHALL RECEIVE ALL ELECTRONIC INFORMATION USED TO PREPARE THE FOREMENTIONED RECORD DRAWINGS, INCLUDING, BUT NOT LIMITED TO, THE AUTOCAD FILES AND FIELD SURVEY DATA FILE(S).
5. THE CERTIFIED RECORD DATA PROVIDED TO COX AND DINKINS, INC. SHALL INCLUDE ALL APPURTENANT ITEMS ASSOCIATED WITH THE WATER SYSTEM, INCLUDING, BUT NOT LIMITED TO, LINES, BENDS, VALVES, TAPS, HYDRANTS, REDUCERS, ETC.
6. EASEMENT DOCUMENTATION WILL BE PREPARED BY EITHER THE CITY OF WEST COLUMBIA'S LEGAL DEPARTMENT OR THE OWNER'S ATTORNEY BASED UPON THE RECORD DRAWINGS. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE WHO WILL PREPARE THE EASEMENT DOCUMENTATION. SHOULD THE EASEMENT DOCUMENTATION BE THE RESPONSIBILITY OF THE OWNER, THEIR ATTORNEY SHOULD PREPARE AND PROVIDE THE EASEMENT DOCUMENTATION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF WEST COLUMBIA.
7. THE CITY OF WEST COLUMBIA, AS COORDINATED AND ASSISTED BY THE CONTRACTOR, WILL CONDUCT THE REQUIRED TESTS ON THE WATER SYSTEM. IF DIRECTED BY THE CITY OF WEST COLUMBIA OR THE ENGINEER, THE CONTRACTOR WILL BE RESPONSIBLE FOR PERFORMING THE REQUIRED TESTING.
8. UPON APPROVAL OF THE RECORD DRAWINGS BY THE CITY OF WEST COLUMBIA, SUCCESSFUL TESTING OF THE WATER SYSTEM, AND RECEIPT OF AN APPROVAL LETTER FROM THE CITY OF WEST COLUMBIA, COX AND DINKINS, INC. WILL PREPARE AND SUBMIT THE NECESSARY PACKAGE TO SCDEHC REQUIRED FOR FINAL APPROVAL TO PLACE THE WATER SYSTEM INTO OPERATION.

WATER SYSTEM NOTES:

1. ALL MATERIALS AND INSTALLATION OF THE PROPOSED WATER SYSTEM SHALL MEET THE REQUIREMENTS AS SET FORTH BY THE CITY OF WEST COLUMBIA AND SCDEHC.
2. ALL PROPOSED DOMESTIC AND FIRE PROTECTION WATER LINES (MAINS AND SERVICES) SHALL CONFORM TO TEN STATE STANDARDS.
3. CONTRACTOR SHALL NOTIFY THE CITY OF WEST COLUMBIA 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
4. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING NECESSARY PERMITS AND LICENSES FROM THE CITY OF WEST COLUMBIA AND SCDEHC PRIOR TO COMMENCING CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL NECESSARY TESTING OF THE NEW WATER SYSTEM (MAINS AND SERVICES) ACCORDING TO THE REQUIREMENTS OF THE CITY OF WEST COLUMBIA & SCDEHC.
6. CONTRACTOR SHALL FURNISH AND INSTALL A STONE SPLASH PAD AT ALL PROPOSED HYDRANTS, OR OTHER POINTS OF DISCHARGE, PRIOR TO THE REQUIRED TESTING OF THE WATER SYSTEM.
7. CONTRACTOR SHALL FURNISH AND INSTALL SILT FENCING AND/OR OTHER SEDIMENT AND EROSION CONTROL DEVICES, AS NECESSARY, TO CONTROL AND LIMIT, TO THE MAXIMUM EXTENT POSSIBLE, EROSION DURING INSTALLATION AND TESTING OF THE WATER SYSTEM.
8. ALL DISTURBED AREAS RESULTING FROM THE INSTALLATION OF THE PROPOSED WATER SYSTEM SHALL BE CLEANED, GRADED, AND IMMEDIATELY STABILIZED UPON COMPLETION OF THE INSTALLATION.
9. OTHER UTILITY CROSSINGS MAY EXIST THAT ARE NOT SHOWN ON THE CONSTRUCTION PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION(S) AND ELEVATION(S) OF UTILITY CROSSINGS OF BOTH EXISTING AND PROPOSED UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
10. THE CONTRACTOR SHALL MAINTAIN, PROTECT, RELOCATE, OR CONNECT ANY AND ALL OPERATING UTILITIES FOUND DURING CONSTRUCTION THAT ARE NOT SHOWN ON THIS PLAN. CONSULT THE ARCHITECT AND ENGINEER IMMEDIATELY IF UTILITIES ARE ENCOUNTERED OR DURING CONSTRUCTION THAT ARE NOT SHOWN WITHIN THESE PLANS.
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12. IF BACKFLOW PREVENTION IS LOCATED INSIDE THE PROPOSED BUILDING(S), THE CONTRACTOR SHALL REFER TO THE PLUMBING PLANS FOR MORE INFORMATION.
13. IF THE FIRE DEPARTMENT CONNECTION (FDC) IS MOUNTED ON THE EXTERIOR OF THE PROPOSED BUILDING(S), THE LOCATION SHOWN ON THE CONSTRUCTION PLANS IS APPROXIMATE. CONTRACTOR SHALL COORDINATE WITH THE ARCHITECTURAL AND PLUMBING PLANS FOR THE EXACT LOCATION(S) OF THE FDC. CONTRACTOR SHALL ENSURE THE FDC IS LOCATED WITHIN 100' OF A FIRE HYDRANT.
14. ALL PROPOSED WORK AND FURNISHED MATERIALS WITHIN STATE RIGHT-OF-WAY SHALL CONFORM TO THE APPROVED ENCROACHMENT PERMITS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TRAFFIC CONTROL MEASURES PER THE APPROVED ENCROACHMENT PERMIT(S).

COX AND DINKINS
ENGINEERS-SURVEYORS-LANDSCAPE ARCHITECTS
724 BELTLINE BLVD.
COLUMBIA, SC 29205
803.254.0518
COXANDDINKINS.COM

SOUTH CAROLINA PROFESSIONAL ENGINEER
No. 27748
3/1/2022
James M. Dinkins
LICENSED PROFESSIONAL ENGINEER No. 27748

SOUTH CAROLINA PROFESSIONAL SURVEYOR
No. C00294
COX AND DINKINS, INC.
No. C00294

CERTIFICATE OF AUTHORIZATION SEAL

NO.	DATE	DESCRIPTION
1	2/4/2022	Revise Water to Bldg 11 and 12
2	03/11/2022	REVISED PER W. COLUMBIA COMMENTS

PRIMARY PERMITEE:
TODD ANDERSEN
COLUMBIA APARTMENT
RESIDENCES, LLC
1545 PEACHTREE ST. NW, SUITE 280
ATLANTA, GA 30309
(404) 815-1234
email: tandersen@novaregroup.com

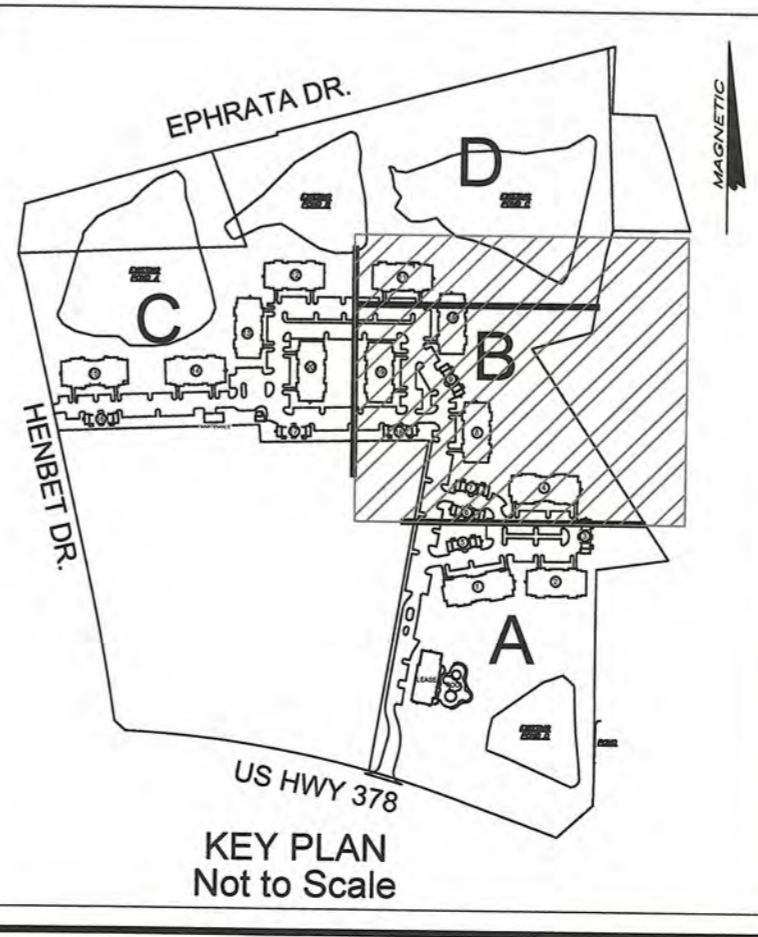
PROJECT
LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.
LOCATED IN THE CITY OF WEST COLUMBIA,
LEXINGTON COUNTY, SOUTH CAROLINA

PROJECT NO.
2238

DATE
JANUARY 14, 2022

SHEET NO.
C6B of 48

ENLARGED WATER PLAN



REFERENCES:

1. ALTANPS'S LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.

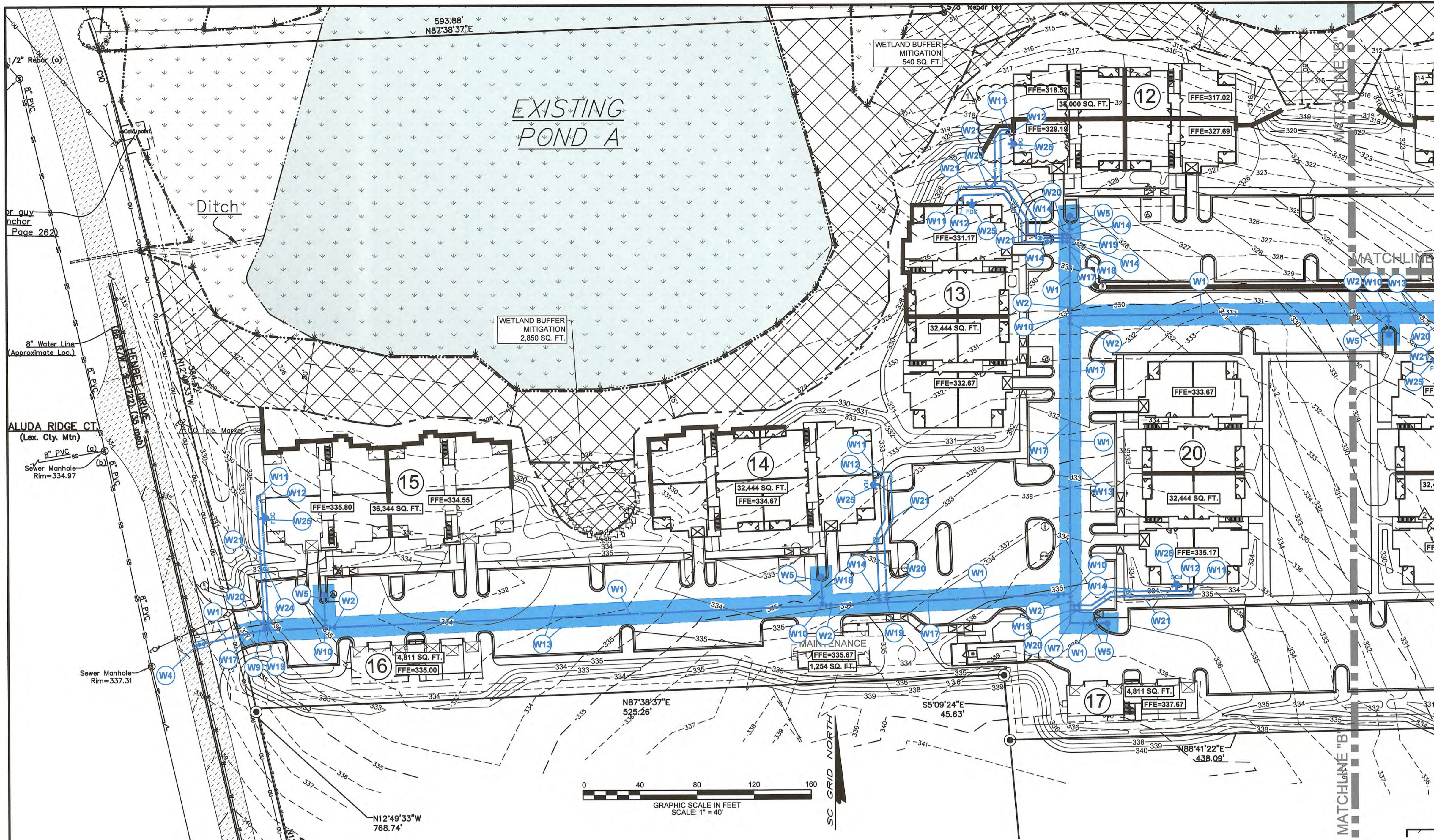
GENERAL NOTES:

1. THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27.
2. TOTAL AREA OF SUBJECT PROPERTY IS 52.95 ACRES.
3. THE SUBJECT PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27 ARE IN THE CITY OF WEST COLUMBIA AND ZONED AS "D" (DEVELOPMENT).
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6. THIS PROPERTY IS LOCATED IN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP NUMBER 45063C0144J & 45063C0163J, REVISED JULY 6, 2018, BY SCALED LOCATION AND GRAPHIC PLOTTING ONLY.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THEY AND THEIR SUBCONTRACTORS HAVE THE CORRECTMOST UP-TO-DATE PLANS AVAILABLE.
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9. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

NOTE:
INFORMATION REGARDING THE REPORTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS HAS NOT BEEN PROCESSED TO DATE AND GENERAL ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED THAT CONTRACTOR SHALL VERIFY THE LOCATION(S) AND ELEVATION(S) OF ALL UTILITIES AND STRUCTURES NOT SHOWN ON THESE PLANS MAY BE INACCURATE. THE OWNER HAS BEEN ADVISED OF THESE LIMITATIONS THAT COX AND DINKINS, INC. IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF ANY UTILITIES OR STRUCTURES NOT SHOWN ON THESE PLANS. CONTRACTOR SHALL CONTACT THE UNDERGROUND AND LOCATIONS EVERY 100 FEET FOR AN UPDATE TO UTILITY LOCATIONS.

The Palmetto Utility Protection Service, Inc.
South Carolina 811
CALL 811
3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
CONTRACTOR SHALL CONTACT THE UNDERGROUND AND LOCATIONS EVERY 100 FEET FOR AN UPDATE TO UTILITY LOCATIONS.

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CODED WATER NOTES

- W1 CONTRACTOR SHALL FURNISH AND INSTALL NEW 6" DIAMETER DIP WATER MAIN. MAINTAIN A MINIMUM OF 36" OF COVER.
- W2 CONTRACTOR SHALL FURNISH AND INSTALL 6" GATE VALVE WITH BOX AS SHOWN. (TYPICAL) (SEE DETAIL).
- W3 CONTRACTOR SHALL TAP EXISTING 12" WATER MAIN WITH A 12"x6" CITY APPROVED TAPPING SLEEVE AND VALVE WITH BOX. AFTER VALVE, CONTRACTOR SHALL CONTINUE WATER MAIN INSTALLATION AND REPAIR. COORDINATE PAVEMENT REMOVAL AND REPAIR. TAP SHALL BE MADE AFTER APPLICATION AND PAYMENT OF ALL FEES BY THE OWNER AND PER SCOTD ENCROACHMENT PERMIT.
- W4 CONTRACTOR SHALL TAP EXISTING 8" WATER MAIN WITH A 8"x6" CITY APPROVED TAPPING SLEEVE AND VALVE WITH BOX. AFTER VALVE, CONTRACTOR SHALL CONTINUE WATER MAIN INSTALLATION AS SHOWN. COORDINATE PAVEMENT REMOVAL AND REPAIR. TAP SHALL BE MADE AFTER APPLICATION AND PAYMENT OF ALL FEES BY THE OWNER AND PER SCOTD ENCROACHMENT PERMIT.
- W5 CONTRACTOR TO FURNISH AND INSTALL NEW FIRE HYDRANT ASSEMBLY ON 6" CLASS-51 ASPHALT COATED, CEMENT LINE, D.I. LEAD ASSEMBLY SHALL INCLUDE HYDRANT VALVE INSTALLATION. SEE DETAIL.
- W6 CONTRACTOR SHALL FURNISH AND INSTALL 6" DIAMETER 45° MJ DI BEND WITH THRUST RESTRAINTS MEETING CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
- W7 CONTRACTOR SHALL FURNISH AND INSTALL 6" DIAMETER 90° MJ DI BEND WITH THRUST RESTRAINTS MEETING CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
- W8 CONTRACTOR SHALL FURNISH AND INSTALL 6" DIAMETER 22-1/2° MJ DI BEND WITH THRUST RESTRAINTS MEETING CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
- W9 CONTRACTOR SHALL FURNISH AND INSTALL 6" DIAMETER 11-1/4° MJ DI BEND WITH THRUST RESTRAINTS MEETING CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
- W10 CONTRACTOR SHALL FURNISH AND INSTALL 6"x6"x6" DIAMETER MJ DI TEE WITH THRUST RESTRAINT. THRUST RESTRAINT SHALL MEET CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
- W11 APPROXIMATE LOCATION OF WHERE FIRE WATER SERVICE ENTERS THE BUILDING. SEE PLUMBING PLANS FOR CONTINUATION INTO THE BUILDING. COORDINATE WITH ARCHITECTURAL AND PLUMBING PLANS FOR EXACT LOCATION OF THE SPRINKLER RISER ROOM. BACKFLOW PREVENTION INSIDE BUILDING.
- W12 APPROXIMATE LOCATION OF WHERE DOMESTIC WATER SERVICE ENTERS THE BUILDING. SEE PLUMBING PLANS FOR CONTINUATION INTO THE BUILDING. COORDINATE WITH ARCHITECTURAL AND PLUMBING PLANS FOR EXACT LOCATION AND SIZE. BACKFLOW PREVENTION INSIDE BUILDING.
- W13 PROPOSED 15' WIDE WATER EASEMENT TO BE DEDICATED TO THE CITY OF WEST COLUMBIA UPON COMPLETION OF WATER MAIN CONSTRUCTION AND ACCEPTANCE BY THE CITY OF WEST COLUMBIA.
- W14 CONTRACTOR SHALL INSTALL 2" TAP FOR PROPOSED DOMESTIC SERVICE. INSTALL 2" NUT OPERATED VALVE WITH BOX & INSTALL 2" DIAM. PVC DOMESTIC WATERLINE AS SHOWN. CONTRACTOR SHALL CONSTRUCT/INSTALL A METER BOX SIZED TO HOUSE THE 2" METER PURCHASED FROM CITY OF WEST COLUMBIA AND INSTALLED BY THE CONTRACTOR. BACKFLOW PREVENTION SHALL MEET CITY OF WEST COLUMBIA AND SCDEH REQUIREMENTS. BACKFLOW PREVENTION SHALL BE INSTALLED IN THE BUILDING. MAINTAIN MINIMUM 3' OF COVER OVER TOP OF PIPE.
- W15 CONTRACTOR SHALL INSTALL 1 1/2" TAP FOR PROPOSED DOMESTIC SERVICE. INSTALL 1 1/2" NUT OPERATED VALVE WITH BOX & INSTALL 1 1/2" DIAM. PVC DOMESTIC WATERLINE AS SHOWN. CONTRACTOR SHALL CONSTRUCT/INSTALL A METER BOX SIZED TO HOUSE THE 1 1/2" METER PURCHASED FROM CITY OF WEST COLUMBIA AND INSTALLED BY THE CONTRACTOR. BACKFLOW PREVENTION SHALL MEET CITY OF WEST COLUMBIA AND SCDEH REQUIREMENTS. BACKFLOW PREVENTION SHALL BE INSTALLED IN THE BUILDING. MAINTAIN MINIMUM 3' OF COVER OVER TOP OF PIPE.
- W16 CONTRACTOR SHALL PROVIDE A 2" SERVICE FOR PROPOSED IRRIGATION SERVICE. INSTALL 2" NUT OPERATED VALVE WITH BOX & INSTALL 2" DIAM. PVC IRRIGATION WATERLINE AS SHOWN. CONTRACTOR SHALL CONSTRUCT/INSTALL A METER BOX SIZED TO HOUSE THE 2" METER PURCHASED FROM CITY OF WEST COLUMBIA AND INSTALLED BY THE CONTRACTOR. BACKFLOW PREVENTION SHALL MEET CITY OF WEST COLUMBIA AND SCDEH REQUIREMENTS. BACKFLOW PREVENTION SHALL BE INSTALLED IN THE BUILDING. MAINTAIN MINIMUM 3' OF COVER OVER TOP OF PIPE.
- W17 WATER LINE CROSSES PROPOSED STORM DRAINAGE LINE AT THIS LOCATION. MAINTAIN 18" MINIMUM VERTICAL SEPARATION. WATER LINE SHALL BE PLACED ABOVE STORM DRAINAGE.
- W18 WATER LINE CROSSES SANITARY SEWER LINE AT THIS LOCATION. MAINTAIN 18" MINIMUM VERTICAL SEPARATION WITH WATER ABOVE SANITARY SEWER.
- W19 CONTRACTOR SHALL FURNISH AND INSTALL 6"x4" DIAMETER MJ DI TEE WITH THRUST RESTRAINT. THRUST RESTRAINT SHALL MEET CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
- W20 CONTRACTOR SHALL FURNISH AND INSTALL 4" GATE VALVE WITH BOX AS SHOWN. (TYPICAL) (SEE DETAIL).
- W21 CONTRACTOR SHALL FURNISH AND INSTALL NEW 4" DIAMETER DIP FIRE WATER MAIN. MAINTAIN A MINIMUM OF 36" OF COVER.
- W22 CONTRACTOR SHALL INSTALL 1" TAP FOR PROPOSED DOMESTIC SERVICE TO SANITARY SEWER LIFT STATION. INSTALL 1" NUT OPERATED VALVE WITH BOX & INSTALL 1" DIAM. PVC DOMESTIC WATERLINE AS SHOWN. CONTRACTOR SHALL CONSTRUCT/INSTALL A METER BOX SIZED TO HOUSE THE 1" METER PURCHASED FROM CITY OF WEST COLUMBIA AND INSTALLED BY THE CONTRACTOR. BACKFLOW PREVENTION SHALL MEET CITY OF WEST COLUMBIA AND SCDEH REQUIREMENTS. BACKFLOW PREVENTION SHALL BE INSTALLED IN A METER BOX. MAINTAIN MINIMUM 3' OF COVER OVER TOP OF PIPE.
- W23 CONTRACTOR SHALL INSTALL FREEZE PROOF HOSE BID WITHIN LIFT STATION FENCE.
- W24 CONTRACTOR SHALL INSTALL 2-1/2" TAP FOR PROPOSED DOMESTIC SERVICE. INSTALL 2 1/2" NUT OPERATED VALVE WITH BOX & INSTALL 2 1/2" DIAM. PVC DOMESTIC WATERLINE AS SHOWN. CONTRACTOR SHALL CONSTRUCT/INSTALL A METER BOX SIZED TO HOUSE THE 2 1/2" METER PURCHASED FROM CITY OF WEST COLUMBIA AND INSTALLED BY THE CONTRACTOR. BACKFLOW PREVENTION SHALL MEET CITY OF WEST COLUMBIA AND SCDEH REQUIREMENTS. BACKFLOW PREVENTION SHALL BE INSTALLED IN THE BUILDING. MAINTAIN MINIMUM 3' OF COVER OVER TOP OF PIPE.
- W25 BUILDING MOUNTED FIRE DEPARTMENT CONNECTION. INSTALL SIGNAGE AS NECESSARY.
- W26 CONTRACTOR SHALL FURNISH AND INSTALL 6"x4" DIAMETER MJ DI REDUCER WITH THRUST RESTRAINT. THRUST RESTRAINT SHALL MEET CITY OF WEST COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.

COX AND DINKINS
ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
724 BELTLINE BLVD.
COLUMBIA, SC 29205
803.254.0518
COXANDINKINS.COM

Professional Engineer Seal for South Carolina, No. 27748, signed by Louise M. Dinkins.

Certificate of Authorization Seal for South Carolina, No. C00294, issued to COX AND DINKINS, INC.

NO.	DATE	DESCRIPTION
1	2/4/2022	Revise water to Bldgs 11 & 12
2	03/11/2022	REVISED PER W. COLUMBIA COMMENTS

PRIMARY PERMITTEE:
TODD ANDERSEN
COLUMBIA APARTMENT RESIDENCES, LLC
1545 PEACHTREE ST. NW, SUITE 260
ATLANTA, GA 30309
(404) 815-1234
email: tandersen@novaregroup.com

WATER LEGEND

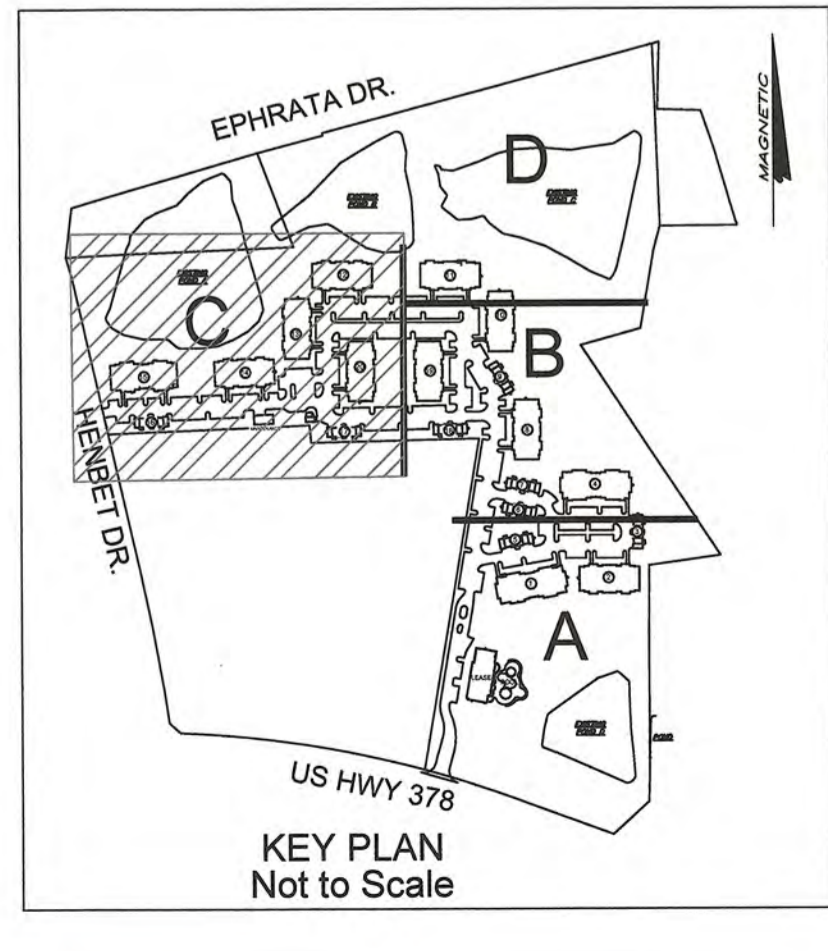
- PROPOSED WATER SERVICE
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- 15' WIDE PROPOSED WATER EASEMENT
- PROPOSED WATER METER
- PROPOSED BACKFLOW PREVENTION VAULT
- EXISTING WATER MAIN
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT

WATER SYSTEM NOTES:

- ALL MATERIALS AND INSTALLATION OF THE PROPOSED WATER SYSTEM SHALL MEET THE REQUIREMENTS AS SET FORTH BY THE CITY OF WEST COLUMBIA AND SCDEH.
- ALL PROPOSED DOMESTIC AND FIRE PROTECTION WATER LINES (MAINS AND SERVICES) SHALL CONFORM TO TEN STATE STANDARDS.
- CONTRACTOR SHALL NOTIFY THE CITY OF WEST COLUMBIA 48 HOURS PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING NECESSARY PERMITS AND LICENSES FROM THE CITY OF WEST COLUMBIA AND SCDEH PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL NECESSARY TESTING OF THE NEW WATER SYSTEM (MAINS AND/OR SERVICES) ACCORDING TO THE REQUIREMENTS OF THE CITY OF WEST COLUMBIA & SCDEH. CONTRACTOR SHALL FURNISH AND INSTALL A STONE SPLASH PAD AT ALL PROPOSED HYDRANTS, OR OTHER POINTS OF DISCHARGE, PRIOR TO THE REQUIRED TESTING OF THE WATER SYSTEM.
- CONTRACTOR SHALL FURNISH AND INSTALL SILT FENCING AND/OR OTHER SEDIMENT AND EROSION CONTROL DEVICES, AS NECESSARY, TO CONTROL AND LIMIT TO THE MAXIMUM EXTENT POSSIBLE, EROSION DURING THE INSTALLATION AND TESTING OF THE WATER SYSTEM.
- ALL DISTURBED AREAS RESULTING FROM THE INSTALLATION OF THE PROPOSED WATER SYSTEM SHALL BE CLEANED, GRADED, AND IMMEDIATELY STABILIZED UPON COMPLETION OF THE INSTALLATION.
- OTHER UTILITY CROSSINGS MAY EXIST THAT ARE NOT SHOWN ON THE CONSTRUCTION PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION(S) AND ELEVATION(S) OF UTILITY CROSSINGS OF BOTH EXISTING AND PROPOSED UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN, PROTECT, RELOCATE, OR CONNECT ANY AND ALL OPERATING UTILITIES FOUND DURING CONSTRUCTION THAT ARE NOT SHOWN ON THIS PLAN. CONSULT THE ARCHITECT AND ENGINEER IMMEDIATELY IF UTILITIES ARE ENCOUNTERED ON DURING CONSTRUCTION THAT ARE NOT SHOWN WITHIN THESE PLANS.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL FITTINGS, BENDS, ETC. AS REQUIRED TO FACILITATE AND COMPLETE THE WATER SYSTEM INSTALLATION.
- IF BACKFLOW PREVENTION IS LOCATED INSIDE THE PROPOSED BUILDING(S), THE CONTRACTOR SHALL REFER TO THE PLUMBING PLANS FOR MORE INFORMATION.
- IF THE FIRE DEPARTMENT CONNECTION (FDC) IS MOUNTED ON THE EXTERIOR OF THE PROPOSED BUILDING(S), THE LOCATION SHOWN ON THE CONSTRUCTION PLANS IS APPROXIMATE. CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND PLUMBING PLANS FOR THE EXACT LOCATION(S) OF THE FDC. CONTRACTOR SHALL ENSURE THE FDC IS LOCATED WITHIN 100' OF A FIRE HYDRANT.
- ALL PROPOSED WORK AND FURNISHED MATERIALS WITHIN COUNTY RIGHT-OF-WAY SHALL CONFORM TO THE APPROVED ENCROACHMENT PERMIT(S). CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TRAFFIC CONTROL MEASURES PER THE APPROVED ENCROACHMENT PERMIT(S).

NOTES TO OWNER AND CONTRACTOR:

- THE OWNER SHALL PAY ALL TAP AND METER FEES ASSOCIATED WITH THE PROJECT TO THE CITY OF WEST COLUMBIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE PAYMENT OF THOSE FEES BETWEEN THE OWNER AND THE CITY OF WEST COLUMBIA.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL METER BOXES.
- AT THE COMPLETION OF THE WATER SYSTEM CONSTRUCTION, THE PROJECT MUST BE GRANTED APPROVAL FROM THE CITY OF WEST COLUMBIA AND RECEIVE AN OPERATIONAL PERMIT FROM SCDEH. IT IS IMPERATIVE THAT COX AND DINKINS, INC. RECEIVE CERTIFIED RECORD DATA FROM THE CONTRACTOR'S SOUTH CAROLINA LICENSED AND REGISTERED PROFESSIONAL LAND SURVEYOR IMMEDIATELY UPON COMPLETION OF THE WATER SYSTEM INSTALLATION. THIS INFORMATION SHALL BE PROVIDED IN A TIMELY FASHION TO ALLOW SUFFICIENT TIME FOR THE RECORD DRAWING SUBMITTAL AND APPROVAL PROCESS THROUGH THE CITY OF WEST COLUMBIA AND SCDEH.
- THE CONTRACTOR SHALL PROVIDE COX AND DINKINS, INC. SIGNED AND SEALED HARD COPIES OF THE CERTIFIED RECORD DRAWINGS. IN ADDITION, COX AND DINKINS, INC. SHALL RECEIVE ALL ELECTRONIC INFORMATION USED TO PREPARE THE AFOREMENTIONED RECORD DRAWINGS, INCLUDING, BUT NOT LIMITED TO, THE AUTOCAD FILES AND FIELD SURVEY DATA FILES.
- THE CERTIFIED RECORD DATA PROVIDED TO COX AND DINKINS, INC. SHALL INCLUDE ALL APPURTENANT ITEMS ASSOCIATED WITH THE WATER SYSTEM, INCLUDING, BUT NOT LIMITED TO, LINES, BENDS, VALVES, TAPS, HYDRANTS, REDUCERS, ETC.
- EASEMENT DOCUMENTATION WILL BE PREPARED BY EITHER THE CITY OF WEST COLUMBIA'S LEGAL DEPARTMENT OR THE OWNER'S ATTORNEY BASED UPON THE RECORD DRAWINGS. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE WHO WILL PREPARE THE EASEMENT DOCUMENTATION. SHOULD THE EASEMENT DOCUMENTATION BE THE RESPONSIBILITY OF THE OWNER, THEIR ATTORNEY SHALL PREPARE AND PROVIDE THE EASEMENT DOCUMENTATION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF WEST COLUMBIA.
- THE CITY OF WEST COLUMBIA, AS COORDINATED AND ASSISTED BY THE CONTRACTOR, WILL CONDUCT THE REQUIRED TESTS ON THE WATER SYSTEM. IF DIRECTED BY THE CITY OF WEST COLUMBIA OR THE ENGINEER, THE CONTRACTOR WILL BE RESPONSIBLE FOR PERFORMING THE REQUIRED TESTING.
- UPON APPROVAL OF THE RECORD DRAWINGS BY THE CITY OF WEST COLUMBIA, SUCCESSFUL TESTING OF THE WATER SYSTEM, AND RECEIPT OF AN APPROVAL LETTER FROM THE CITY OF WEST COLUMBIA, COX AND DINKINS, INC. WILL PREPARE AND SUBMIT THE NECESSARY PACKAGE TO SCDEH REQUIRED FOR FINAL APPROVAL TO PLACE THE WATER SYSTEM INTO OPERATION.



REFERENCES:

- REFERENCES
- ALTANSPS LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.

GENERAL NOTES:

- THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27.
- TOTAL AREA OF SUBJECT PROPERTY IS 62.95 ACRES.
- THE SUBJECT PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27 ARE IN THE CITY OF WEST COLUMBIA AND ZONED AS "D (DEVELOPMENT)".
- CONTOUR INTERVAL ELEVATIONS ARE ONE (1) FOOT. ELEVATIONS SHOWN ARE NAVD 88 DATUM.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. THE LOCATIONS OF OTHER UNDERGROUND UTILITIES AND THEIR SERVICES ARE UNKNOWN. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
- THIS PROPERTY IS LOCATED IN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP NUMBER 45063C0144J & 45063C0163J, REVISED JULY 5, 2018, BY SCALED LOCATION AND GRAPHIC PLOTTING ONLY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THEY AND THEIR SUBCONTRACTORS HAVE THE CORRECTMOST UP-TO-DATE PLANS AVAILABLE.
- ALL SIDEWALKS, STRIPING AND SIGNAGE SHALL BE ADA AND MUTCD COMPLIANT.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

PROJECT: LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.

LOCATED IN THE CITY OF WEST COLUMBIA,
LEXINGTON COUNTY, SOUTH CAROLINA

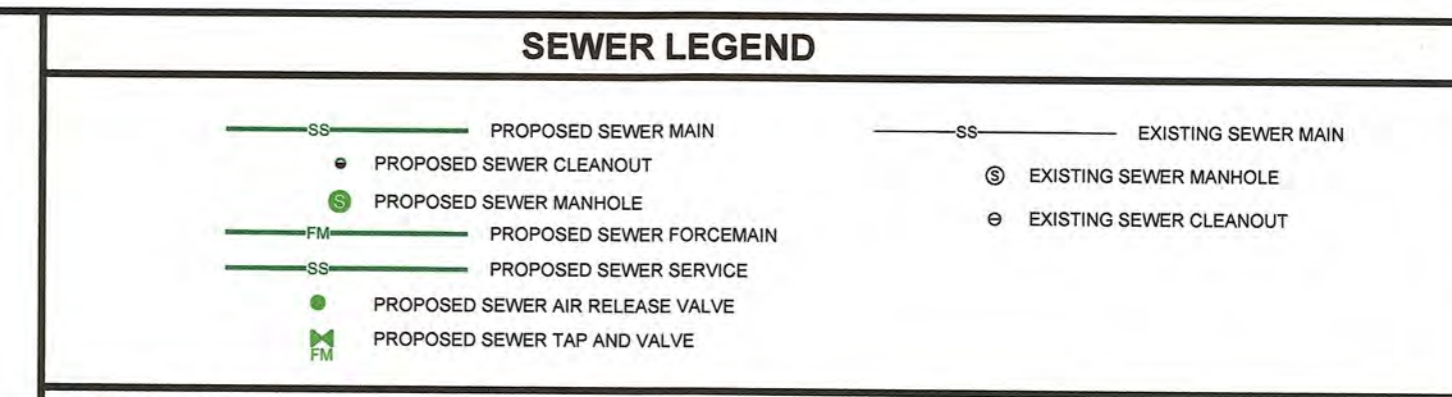
PROJECT NO. 2238
BOOK 68G-42
DATE JANUARY 14, 2022
SHEET NO. **C6C** of 48

ENLARGED WATER PLAN

PROJECT: LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.
LOCATED IN THE CITY OF WEST COLUMBIA,
LEXINGTON COUNTY, SOUTH CAROLINA

PROJECT NO. 2238
BOOK 68G-42
DATE JANUARY 14, 2022
SHEET NO. **C6C** of 48

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- ### SANITARY SEWER SYSTEM NOTES:
- ALL MATERIALS AND INSTALLATION OF THE PROPOSED SANITARY SEWER SYSTEM SHALL MEET THE REQUIREMENTS AS SET FORTH BY THE CITY OF WEST COLUMBIA AND SCDHEC.
 - ALL PROPOSED SANITARY SEWER LINES (MAINS AND SERVICES) SHALL CONFORM TO TEN STATE STANDARDS.
 - CONTRACTOR SHALL NOTIFY THE CITY OF WEST COLUMBIA AND THE ENGINEER 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR ACQUIRING NECESSARY PERMITS AND LICENSES FROM THE CITY OF WEST COLUMBIA AND SCDHEC PRIOR TO COMMENCING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND/OR PERFORMING ALL NECESSARY TESTING OF THE NEW SANITARY SEWER SYSTEM (MAINS AND/OR SERVICES) ACCORDING TO THE REQUIREMENTS OF THE CITY OF WEST COLUMBIA AND SCDHEC. AT A MINIMUM, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESSURE TESTING ALL MAINS AND SERVICES IN THE PRESENCE OF THE ENGINEER AND A REPRESENTATIVE OF THE CITY OF WEST COLUMBIA.
 - CONTRACTOR SHALL FURNISH AND INSTALL SILT FENCING AND/OR OTHER SEDIMENT AND EROSION CONTROL DEVICES, AS NECESSARY, TO CONTROL AND LIMIT, TO THE MAXIMUM EXTENT POSSIBLE, EROSION DURING THE INSTALLATION OF THE SANITARY SEWER SYSTEM. GRADED, AND IMMEDIATELY STABILIZED UPON COMPLETION OF THE INSTALLATION.
 - OTHER UTILITY CROSSINGS MAY EXIST THAT ARE NOT SHOWN ON THE CONSTRUCTION PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATIONS AND ELEVATIONS OF UTILITY CROSSINGS OF BOTH EXISTING AND PROPOSED UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
 - THE CONTRACTOR SHALL MAINTAIN, PROTECT, RELOCATE, OR CONNECT ANY AND ALL OPERATING UTILITIES FOUND DURING CONSTRUCTION THAT ARE NOT SHOWN ON THIS PLAN. CONSULT THE ARCHITECT AND ENGINEER IMMEDIATELY IF UTILITIES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT SHOWN WITHIN THESE PLANS.
 - CONTRACTOR SHALL FURNISH AND INSTALL ALL FITTINGS AND JOISTS, ETC. AS REQUIRED TO FACILITATE AND COMPLETE THE SANITARY SEWER SYSTEM INSTALLATION. FITTINGS SHALL BE OF SAME MATERIAL AND PRESSURE CLASS AS PIPING.
 - SANITARY SEWER PIPING SHALL BE MINIMUM SDR-35 (STANDARD DIRECT RATIO) CLASSIFICATION 30" PVC AND SHALL BE LAID WITH A MINIMUM OF 30" OF COVER FROM THE TOP OF THE PIPE TO THE FINISHED GRADE ELEVATION. WHEN COVER IS LESS THAN 30", SANITARY SEWER PIPING SHALL BE DUCTILE IRON WITH PROTECTOR 401 LINING.
 - JOINTS SHALL BE INTEGRAL BELL JOINTS WITH RUBBER GASKETS FORMED INTEGRAL TO BELLS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE SIZE, LOCATION, AND INVERT ELEVATION OF SANITARY SEWER SERVICE(S) FROM THE BUILDING(S).

- ### NOTES TO OWNER AND CONTRACTOR:
- THE OWNER SHALL PAY ALL SANITARY SEWER FEES ASSOCIATED WITH THE PROJECT TO THE CITY OF WEST COLUMBIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE PAYMENT OF THOSE FEES BETWEEN THE OWNER AND THE CITY OF WEST COLUMBIA.
 - IT IS IMPERATIVE THAT COX AND DINKINS, INC. RECEIVE CERTIFIED RECORD DATA FROM THE CONTRACTOR'S SOUTH CAROLINA LICENSED AND REGISTERED PROFESSIONAL LAND SURVEYOR IMMEDIATELY UPON COMPLETION OF THE SANITARY SEWER SYSTEM INSTALLATION. THIS INFORMATION SHALL BE PROVIDED IN A TIMELY FASHION TO ALLOW SUFFICIENT TIME FOR THE RECORD DRAWING SUBMITTAL AND APPROVAL PROCESS THROUGH THE CITY OF WEST COLUMBIA AND SCDHEC.
 - THE CONTRACTOR SHALL PROVIDE COX AND DINKINS, INC. SIGNED AND SEALED HARD COPIES OF THE CERTIFIED RECORD DRAWINGS. IN ADDITION, COX AND DINKINS, INC. SHALL RECEIVE ALL ELECTRONIC INFORMATION USED TO PREPARE THE AFORESAID RECORD DRAWINGS, INCLUDING, BUT NOT LIMITED TO, THE AUTOCAD FILE(S) AND FIELD SURVEY DATA FILE(S).
 - THE CERTIFIED RECORD DATA PROVIDED TO COX AND DINKINS, INC. SHALL INCLUDE LOCATIONS OF ALL APPURTENANT ITEMS ASSOCIATED WITH THE SANITARY SEWER SYSTEM, INCLUDING, BUT NOT LIMITED TO, LINES, MANHOLES, CLEANOUTS, SERVICE LINES, ETC.
 - THE CITY OF WEST COLUMBIA, AS COORDINATED AND ASSISTED BY THE CONTRACTOR, WILL CONDUCT THE REQUIRED TESTS ON THE SANITARY SEWER SYSTEM. IF DIRECTED BY THE CITY OF WEST COLUMBIA OR THE ENGINEER, THE CONTRACTOR WILL BE RESPONSIBLE FOR PERFORMING THE REQUIRED TESTING.
 - UPON APPROVAL OF THE RECORD DRAWINGS BY THE CITY OF WEST COLUMBIA, SUCCESSFUL TESTING OF THE SANITARY SEWER SYSTEM, AND RECEIPT OF AN APPROVAL LETTER FROM THE CITY OF WEST COLUMBIA, COX AND DINKINS, INC. WILL PREPARE AND SUBMIT THE NECESSARY PACKAGE TO SCDHEC REQUIRED FOR FINAL APPROVAL TO PLACE THE SANITARY SEWER SYSTEM INTO OPERATION.

- ### CODED SANITARY SEWER NOTES
- S1** CONTRACTOR SHALL FURNISH AND INSTALL NEW SANITARY SEWER PUMP STATION AND WET WELL PER CITY OF WEST COLUMBIA SPECIFICATIONS. SEE DETAILS.
 - S2** CONTRACTOR SHALL FURNISH AND INSTALL NEW 8" SDR 35 PVC SANITARY SEWER GRAVITY MAIN. SEE SANITARY SEWER PROFILES FOR MORE INFORMATION.
 - S3** CONTRACTOR SHALL FURNISH AND INSTALL NEW 4" C900 PVC FORCE MAIN. SEE SANITARY SEWER PROFILES FOR MORE INFORMATION.
 - S4** SANITARY SEWER LINE CROSSES STORM DRAINAGE LINE AT THIS LOCATION. SEE PROFILES.
 - S5** SANITARY SEWER LINE CROSSES WATER LINE AT THIS LOCATION. SEE PROFILES. MAINTAIN 18" MINIMUM VERTICAL SEPARATION WITH WATER ABOVE SANITARY SEWER.
 - S6** CONTRACTOR SHALL FURNISH AND INSTALL NEW 8" DUCTILE IRON PIPE WITH PROTECTOR 401 LINING SANITARY SEWER GRAVITY MAIN. SEE SANITARY SEWER PROFILES FOR MORE INFORMATION.
 - S7** CONTRACTOR SHALL FURNISH AND INSTALL NEW SANITARY SEWER CLEANOUT. USE TRAFFIC RATED MATERIALS IN PAVEMENT AREAS. (TYPICAL) (SEE DETAIL).
 - S8** APPROXIMATE LOCATION WHERE SANITARY SEWER SERVICE LINE EXITS THE BUILDING. (TYPICAL) PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF THE SEWER SERVICE STUB OUT FROM THE PROPOSED BUILDING WITH BUILDING PLUMBING AND/OR ARCHITECTURAL PLANS. ENSURE THE BUILDING STUB OUT ELEVATION AND LOCATION MATCH AND COORDINATE WITH THOSE SHOWN ON THESE PLANS OR NOTIFY THE ENGINEER IMMEDIATELY IF DISCREPANCIES ARE FOUND. CONTRACTOR TO FURNISH AND INSTALL FITTINGS AS REQUIRED TO MAKE VERTICAL TRANSITION TO CONNECT TO BUILDING SERVICE.
 - S9** CONTRACTOR SHALL FURNISH AND INSTALL 6" SDR 35 PVC SANITARY SEWER SERVICE LINE AT 1.0% MINIMUM SLOPE WITH CLEANOUTS AS SHOWN. MAINTAIN 3" MINIMUM COVER ALONG ENTIRE LENGTH OF SERVICE. (TYPICAL) WHERE COVER IS LESS THAN 3", INSTALL DUCTILE IRON PIPE WITH PROTECTOR 401 LINING.
 - S10** CONTRACTOR SHALL INSTALL 4" DR11 DUAL WALL HDPE BY DIRECTIONAL BORE UNDER WETLANDS AND EXISTING POND TO ENSURE NO DISTURBANCE OF WETLANDS. CONTRACTOR SHALL STAY AT LEAST 50' AWAY FROM WETLAND LINES WITH BORE PITS.
 - S11** CONTRACTOR SHALL INSTALL AIR RELEASE VALVE PER CITY OF WEST COLUMBIA AND SCDHEC SPECIFICATIONS AT PROPERTY LINE. SEE DETAIL.
 - S12** CONTRACTOR SHALL TAP NEW 4" C900 FORCE MAIN TO EXISTING FORCE MAIN AT THIS APPROXIMATE LOCATION. CONTRACTOR SHALL COORDINATE WITH OWNER FOR PAYMENT OF ALL APPLICABLE FEES TO THE CITY OF WEST COLUMBIA PRIOR TO MAKING THE TAP. COORDINATE TAP AND INSTALLATION WITH CITY OF WEST COLUMBIA AS REQUIRED. ALL WORK SHALL BE DONE PER THE APPROVED ENCROACHMENT.
 - S13** CONTRACTOR SHALL FURNISH AND INSTALL 4" 22-1/2° BEND 401 PROTECTO LINED THRUST RESTRAINT MEETING THE CITY OF WEST COLUMBIA AND SCDHEC REQUIREMENTS.
 - S14** CONTRACTOR SHALL FURNISH AND INSTALL 4" 45° BEND 401 PROTECTO LINED THRUST RESTRAINT MEETING THE CITY OF WEST COLUMBIA AND SCDHEC REQUIREMENTS.
 - S15** CONTRACTOR SHALL FURNISH AND INSTALL 4" DEZURIK PLUG VALVE MEETING THE CITY OF WEST COLUMBIA AND SCDHEC REQUIREMENTS.

NOTE: INFORMATION REGARDING THE REPORTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS MAY HAVE BEEN PROVIDED TO COX AND DINKINS, INC. BY THE CITY OF WEST COLUMBIA AND/OR OTHER SOURCES. COX AND DINKINS, INC. HAS CONDUCTED VISUAL SURVEYS AND HAS NO KNOWLEDGE OF ANY FACTS THAT WOULD LEAD US TO CONCLUDE THAT THE INFORMATION IS UNREASONABLY ACCURATE. OTHER UTILITIES MAY BE PRESENT ON THESE PLANS AND ARE NOT SHOWN. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. COX AND DINKINS, INC. IS NOT RESPONSIBLE FOR THE CONSEQUENCES OR EXPENSES OF THE CONSTRUCTION OF UNDERGROUND UTILITIES. CONTACT THE UTILITY OWNERS FOR LOCATION AND DEPTH INFORMATION. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

The Palmetto Utility Protection Service, Inc.
South Carolina 811
 3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
 CALL 811
 CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATIONS EVERY 25' OR MORE FOR AN UTILITY TO UTILITY LOCATION.

- ### REFERENCES:
- REFERENCES
 - ALTANSPS LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.
- ### GENERAL NOTES:
- THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27.
 - TOTAL AREA OF SUBJECT PROPERTY IS 52.95 ACRES.
 - THE SUBJECT PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27 ARE IN THE CITY OF WEST COLUMBIA AND ZONED AS "D" (DEVELOPMENT).
 - CONTOUR INTERVAL ELEVATIONS ARE ONE (1) FOOT. ELEVATIONS SHOWN ARE NAVD 88 DATUM.
 - THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. THE LOCATIONS OF OTHER UNDERGROUND UTILITIES AND THEIR SERVICES ARE UNKNOWN. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
 - THIS PROPERTY IS LOCATED IN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP NUMBER 45063C0144J & 45063C0153J, REVISED JULY 5, 2018, BY SCALED LOCATION AND GRAPHIC PLOTTING ONLY.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THEY AND THEIR SUBCONTRACTORS HAVE THE CORRECTMOST UP-TO-DATE PLANS AVAILABLE.
 - ALL SIDEWALKS, STRIPINGS AND SIGNAGE SHALL BE ADA AND MUTCD COMPLIANT.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

COX AND DINKINS
 ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
 724 BELTLINE BLVD.
 COLUMBIA, SC 29206
 803.254.0518
 COXANDINKINS.COM

Professional Engineer Seal:
 No. 27748
 3/11/2022
 James M. Dinkins
 LICENSED PROFESSIONAL ENGINEER
 No. 27748

Professional Engineer Seal:
 No. C00294
 COX AND DINKINS, INC.
 LICENSED PROFESSIONAL ENGINEER

CERTIFICATE OF AUTHORIZATION SEAL

NO.	DATE	DESCRIPTION
1	03/11/2022	Revised per West Columbia Comments.

PRIMARY PERMITTEE:
TODD ANDERSEN
 COLUMBIA APARTMENT
 RESIDENCES, LLC
 1545 PEACHTREE ST. NW, SUITE 280
 ATLANTA, GA 30309
 (404) 815-1234
 email: tandersen@novaregroup.com

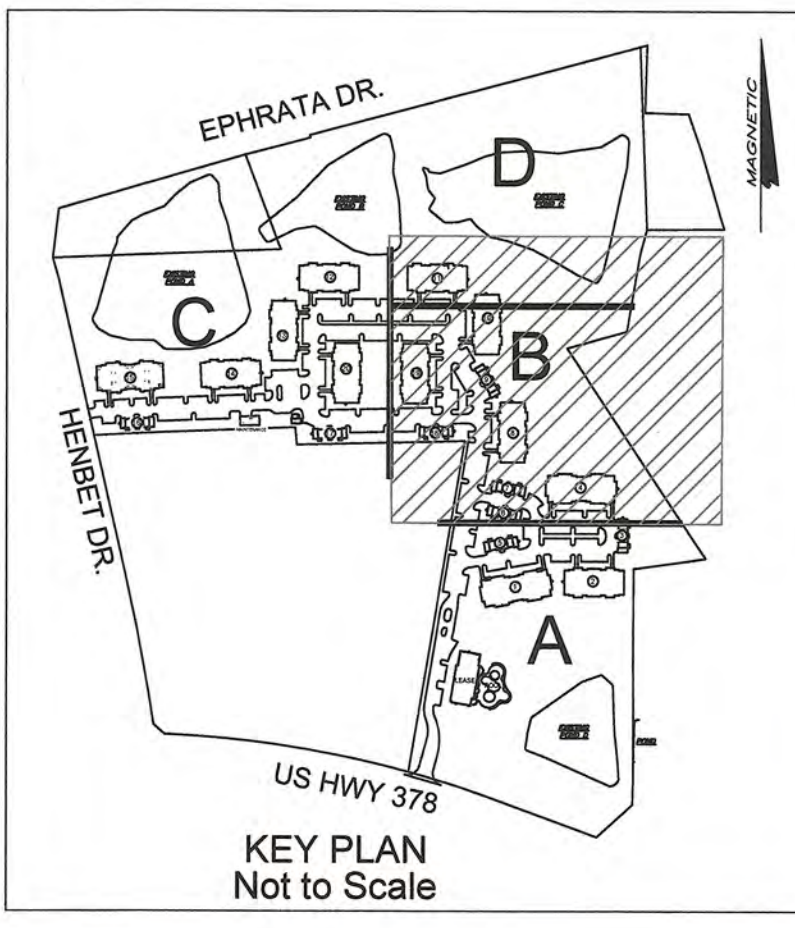
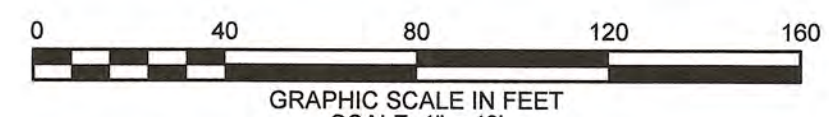
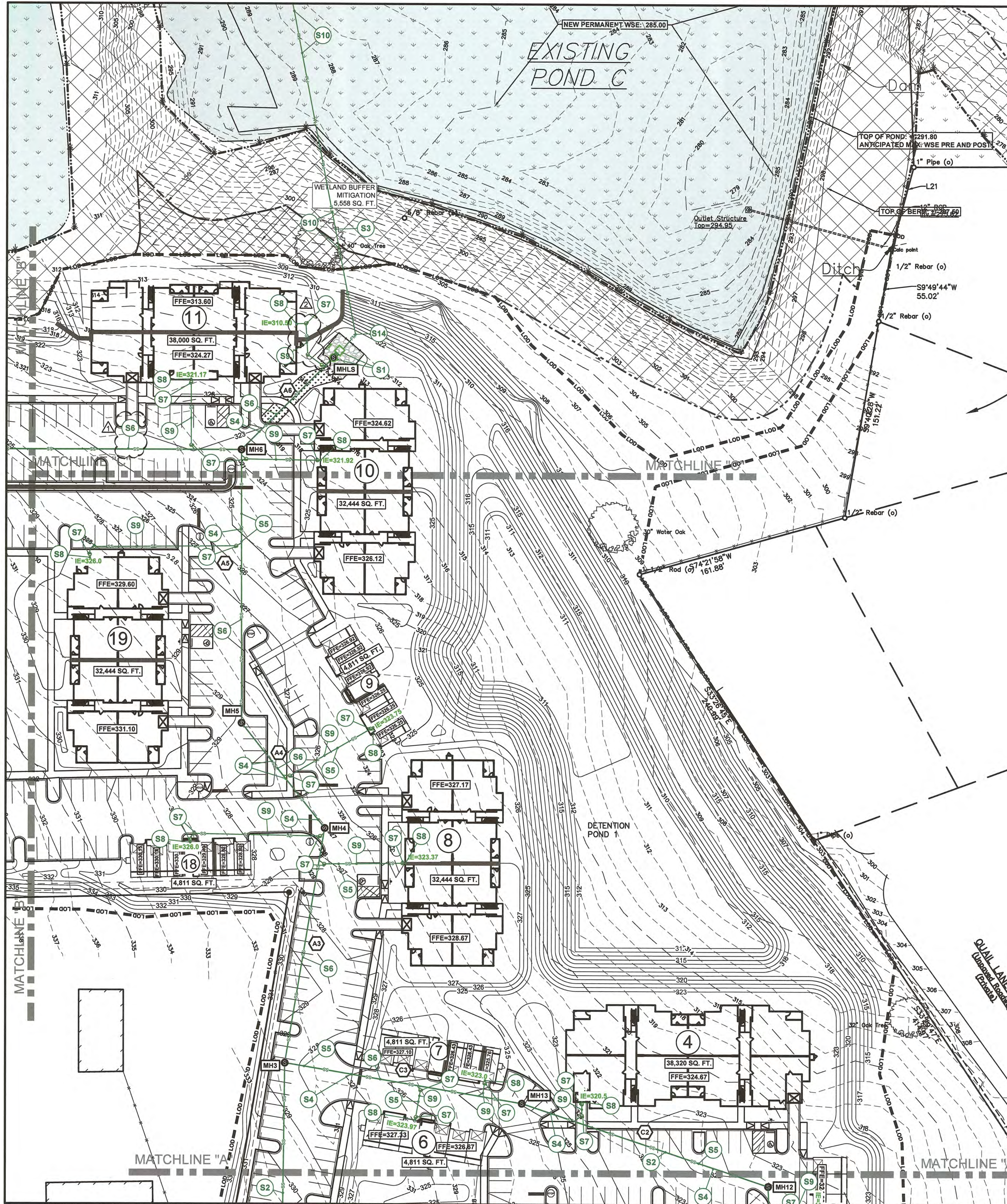
PROJECT:
 LULLWATER AT WEST COLUMBIA
 SUNSET BLVD. @ HENBET DR.
 LOCATED IN THE CITY OF WEST COLUMBIA,
 LEXINGTON COUNTY, SOUTH CAROLINA

PROJECT NO.: 2238

ENLARGED SANITARY SEWER PLAN

TMS: 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27
 BOOK: 68G-42
 DATE: JANUARY 14, 2022
 SHEET NO: **C7A** of 48

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SEWER LEGEND

	PROPOSED SEWER MAIN		EXISTING SEWER MAIN
	PROPOSED SEWER MANHOLE		EXISTING SEWER MANHOLE
	PROPOSED SEWER FORCE MAIN		EXISTING SEWER CLEANOUT
	PROPOSED SEWER SERVICE		
	PROPOSED SEWER AIR RELEASE VALVE		
	PROPOSED SEWER TAP AND VALVE		

- ### SANITARY SEWER SYSTEM NOTES:
- ALL MATERIALS AND INSTALLATION OF THE PROPOSED SANITARY SEWER SYSTEM SHALL MEET THE REQUIREMENTS AS SET FORTH BY THE CITY OF WEST COLUMBIA AND SCDEH.
 - ALL PROPOSED SANITARY SEWER LINES (MANS AND SERVICES) SHALL CONFORM TO "TEN STATE STANDARDS."
 - CONTRACTOR SHALL NOTIFY THE CITY OF WEST COLUMBIA AND THE ENGINEER 48 HOURS PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND LICENSES FROM THE CITY OF WEST COLUMBIA AND SCDEH PRIOR TO COMMENCING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND/OR PERFORMING ALL NECESSARY TESTING OF THE NEW SANITARY SEWER SYSTEM (MANS AND/OR SERVICES) ACCORDING TO THE REQUIREMENTS OF THE CITY OF WEST COLUMBIA AND SCDEH. AT A MINIMUM, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESSURE TESTING ALL MANS AND SERVICES IN THE PRESENCE OF THE ENGINEER AND A REPRESENTATIVE OF THE CITY OF WEST COLUMBIA.
 - CONTRACTOR SHALL FURNISH AND INSTALL SILT FENCING AND/OR OTHER SEDIMENT AND EROSION CONTROL DEVICES, AS NECESSARY, TO CONTROL AND LIMIT TO THE MAXIMUM EXTENT POSSIBLE, EROSION DURING THE INSTALLATION OF THE SANITARY SEWER SYSTEM.
 - ALL DISTURBED AREAS RESULTING FROM THE INSTALLATION OF THE PROPOSED SANITARY SEWER SYSTEM SHALL BE CLEANED, GRADED, AND IMMEDIATELY STABILIZED UPON COMPLETION OF THE INSTALLATION.
 - OTHER UTILITY CROSSINGS MAY EXIST THAT ARE NOT SHOWN ON THE CONSTRUCTION PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION(S) AND ELEVATION(S) OF UTILITY CROSSINGS OF BOTH EXISTING AND PROPOSED UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
 - THE CONTRACTOR SHALL MAINTAIN, PROTECT, RELOCATE, OR CONNECT ANY AND ALL OPERATING UTILITIES FOUND DURING CONSTRUCTION THAT ARE NOT SHOWN ON THIS PLAN. CONSULT THE ARCHITECT AND ENGINEER IMMEDIATELY IF UTILITIES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT SHOWN WITHIN THESE PLANS.
 - CONTRACTOR SHALL FURNISH AND INSTALL ALL FITTINGS, BENDS, ETC. AS REQUIRED TO FACILITATE AND COMPLETE THE SANITARY SEWER SYSTEM INSTALLATION. FITTINGS SHALL BE OF SAME MATERIAL AND PRESSURE CLASS AS PIPING.
 - SANITARY SEWER PIPING SHALL BE MINIMUM SDR 35 (STANDARD DIRECTION RATIO) CLASSIFICATION SDR 35 PVC AND SHALL BE LAID WITH A MINIMUM OF 30' OF COVER FROM THE TOP OF THE PIPE TO THE FINISHED GRADE ELEVATION. WHEN COVER IS LESS THAN 30', SANITARY SEWER PIPING SHALL BE DUCTILE IRON WITH PROTECTOR 401 LINING.
 - JOINTS SHALL BE INTEGRAL BELL SPIGOT WITH RUBBER GASKETS FORMED INTEGRAL TO BELLS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE SIZE, LOCATION, AND INVERT ELEVATION OF SANITARY SEWER SERVICE(S) FROM THE BUILDING(S).

- ### NOTES TO OWNER AND CONTRACTOR:
- THE OWNER SHALL PAY ALL SANITARY SEWER FEES ASSOCIATED WITH THE PROJECT TO THE CITY OF WEST COLUMBIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE PAYMENT OF THOSE FEES BETWEEN THE OWNER AND THE CITY OF WEST COLUMBIA.
 - IT IS IMPERATIVE THAT COX AND DINKINS, INC. RECEIVE CERTIFIED RECORD DATA FROM THE CONTRACTOR'S SOUTH CAROLINA LICENSED AND REGISTERED PROFESSIONAL LAND SURVEYOR IMMEDIATELY UPON COMPLETION OF THE SANITARY SEWER SYSTEM INSTALLATION. THIS INFORMATION SHALL BE PROVIDED IN A TIMELY FASHION TO ALLOW SUFFICIENT TIME FOR THE RECORD DRAWING SUBMITTAL AND APPROVAL PROCESS THROUGH THE CITY OF WEST COLUMBIA AND SCDEH.
 - THE CONTRACTOR SHALL PROVIDE COX AND DINKINS, INC. SIGNED AND SEALED HARD COPIES OF THE CERTIFIED RECORD DRAWINGS. IN ADDITION, COX AND DINKINS, INC. SHALL RECEIVE ALL ELECTRONIC INFORMATION USED TO PREPARE THE AFOREMENTIONED RECORD DRAWINGS, INCLUDING, BUT NOT LIMITED TO, THE AUTOCAD FILE(S) AND FIELD SURVEY DATA FILE(S).
 - THE CERTIFIED RECORD DATA PROVIDED TO COX AND DINKINS, INC. SHALL INCLUDE LOCATIONS OF ALL APPURTENANT ITEMS ASSOCIATED WITH THE SANITARY SEWER SYSTEM, INCLUDING, BUT NOT LIMITED TO, LINES, MANHOLES, CLEANOUTS, SERVICE LINE BENDS, ETC.
 - THE CITY OF WEST COLUMBIA, AS COORDINATED AND ASSISTED BY THE CONTRACTOR, WILL CONDUCT THE REQUIRED TESTS ON THE SANITARY SEWER SYSTEM. IF DIRECTED BY THE CITY OF WEST COLUMBIA OR THE ENGINEER, THE CONTRACTOR WILL BE RESPONSIBLE FOR PERFORMING THE REQUIRED TESTING.
 - UPON APPROVAL OF THE RECORD DRAWINGS BY THE CITY OF WEST COLUMBIA, SUCCESSFUL TESTING OF THE SANITARY SEWER SYSTEM, AND RECEIPT OF AN APPROVAL LETTER FROM THE CITY OF WEST COLUMBIA, COX AND DINKINS, INC. WILL PREPARE AND SUBMIT THE NECESSARY PACKAGE TO SCDEH REQUIRED FOR FINAL APPROVAL TO PLACE THE SANITARY SEWER SYSTEM INTO OPERATION.

- ### CODED SANITARY SEWER NOTES
- S1** CONTRACTOR SHALL FURNISH AND INSTALL NEW SANITARY SEWER PUMP STATION AND WET WELL PER CITY OF WEST COLUMBIA SPECIFICATIONS. SEE DETAILS.
 - S2** CONTRACTOR SHALL FURNISH AND INSTALL NEW 8" SDR 35 PVC SANITARY SEWER GRAVITY MAIN. SEE SANITARY SEWER PROFILES FOR MORE INFORMATION.
 - S3** CONTRACTOR SHALL FURNISH AND INSTALL NEW 4" C900 PVC FORCE MAIN. SEE SANITARY SEWER PROFILES FOR MORE INFORMATION.
 - S4** SANITARY SEWER LINE CROSSES STORM DRAINAGE LINE AT THIS LOCATION. SEE PROFILES.
 - S5** SANITARY SEWER LINE CROSSES WATER LINE AT THIS LOCATION; SEE PROFILES. MAINTAIN 18" MINIMUM VERTICAL SEPARATION WITH WATER ABOVE SANITARY SEWER.
 - S6** CONTRACTOR SHALL FURNISH AND INSTALL NEW 8" DUCTILE IRON PIPE WITH PROTECTOR 401 LINING SANITARY SEWER GRAVITY MAIN. SEE SANITARY SEWER PROFILES FOR MORE INFORMATION.
 - S7** CONTRACTOR SHALL FURNISH AND INSTALL NEW SANITARY SEWER CLEANOUT. USE TRAFFIC RATED MATERIALS IN PAVEMENT AREAS. (TYPICAL) (SEE DETAIL).
 - S8** APPROXIMATE LOCATION WHERE SANITARY SEWER SERVICE LINE EXISTS THE BUILDING. (TYPICAL) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF THE SEWER SERVICE STUB OUT FROM THE PROPOSED BUILDING WITH BUILDING PLUMBING AND/OR ARCHITECTURAL PLANS. ENSURE THE BUILDING STUB OUT ELEVATION AND LOCATION MATCH AND COORDINATE WITH THOSE SHOWN ON THESE PLANS OR NOTIFY THE ENGINEER IMMEDIATELY IF DISCREPANCIES ARE FOUND. CONTRACTOR TO FURNISH AND INSTALL FITTINGS AS REQUIRED TO MAKE VERTICAL TRANSITION TO CONNECT TO BUILDING SERVICE.
 - S9** CONTRACTOR SHALL FURNISH AND INSTALL 8" SDR 35 PVC SANITARY SEWER SERVICE LINE AT 1.0% MINIMUM SLOPE WITH CLEANOUTS AS SHOWN. MAINTAIN 3' MINIMUM COVER ALONG ENTIRE LENGTH OF SERVICE. (TYPICAL) WHERE COVER IS LESS THAN 3', INSTALL DUCTILE IRON PIPE WITH PROTECTOR 401 LINING.
 - S10** CONTRACTOR SHALL INSTALL 4" DR11 DUAL WALL HDPE BY DIRECTIONAL BORE UNDER WETLANDS AND EXISTING POND TO ENSURE NO DISTURBANCE OF WETLANDS. CONTRACTOR SHALL STAY AT LEAST 50' AWAY FROM WETLAND LINES WITH BORE PITS.
 - S11** CONTRACTOR SHALL INSTALL AIR RELEASE VALVE PER CITY OF WEST COLUMBIA AND SCDEH SPECIFICATIONS AT PROPERTY LINE. SEE DETAIL.
 - S12** CONTRACTOR SHALL TAP NEW 4" C900 FORCE MAIN TO EXISTING FORCE MAIN AT THIS APPROXIMATE LOCATION. CONTRACTOR SHALL COORDINATE WITH OWNER FOR PAYMENT OF ALL APPLICABLE FEES TO THE CITY OF WEST COLUMBIA PRIOR TO MAKING THE TAP. COORDINATE TAP AND INSTALLATION WITH CITY OF WEST COLUMBIA AS REQUIRED. ALL WORK SHALL BE DONE PER THE APPROVED ENCRoACHMENT.
 - S13** CONTRACTOR SHALL FURNISH AND INSTALL 4" 22-12 1/2" BEND 401 PROTECTO LINED THRUST RESTRAINT MEETING THE CITY OF WEST COLUMBIA AND SCDEH REQUIREMENTS.
 - S14** CONTRACTOR SHALL FURNISH AND INSTALL 4" 45° BEND 401 PROTECTO LINED THRUST RESTRAINT MEETING THE CITY OF WEST COLUMBIA AND SCDEH REQUIREMENTS.
 - S15** CONTRACTOR SHALL FURNISH AND INSTALL 4" DEZURIK PLUG VALVE MEETING THE CITY OF WEST COLUMBIA AND SCDEH REQUIREMENTS.

NOTE: INFORMATION REGARDING THE REPORTED PRESENCE, SIZE, CHARACTER AND LOCATION OF UTILITIES HAS BEEN OBTAINED FROM THE CITY OF WEST COLUMBIA AND SCDEH. THESE PLANS MAY HAVE BEEN PROVIDED TO COX AND DINKINS, INC. BY THE CITY OF WEST COLUMBIA AND SCDEH. COX AND DINKINS, INC. HAS CONDUCTED VISUAL SURVEYS AND FIELD INVESTIGATIONS TO VERIFY THE ACCURACY OF THE INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT THAT THE INFORMATION IS NOT GUARANTEED TO BE ACCURATE. COX AND DINKINS, INC. HAS CONCLUDED THAT THE INFORMATION IS NOT ACCURATE, FURTHERMORE, OTHER UTILITIES MAY BE PRESENT THAT HAVE NOT BEEN IDENTIFIED. COX AND DINKINS, INC. ENCOURAGES THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, AND OTHERS TO VERIFY THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION. COX AND DINKINS, INC. IS NOT RESPONSIBLE FOR THE CONSTRUCTION OR PERFORMANCE OF THE UNDERGROUND UTILITIES INFORMATION PROVIDED HEREON. ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS, AND IS SHOWN HEREON.

The Palmetto Utility Protection Service, Inc.
South Carolina 811
 3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
 CALL 811
 CONTRACTOR SHALL CONTACT THE ABOVE LISTED LOCATIONS EVERY 15 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

- ### REFERENCES:
- ALTANSPS LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.
- ### GENERAL NOTES:
- THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27.
 - TOTAL AREA OF SUBJECT PROPERTY IS 52.95 ACRES.
 - THE SUBJECT PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27 ARE IN THE CITY OF WEST COLUMBIA AND ZONED AS "D" DEVELOPMENT.
 - CONTOUR INTERVAL ELEVATIONS ARE ONE (1) FOOT. ELEVATIONS SHOWN ARE NAVD 88 DATUM.
 - THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. THE LOCATIONS OF OTHER UNDERGROUND UTILITIES AND THEIR SERVICES ARE UNKNOWN. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
 - THIS PROPERTY IS LOCATED IN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP NUMBER 45063C0144J & 45063C0163J, REVISED JULY 5, 2018, BY SCALD LOCATION AND GRAPHIC RATE MAP NUMBER 45063C0144J & 45063C0163J.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THEY AND THEIR SUBCONTRACTORS HAVE THE CORRECT/MOST UP-TO-DATE PLANS AVAILABLE.
 - ALL SIDEWALKS, STRIPING AND SIGNAGE SHALL BE ADA AND MUTCD COMPLIANT.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

COX AND DINKINS
 ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
 724 BELTLINE BLVD.
 COLUMBIA, SC 29205
 803.254.0518
 COXANDINKINS.COM

SOUTH CAROLINA
 PROFESSIONAL ENGINEER
 No. 27748
 3/11/2022
 LAURA M. BAKER
 LICENSED PROFESSIONAL ENGINEER
 No. 27748

COX AND DINKINS, INC.
 No. C00294
 CERTIFICATE OF AUTHORIZATION SEAL

REVISIONS	DESCRIPTION
No.	DATE
1	01/18/2022
2	2/4/2022
3	03/11/2022

DESCRPTION
 Revise Sewer Line B4
 Add Sewer Service to Bldg 11.
 Revised per West Columbia Comments.

PRIMARY PERMITTEE:
TODD ANDERSEN
 COLUMBIA APARTMENT
 RESIDENCES, LLC
 1545 PEACHTREE ST. NW, SUITE 280
 ATLANTA, GA 30309
 (404) 815-1234
 email: tandersen@novaregroup.com

PROJECT
LULLWATER AT WEST COLUMBIA
SUNSET BLVD. @ HENBET DR.
 LOCATED IN THE CITY OF WEST COLUMBIA,
 LEXINGTON COUNTY, SOUTH CAROLINA

PROJECT NO.
 2238

ENLARGED SANITARY SEWER PLAN

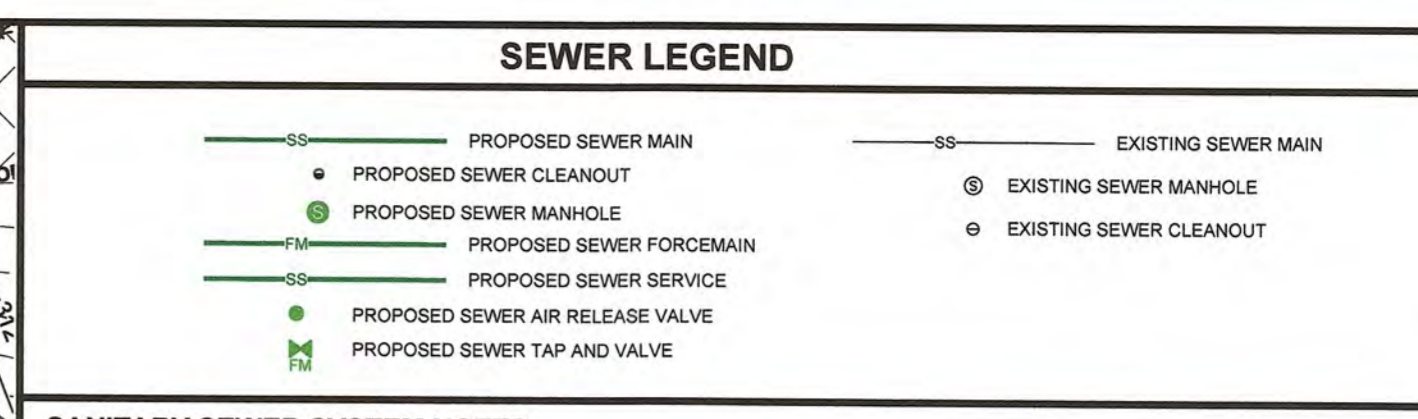
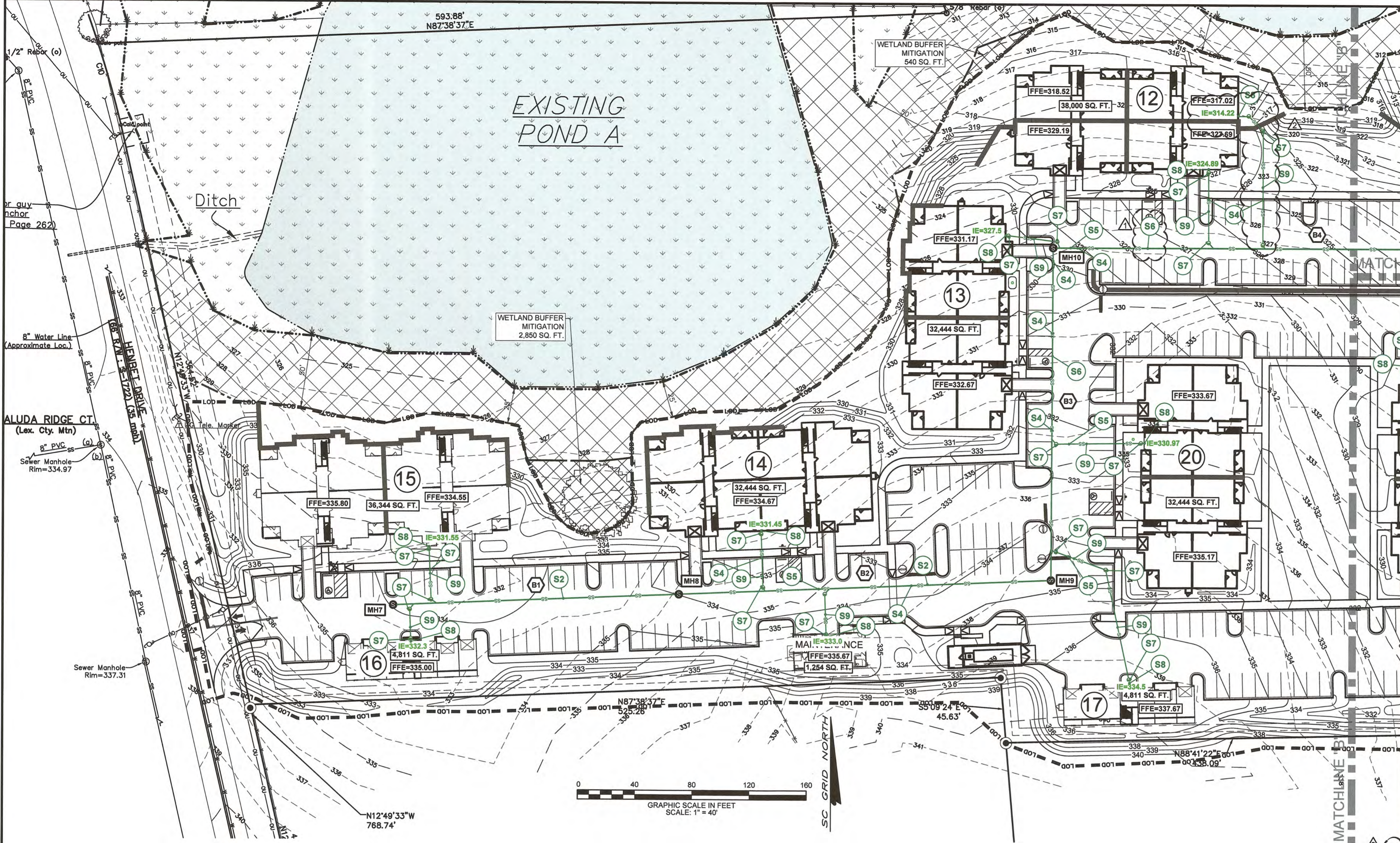
TMS 03699-03-11, 04535-01-14,
 04597-09-21, -22, -26, & -27

BOOK 68G-42

DATE JANUARY 14, 2022

SHEET NO. **C7B** of 48

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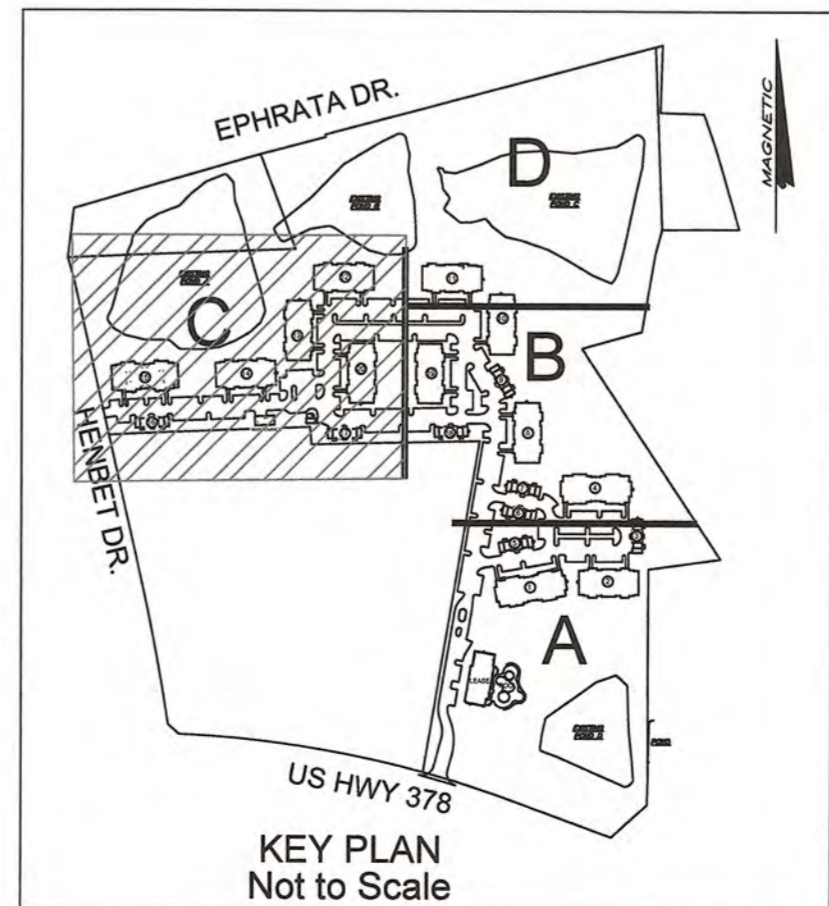


SANITARY SEWER SYSTEM NOTES: 1. ALL MATERIALS AND INSTALLATION OF THE PROPOSED SANITARY SEWER SYSTEM SHALL MEET THE REQUIREMENTS AS SET FORTH BY THE CITY OF WEST COLUMBIA AND SCDEHC.

NOTES TO OWNER AND CONTRACTOR: 1. THE OWNER SHALL PAY ALL SANITARY SEWER FEES ASSOCIATED WITH THE PROJECT TO THE CITY OF WEST COLUMBIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE PAYMENT OF THOSE FEES BETWEEN THE OWNER AND THE CITY OF WEST COLUMBIA.

CODED SANITARY SEWER NOTES

- S1 CONTRACTOR SHALL FURNISH AND INSTALL NEW SANITARY SEWER PUMP STATION AND WET WELL PER CITY OF WEST COLUMBIA SPECIFICATIONS. SEE DETAILS.
S2 CONTRACTOR SHALL FURNISH AND INSTALL NEW 8" SDR 35 PVC SANITARY SEWER GRAVITY MAIN. SEE SANITARY SEWER PROFILES FOR MORE INFORMATION.



REFERENCES:

- 1. REFERENCES: ALTANSPS LAND TITLE SURVEY PREPARED FOR FICKLING & COMPANY DATED FEBRUARY 25, 2021 BY COX AND DINKINS, INC.

GENERAL NOTES:

- 1. THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP PARCELS 03699-03-11, 04535-01-14, 04597-09-21, -22, -26, & -27.
2. TOTAL AREA OF SUBJECT PROPERTY IS 52.95 ACRES.

COX AND DINKINS ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS 724 BELTLINE BLVD. COLUMBIA, SC 29205 803.254.0518 COXANDINKINS.COM

Professional Engineer Seal for James M. Bell, License No. 27748, State of South Carolina.

Certificate of Authorization Seal for COX AND DINKINS, INC. No. C00294, State of South Carolina.

Table with columns: REVISIONS, DATE, DESCRIPTION. Includes entries for 01/18/2022, 2/4/2022, and 03/11/2022.

PRIMARY PERMITTEE: TODD ANDERSEN COLUMBIA APARTMENT RESIDENCES, LLC 1545 PEACHTREE ST. NW, SUITE 260 ATLANTA, GA 30306 (404) 815-1234 email: tandersen@novaregroup.com

PROJECT: LULLWATER AT WEST COLUMBIA SUNSET BLVD. @ HENSBET DR. LOCATED IN THE CITY OF WEST COLUMBIA, LEXINGTON COUNTY, SOUTH CAROLINA. PROJECT NO. 2238. SHEET NO. C7C of 48.

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