

OASIS @ CAPE CORAL PHASE 2

SITE DEVELOPMENT PLANS

PART OF SECTION 28, TOWNSHIP 44 SOUTH, RANGE 23 EAST
 CITY OF CAPE CORAL, FLORIDA
 PREPARED FOR: ZP NO 339, LLC

PARCEL ZONING
 PUD (ORDINANCE 31-21)

PARCEL STRAP NUMBER
 28-44-23-C4-05916.0000

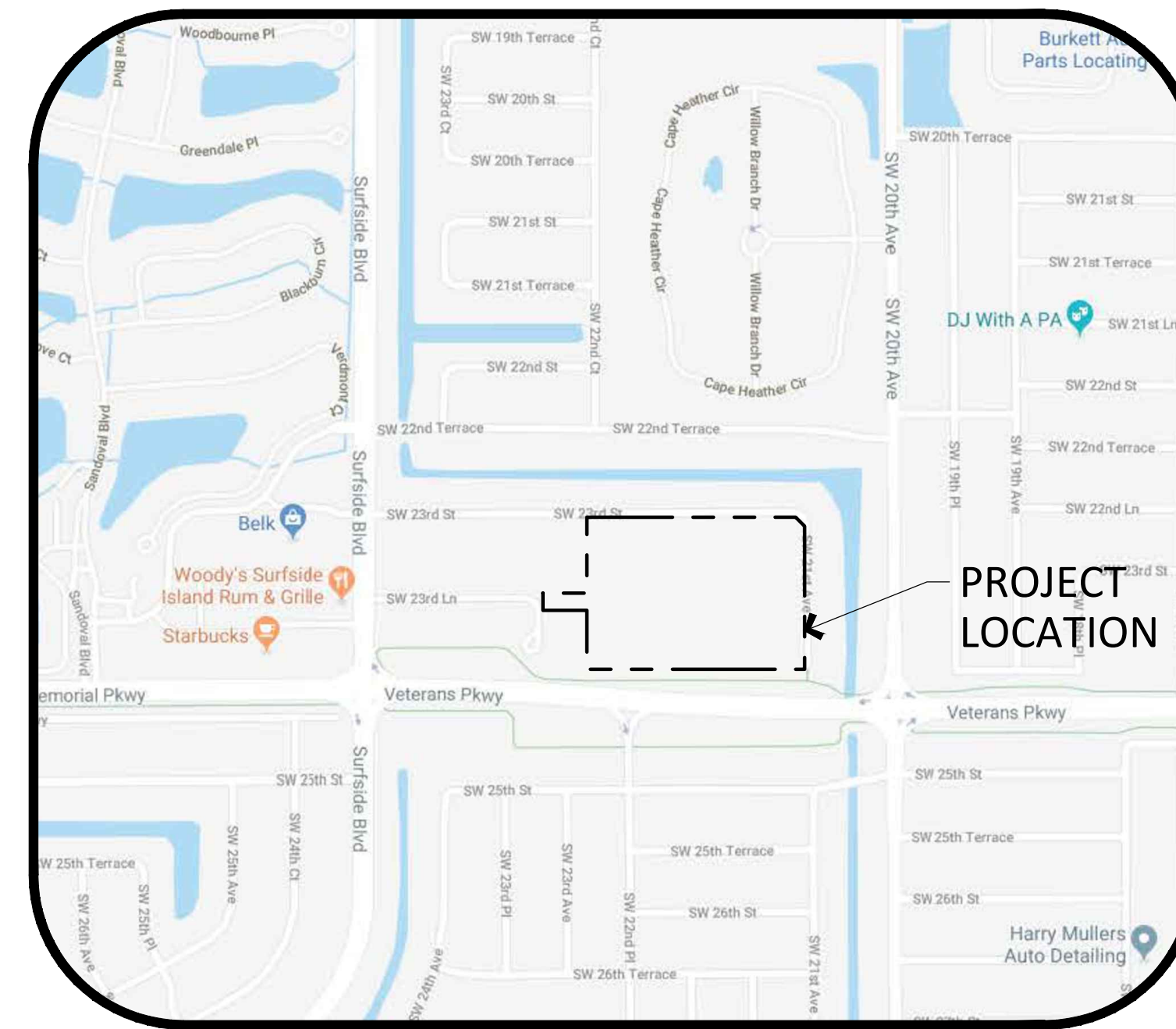
PARCEL BOUNDARY
 ±19.89 AC.

FLOOD ZONE DESIGNATION
 AE-EL7 & AE-EL8 (NAVD88)

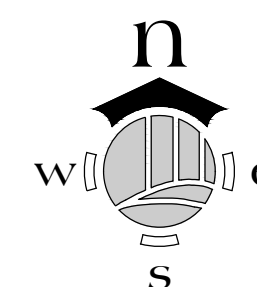
FIRE NOTE:

THE FIRE MARSHAL HAS REQUIRED, PER CODE, THAT A THIRD PARTY WILL VERIFY BEFORE (AT BUILDING PLAN REVIEW AS A MODEL) OR AFTER (PRIOR TO FIRE FINAL INSPECTION) CONSTRUCTION THAT THE BUILDING MEETS THE REQUIREMENTS OF NFAP 72 FOR RADIO SIGNAL STRENGTH. IF THE BUILDING IS NON-COMPLIANT, THE OWNER AND/OR THE CONTRACTOR IS RESPONSIBLE TO MEET THE CODE REQUIREMENTS, PER NFPA 1221, PRIOR TO THE FIRE FINAL INSPECTION.

IF THE BUILDING(S) IS NON-COMPLIANT, THE OWNER AND/OR THE CONTRACTOR IS RESPONSIBLE TO MEET THE CODE REQUIREMENTS, PER NFPA 1221, PRIOR TO THE FIRE FINAL INSPECTION.



VICINITY MAP
 N.T.S.



PLAN INDEX

SHEET NO.	DESCRIPTION
C-01	COVER SHEET, VICINITY MAP & INDEX
C-02	GENERAL NOTES
C-03	AERIAL MAP
C-04	SOILS & EXISTING CONDITIONS MAP
C-05	EROSION & SEDIMENT CONTROL PLAN
C-06	EROSION & SEDIMENT CONTROL PLAN DETAILS
C-07	PHASING PLAN
C-08	OVERALL SITE PLAN
C-09 - C-10	SITE PLAN
C-11	OVERALL PAVING, GRADING & DRAINAGE PLAN
C-12 - C-13	PAVING, GRADING & DRAINAGE PLAN
C-14	TYPICAL SECTIONS
C-15	PAVING, GRADING & DRAINAGE DETAILS
C-16	FDOT DETAILS
C-17 - C-18	UTILITY PLAN
C-19 - C-21	UTILITY DETAILS
C-22	OFFSITE IMPROVEMENTS
C-23 - C-24	OFFSITE IMPROVEMENTS CROSS SECTIONS

SITE PERMIT PLAN SET

CERTIFICATION BY ENGINEER

THIS DOCUMENT IS SIGNED AND SEALED TO SECURE THE DATA IN THE PERMIT APPLICATION AND ANY REFERENCED SHEETS THAT WERE SUBMITTED ELECTRONICALLY AS DESCRIBED IN FLORIDA ADMINISTRATIVE CODE (PROCEDURES FOR SIGNING AND SEALING ELECTRONICALLY TRANSMITTED PLANS, SPECIFICATIONS, REPORTS OR OTHER DOCUMENTS) FOR THE APPLICABLE REGISTERED PROFESSIONAL REGULATORY BOARD. SHEETS INCLUDE: C-01 - C-03, C-05 - C-15, C-17, C-18 AND C-22

THE SEAL APPEARING ON THIS DOCUMENT IS AUTHORIZED BY:
 REGISTERED PROFESSIONAL: JASON E. TOMASSETTI
 LICENSE: 66263
 DATE: 4-15-22
 REGISTERED PROFESSIONAL COMPANY: ENSITE, INC.

JASON E. TOMASSETTI, PE
 FL License No. 66263

NO.	REVISION	DATE	DESCRIPTION
R1	PER CITY COMMENTS	10-28-21	
R2	PER CITY COMMENTS	11-30-21	
R3	PER CITY COMMENTS	2-23-22	
R4	PER CITY COMMENTS	4-15-22	

DATE:	8-20-21
PROJECT NO.	1364-03
FILE NO.	1364-03 COV.dwg
SCALE:	AS SHOWN

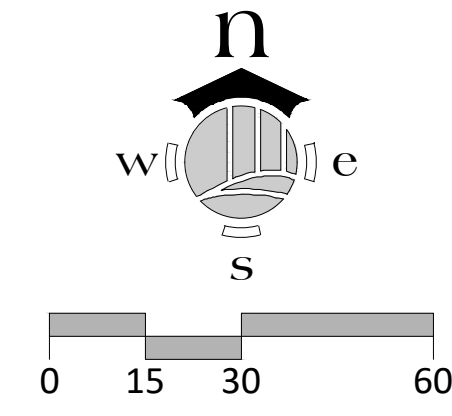
**COVER SHEET,
 VICINITY MAP &
 INDEX**

SHEET TITLE

C-01

SHEET NUMBER

DEWATERING ACTIVITIES WILL NOT BE ALLOWED WITHOUT THE REQUIRED PERMITS.



ensite
 2401 FIRST STREET, SUITE 201
 FORT MYERS, FLORIDA 33901
 PH: (239)-226-0024
 EB-26544 CA-LC26000374

ZIMMER
 DEVELOPMENT COMPANY

OASIS @ CAPE CORAL PHASE 2
 CITY OF CAPE CORAL, FLORIDA

JASON E. TOMASSETTI, PE
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DATE:	8-20-21
PROJECT NO.	1364-03
FILE NO.	1364-01 AER.dwg
SCALE:	AS SHOWN

AERIAL MAP

SHEET TITLE

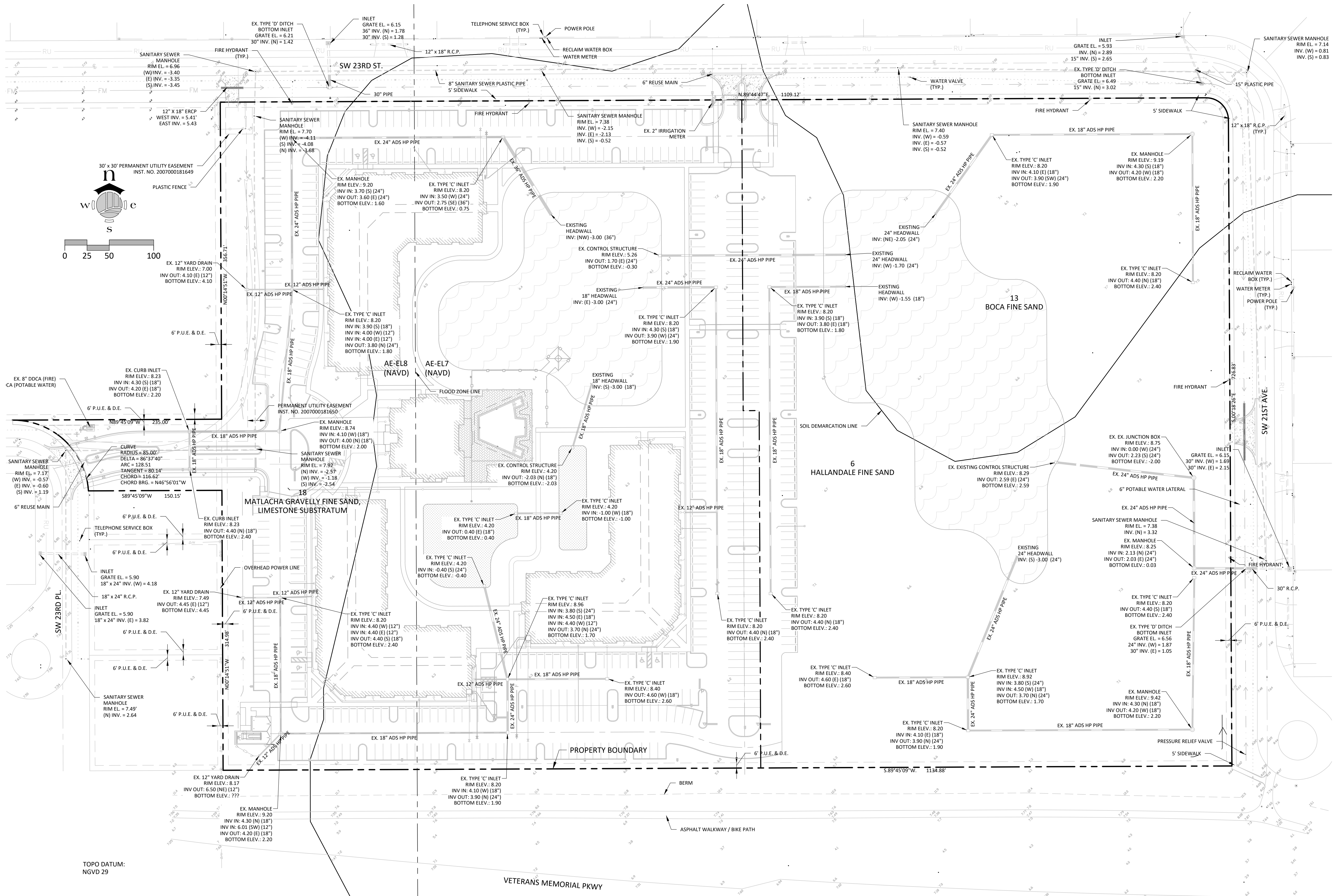
C-03

SHEET NUMBER

CLIENT NAME AND ADDRESS

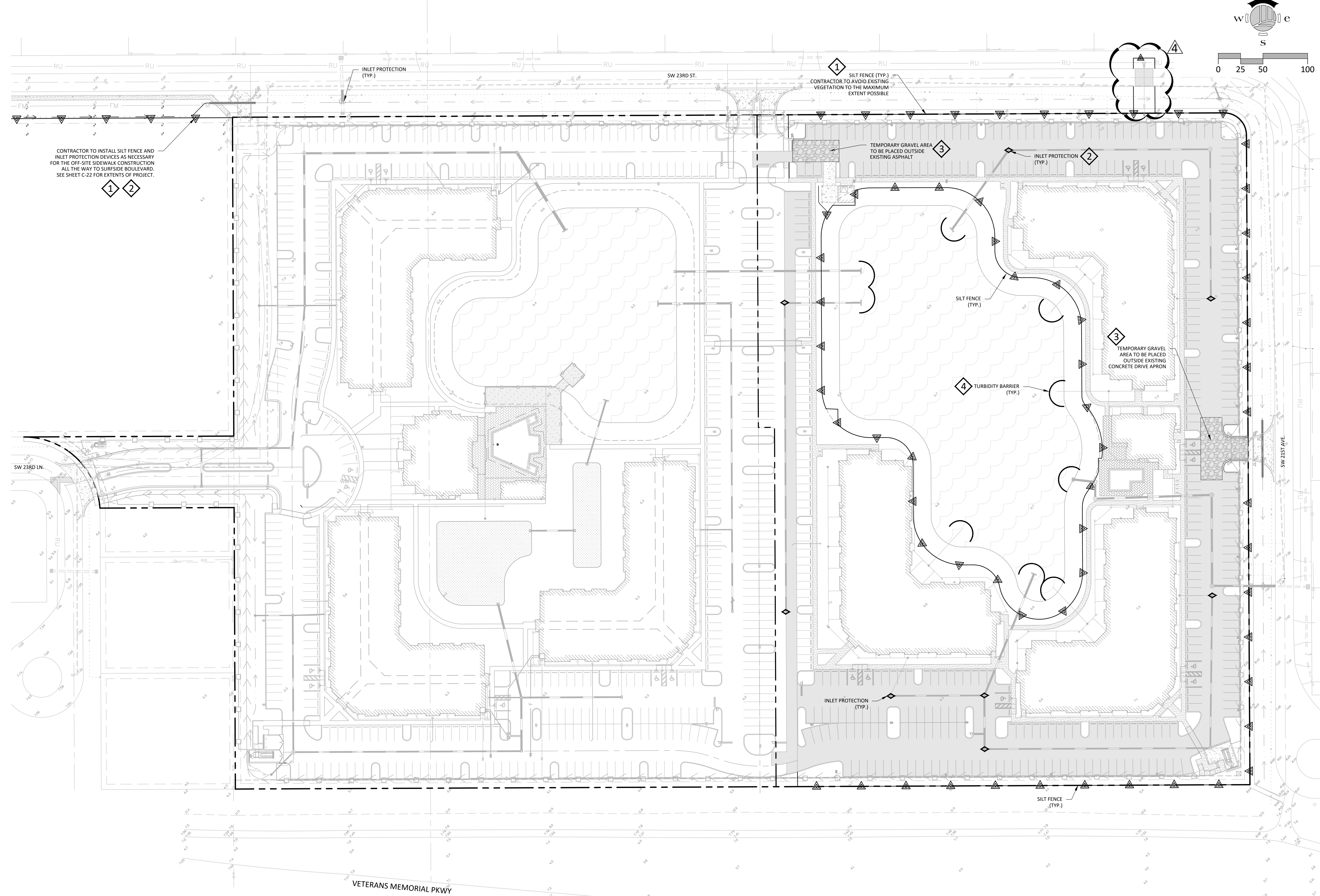
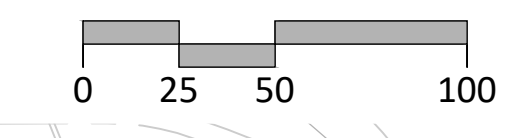
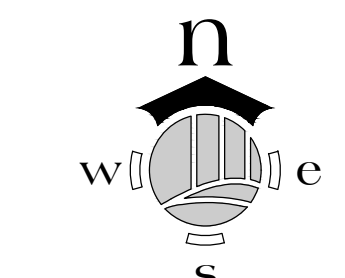
PROJECT NAME AND LOCATION

REVISIONS DESCRIPTION



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FILE NO.:	1364-03 XCM.dwg
SCALE:	AS SHOWN



CONTRACTOR TO INSTALL SILT FENCE AND INLET PROTECTION DEVICES AS NECESSARY FOR THE OFF-SITE SIDEWALK CONSTRUCTION ALL THE WAY TO SURFSIDE BOULEVARD. SEE SHEET C-22 FOR EXTENTS OF PROJECT.

1 2

1 SILT FENCE (TYP.) CONTRACTOR TO AVOID EXISTING VEGETATION TO THE MAXIMUM EXTENT POSSIBLE

3 TEMPORARY GRAVEL AREA TO BE PLACED OUTSIDE EXISTING ASPHALT

2 INLET PROTECTION (TYP.)

SILT FENCE (TYP.)

4 TURBIDITY BARRIER (TYP.)

3 TEMPORARY GRAVEL AREA TO BE PLACED OUTSIDE EXISTING CONCRETE DRIVE APRON

INLET PROTECTION (TYP.)

SILT FENCE (TYP.)

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FILE NO.:	1364-03 ECP.dwg
SCALE:	AS SHOWN

EROSION & SEDIMENT CONTROL PLAN
 SHEET TITLE

C-05
 SHEET NUMBER

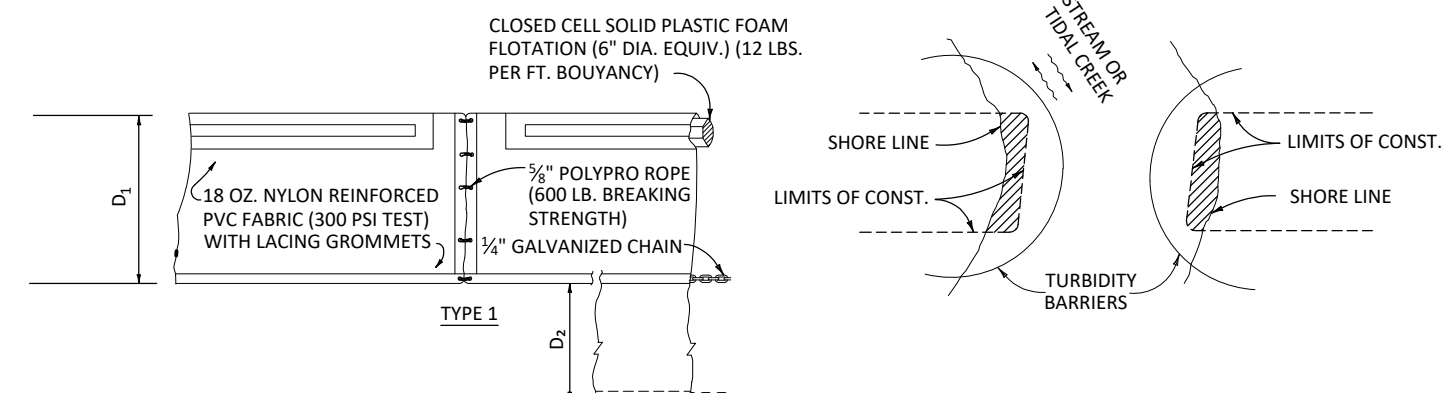
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SCALE:	AS SHOWN

EROSION & SEDIMENT CONTROL PLAN
 SHEET TITLE

C-06

SHEET NUMBER

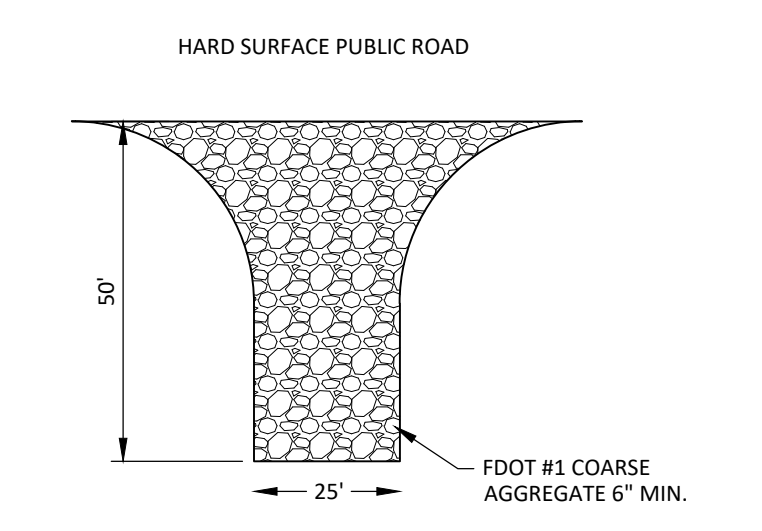


NOTES:
 1. TURBIDITY BARRIERS ARE TO BE USED IN ALL PERMANENT BODIES OF WATER REGARDLESS OF WATER DEPTH.
 2. NUMBER AND SPACING OF ANCHORS DEPENDENT ON CURRENT VELOCITIES.
 3. FOR ADDITIONAL INFORMATION SEE SECTION 104 OF THE FOOT STANDARD SPECIFICATIONS.
 4. FLOATING TURBIDITY BARRIERS ARE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR FLOATING TURBIDITY BARRIER, LF.
 5. STAKED TURBIDITY BARRIERS ARE TO BE PAID UNDER THE CONTRACT UNIT PRICE FOR STAKED TURBIDITY BARRIER, LF.

NOTE: TURBIDITY BARRIERS FOR THE FLOWING STREAMS AND TIDAL CREEKS MAY BE EITHER FLOATING, OR STAKED TYPES OR ANY COMBINATIONS OF TYPES THAT WILL SUIT SITE CONDITIONS AND MEET EROSION CONTROL AND WATER QUALITY REQUIREMENTS. THE BARRIER TYPE(S) WILL BE AT THE CONTRACTOR'S OPTION UNLESS OTHERWISE SPECIFIED IN THE PLANS. HOWEVER PAYMENT WILL BE UNDER THE PAY ITEM(S) ESTABLISHED IN THE PLANS FOR FLOATING TURBIDITY BARRIER AND/OR STAKED TURBIDITY BARRIER. POSTS IN STAKED TURBIDITY BARRIERS TO BE INSTALLED IN VERTICAL POSITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

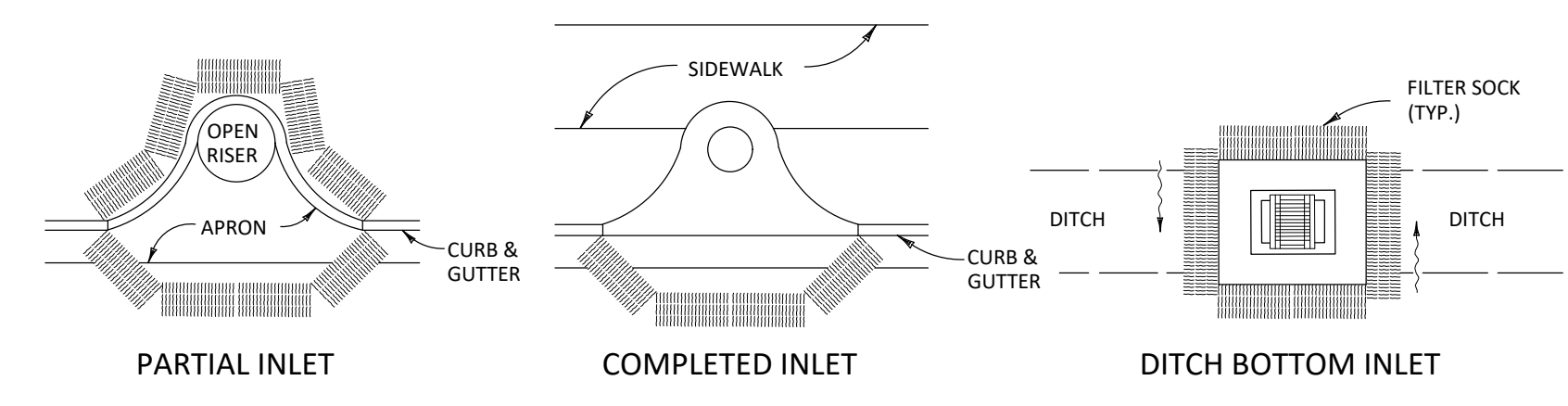
TURBIDITY BARRIER APPLICATIONS
 N.T.S.

4



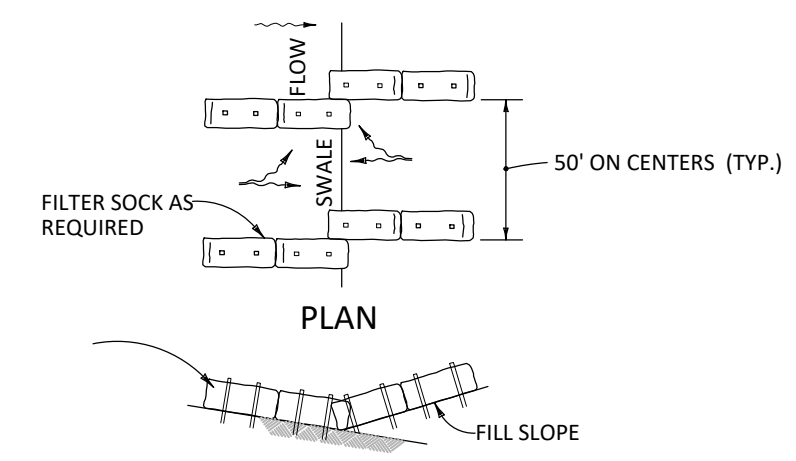
TEMPORARY GRAVEL CONST. ENTRANCE
 N.T.S.

3



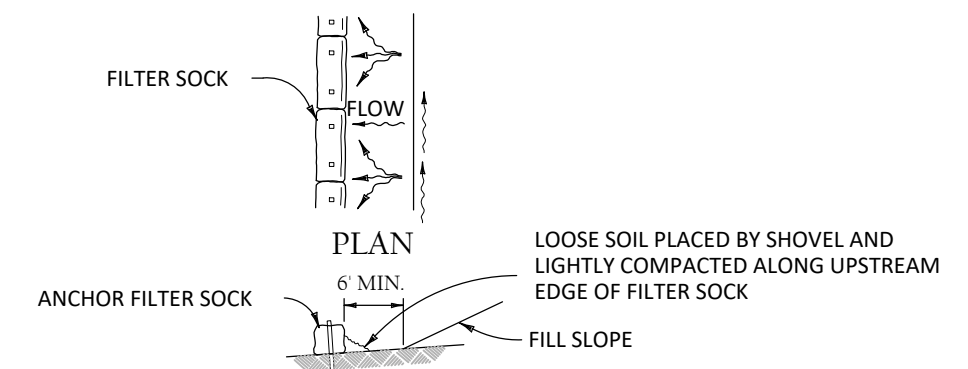
PROTECTION AROUND INLETS OR SIMILAR STRUCTURES
 N.T.S.

2



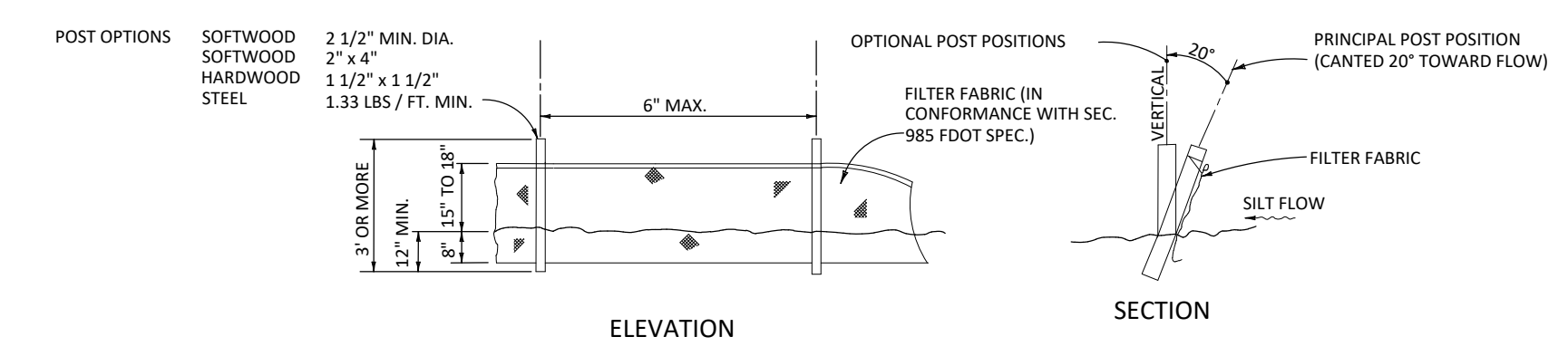
TYPE III SILT FENCE
 N.T.S.

TO BE USED AT SELECTED SITES WHERE THE NATURAL GROUND SLOPES TOWARD THE TOE OF SLOPE



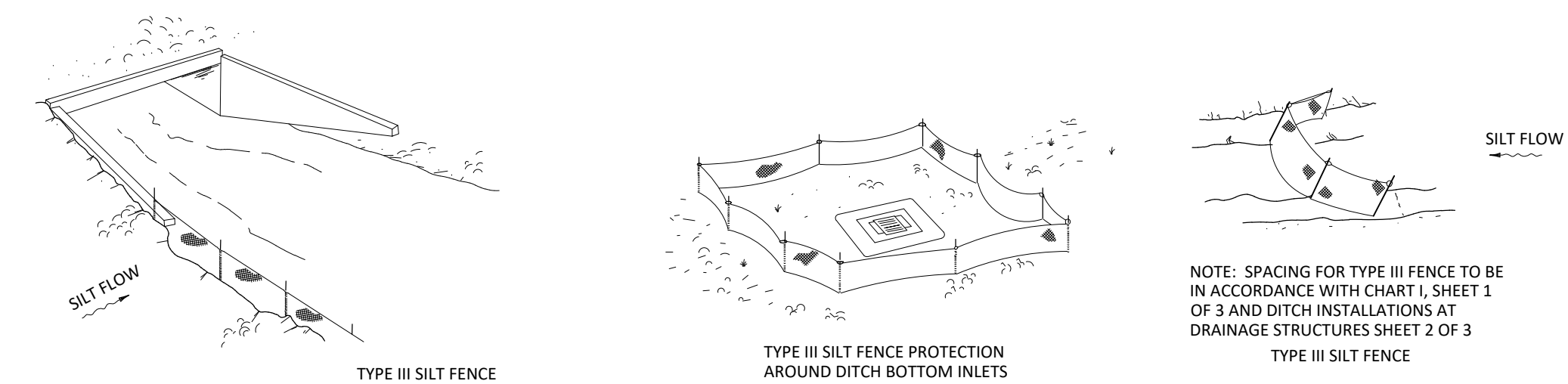
BARRIERS FOR FILL SLOPES
 N.T.S.

TO BE USED AT SELECTED SITES WHERE THE NATURAL GROUND SLOPES TOWARD THE TOE OF SLOPE



NOTE: SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (LF)

TYPE III SILT FENCE
 N.T.S.



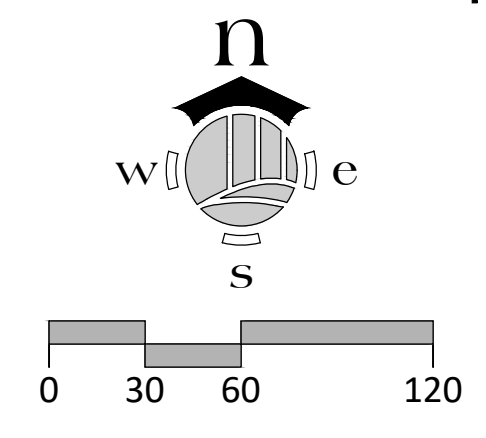
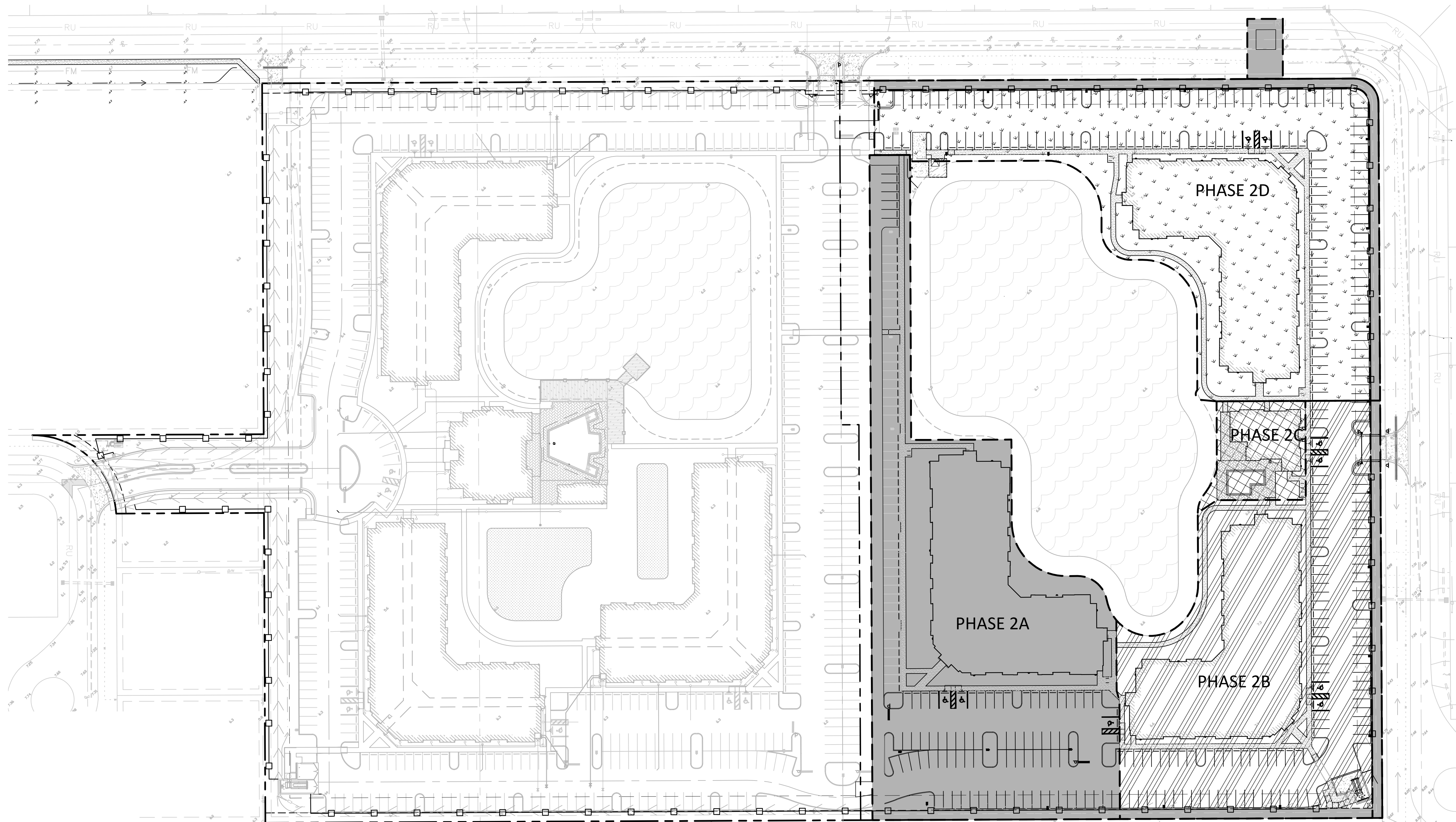
DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.

SILT FENCE APPLICATIONS
 N.T.S.

FILTER SOCK OR SILT FENCE
 N.T.S.

1

PER F.D.O.T. INDEX 102
 N.T.S.



PHASING PLAN (PHASE 2):

THE FOLLOWING PHASING IS PROPOSED TO ALLOW FOR CERTIFICATE OF OCCUPANCY FOR BUILDINGS AS THE SITE CONSTRUCTION PROGRESSES.

- PHASE 2A:**
 ALL INFRASTRUCTURE - UTILITIES & CONNECTIONS
 PERIMETER FENCE
 ACCENT TREES TO NORTH AND EASTERN BUFFER
 INTERNAL LANDSCAPING FOR AREA REPRESENTED
 BUILDING 4
 PARKING AND DRIVE TO SERVICE BUILDING 4
 SIDEWALK ALONG PARKING LOT
 MAINTENANCE BUILDING AND CAR WASH
- PHASE 2B:**
 BUILDING 5
 TRASH COMPACTOR
 INTERNAL WALKWAYS
 INTERNAL LANDSCAPING FOR AREAS REPRESENTED
 PARKING AND DRIVE AREAS REPRESENTED
 CHANGE TO CONTROL STRUCTURE LOCATION AND CONNECTION
 OFF-SITE SIDEWALK ALONG SW 23RD STREET
- PHASE 2C:**
 CLUBHOUSE AREA
 INTERNAL WALKWAYS
 LANDSCAPING FOR AREAS REPRESENTED
- PHASE 2D:**
 BUILDING 6
 INTERNAL WALKWAYS
 INTERNAL LANDSCAPING FOR AREAS REPRESENTED
 FINALIZE PARKING LOT AND CONNECTIONS
 RESIDENTIAL GATE AND EMERGENCY ACCESS GATE

PHASING PLAN (PHASE 2-PARKING):

- TOTAL UNITS = 204 (MULTI-FAMILY)
 TOTAL BEDROOMS
 1 BEDROOM (48) = 1.5 STALLS PER = 72 STALLS REQ'D
 2 BEDROOMS (108) = 2.0 STALLS PER = 216 STALLS REQ'D
 3 BEDROOMS (48) = 2.0 STALLS PER = 96 STALLS REQ'D
 TOTAL = 423 STALLS REQ'D (INCLUDES 10% FOR GUESTS)
 = 9 HANDICAP REQ'D
- PROVIDED:
 PHASE 2A = 92 EXISTING PARKING STALLS BUILT IN PHASE 1
 = 78 PROPOSED (3 HANDICAP)
- PHASE 2B = 107 PROPOSED (4 HANDICAP)
- PHASE 2C = 0 PROPOSED
- PHASE 2D = 146 PROPOSED (2 HANDICAP)

PHASING NOTES (PHASE 2):

1. SIDEWALKS LOCATED ADJACENT TO THE LAKES/WATER MANAGEMENT AREAS MAY BE BUILT IN LATER PHASES, HOWEVER AREAS SUBJECT TO C.O. REQUEST MUST HAVE SOIL STABILIZATION.
2. SOUTHEAST CORNER MONUMENT SIGN CAN BE INSTALLED IN ANY PHASE AS THEY REQUIRE A SEPARATE PERMIT AND DO NOT AFFECT SITE WORK.

PHASING LEGEND

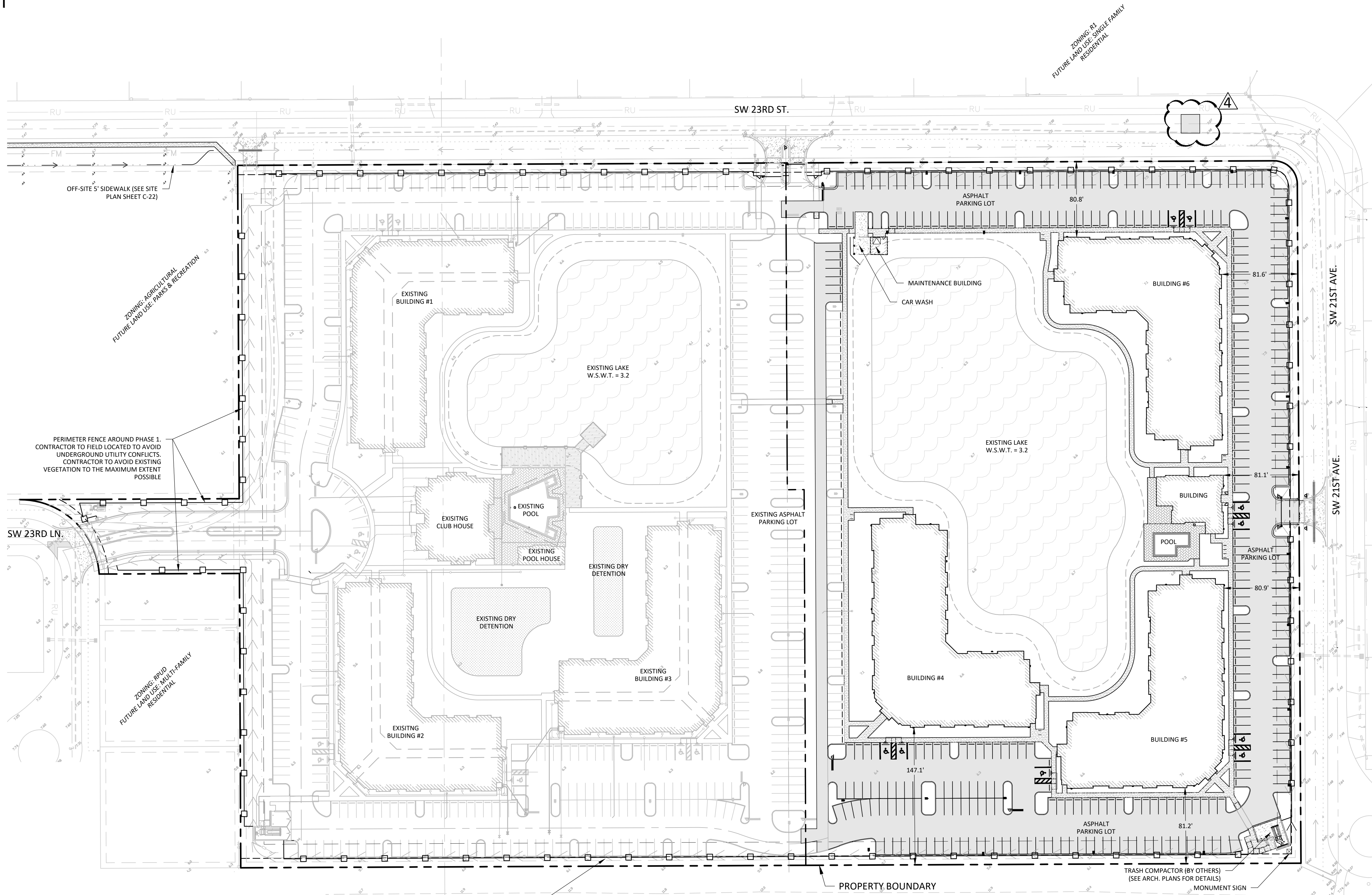
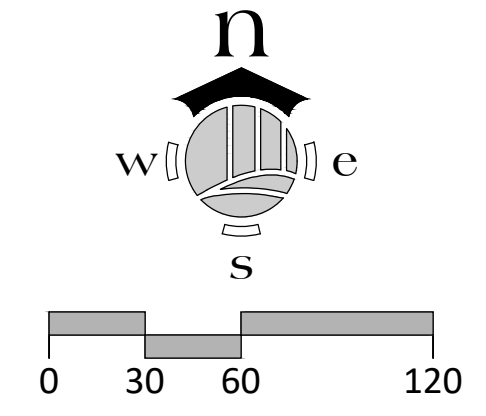
- PHASE 2A
- PHASE 2B
- PHASE 2C
- PHASE 2D

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SCALE:	AS SHOWN

PHASING PLAN
 SHEET TITLE

C-07
 SHEET NUMBER



COMMON AREA MAINTENANCE:

IT IS THE INTENT OF THE OWNER, ZP NO 339, LLC, TO OWN AND MAINTAIN ALL COMMON AREAS ON THE SUBJECT PROPERTY, INCLUDING BUT NOT LIMITED TO STORM WATER FACILITIES, PRIVATE UTILITIES, LANDSCAPING, IRRIGATION, LAKE MAINTENANCE, EXOTIC CONTROL, ETC.

PARKING CALCULATIONS: (PHASE II)

TOTAL UNITS = 204 (MULTI-FAMILY)
 TOTAL BEDROOMS
 1 BEDROOM (48) = 1.5 STALLS PER = 72 STALLS REQ'D
 2 BEDROOM (108) = 2.0 STALLS PER = 216 STALLS REQ'D
 3 BEDROOM (48) = 2.0 STALLS PER = 96 STALLS REQ'D
 TOTAL = 384 STALLS REQ'D
 +10% FOR GUESTS UP TO 50 = 39 REQ'D
 TOTAL PARKING REQUIRED = 423 REQ'D (9 HANDICAP REQ'D)
 TOTAL PARKING PROVIDED = 423 (9 HANDICAP)

LEGEND

- ASPHALT
- BRICK PAVERS
- 4" THICK CONCRETE SIDEWALK
- EXISTING 6" THICK CONCRETE SIDEWALK
- EXISTING 6" THICK CONCRETE PAVEMENT
- EXISTING LAKE
- TYPE D CURB
- TYPE F CURB

BUILDING CONSTRUCTION:

BUILDINGS 4-6, (TYPE V-A SPRINKLERED)
 CLUB HOUSE (TYPE V-B NON-SPRINKLERED)
 MAINTENANCE BUILDING (TYPE V-B NON-SPRINKLERED)

BUILDING HEIGHT:

55' (ABOVE GRADE) ALLOWED PER ORDINANCE 31-21
 BUILDINGS 4 - 6 STORIES (47'-9" TO TOP OF A PARAPET)
 CLUBHOUSE (24'-0" TO PEAK OF ROOF)
 MAINTENANCE (15'-9" TO PEAK OF ROOF)
 COMPACTOR ENCLOSURE (9'-8")

DENSITY: (ORDINANCE 31-21)

23 DU / AC. = 23 X 19.89 = 456
 PHASE 1 (EXISTING) = 228 UNITS
 PHASE 2 (PROPOSED) = 204 UNITS
 TOTAL UNITS = 432

PERIMETER FENCE AROUND PHASE 1. CONTRACTOR TO FIELD LOCATED TO AVOID UNDERGROUND UTILITY CONFLICTS. CONTRACTOR TO AVOID EXISTING VEGETATION TO THE MAXIMUM EXTENT POSSIBLE

LIVING AREA SIZES:

MIN. 1-BEDROOM SIZE = 650 S.F.
 MIN. 2-BEDROOM SIZE = 800 S.F.
 MIN. 3-BEDROOM SIZE = 950 S.F.
 PROVIDED:
 1-BEDROOM SIZE RANGE = 844 S.F.
 2-BEDROOM SIZE = 1,170 S.F.
 3-BEDROOM SIZE = 1,449 S.F.

SITE DATA TABLE: (PHASE I-EXISTING)

LAND USE TABLE:	EXISTING	PERCENT %
BUILDING	1.90 AC.	14%
PAVEMENT	5.05 AC.	36%
OPEN SPACE	3.94 AC.	28%
LAKE	2.76 AC.	20%
DRY DETENTION	0.27 AC.	2%
TOTAL	13.92 AC.	100%

SITE DATA TABLE: (PHASE II)

LAND USE TABLE:	PROPOSED	PERCENT %
BUILDING	1.75 AC.	30%
PAVEMENT	2.74 AC.	46%
OPEN SPACE	1.48 AC.	24%
LAKE	0 AC.	0%
DRY DETENTION	0 AC.	0%
TOTAL	5.97 AC.	100%

SITE DATA TABLE: (SITE BUILD-OUT)

LAND USE TABLE:	PROPOSED	PERCENT %
BUILDING	3.65 AC.	19%
PAVEMENT	7.79 AC.	39%
OPEN SPACE	5.42 AC.	27%
LAKE	2.76 AC.	14%
DRY DETENTION	0.27 AC.	1%
TOTAL	19.89 AC.	100%

PER ORDINANCE 31 - 21:
 25% OPEN SPACE REQUIRED = 4.97 ACRES
 PROVIDED OPEN SPACE (OPEN SPACE + LAKE + DRY DETENTION) = 8.45 ACRES (42%)

SETBACKS (PER ORDINANCE 31-21):

	REQUIRED	PROVIDED
FRONT (WEST)	80'	+80'
SIDE (NORTH)	80'	80.8'
SIDE (SOUTH)	80'	81.2'
REAR (EAST)	80'	80.9'

JASON E. TOMASSETTI, PE
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 FILE NO. 1364-03 OSITE.dwg
 SCALE: AS SHOWN

OVERALL SITE PLAN

SHEET TITLE
C-08
 SHEET NUMBER

DATE	REVISION	DESCRIPTION
10-28-21	R1	PER CITY COMMENTS
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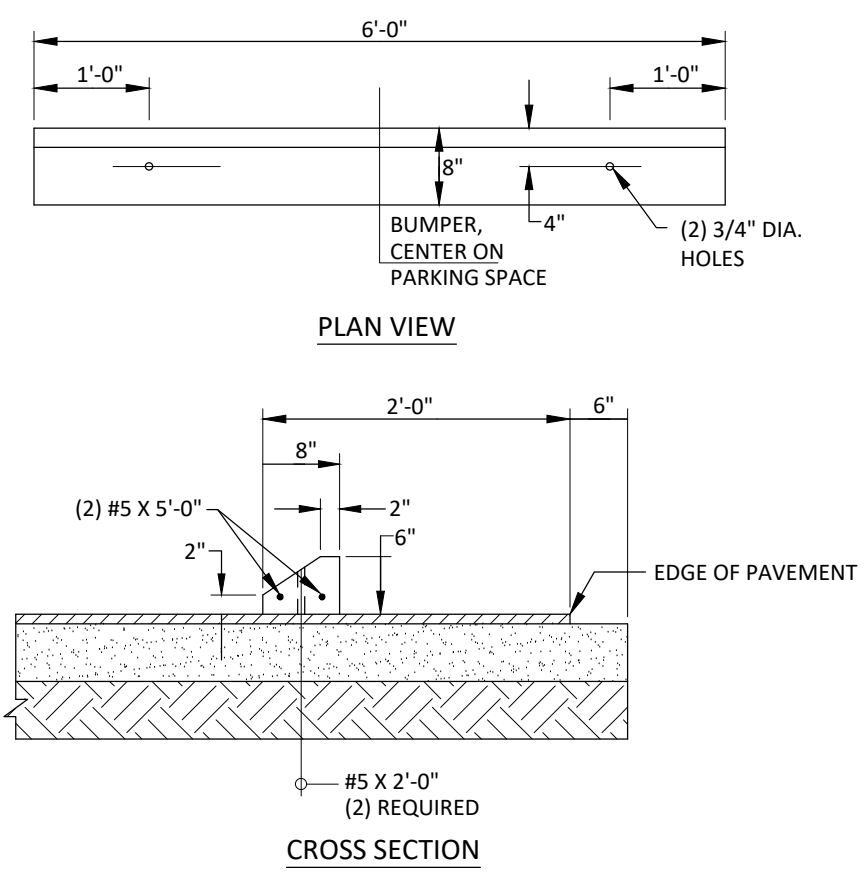
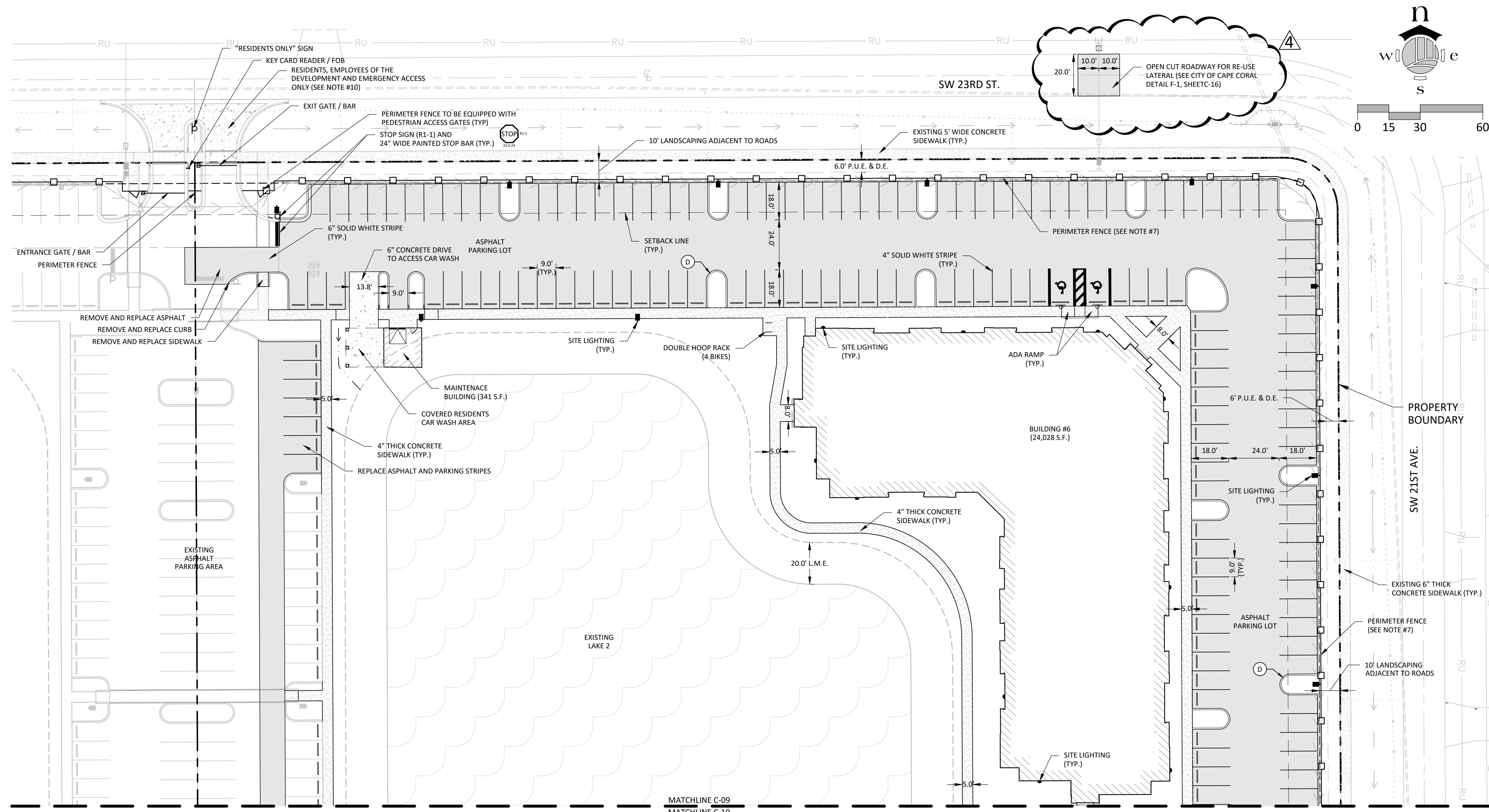
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SITE PLAN

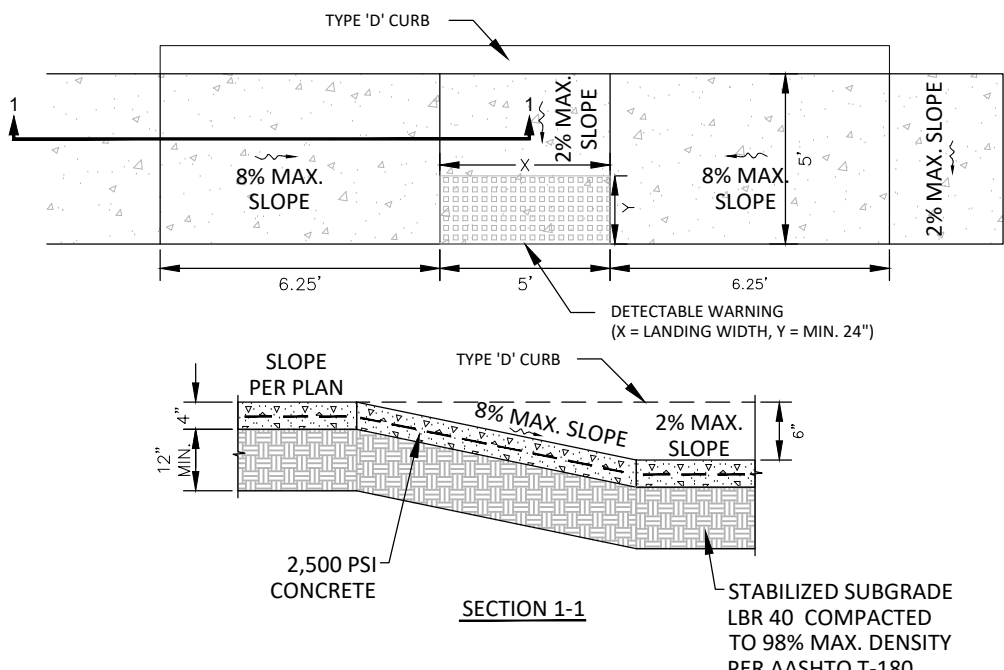
SHEET TITLE

C-09

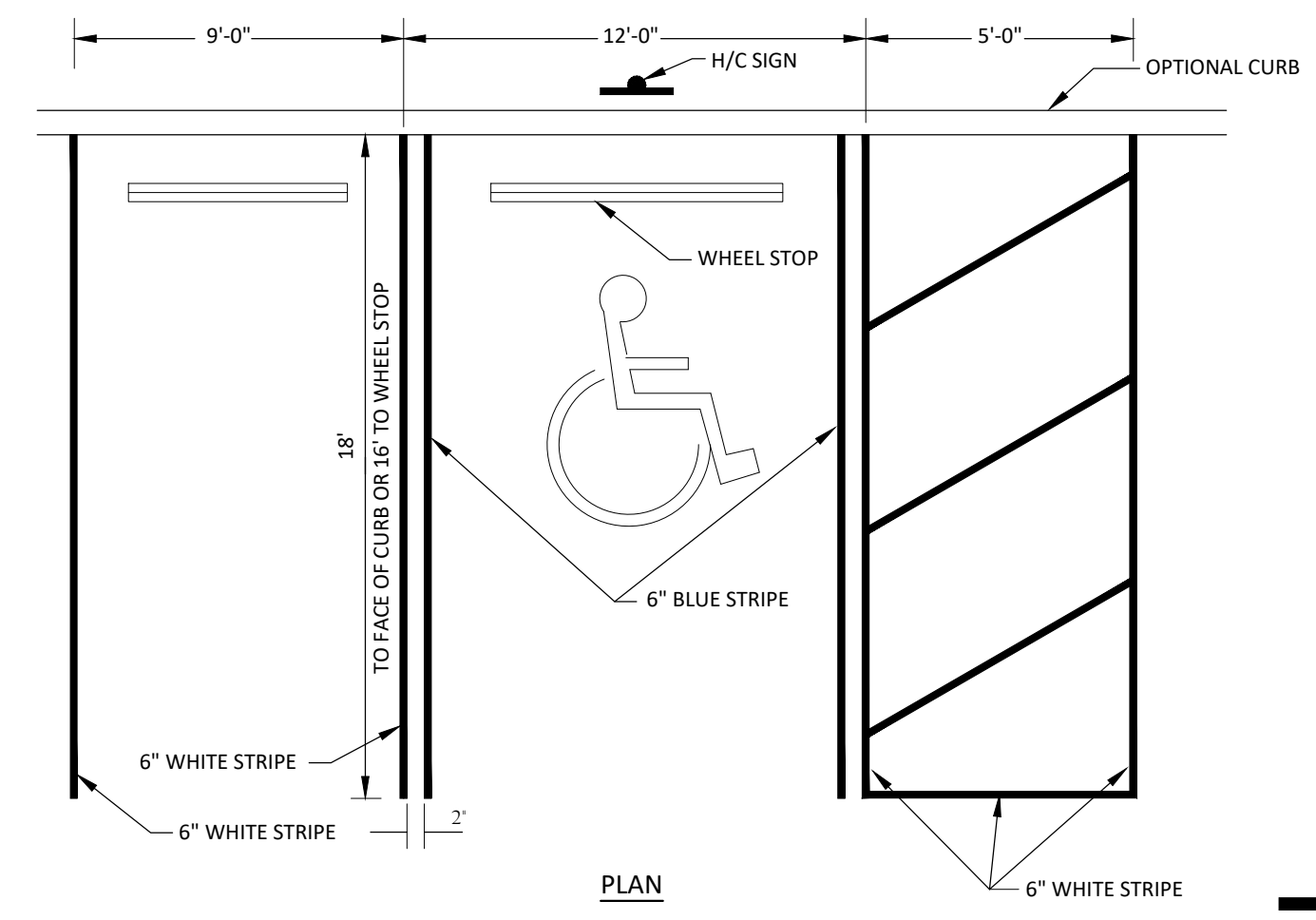
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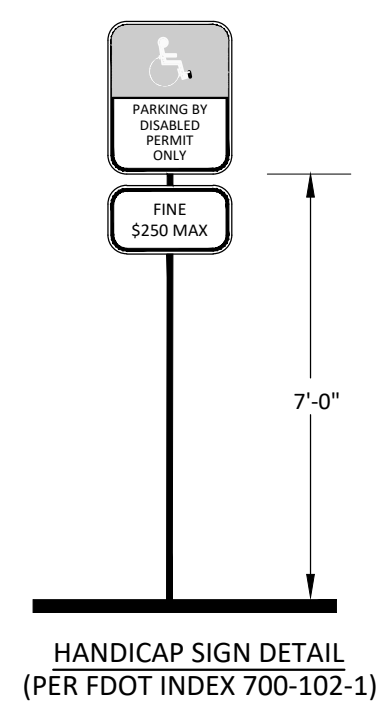
PARKING BUMPER DETAIL



HANDICAP RAMP DETAIL (PARALLEL CURB RAMP)



TYPICAL PARKING & HANDICAP SPACE



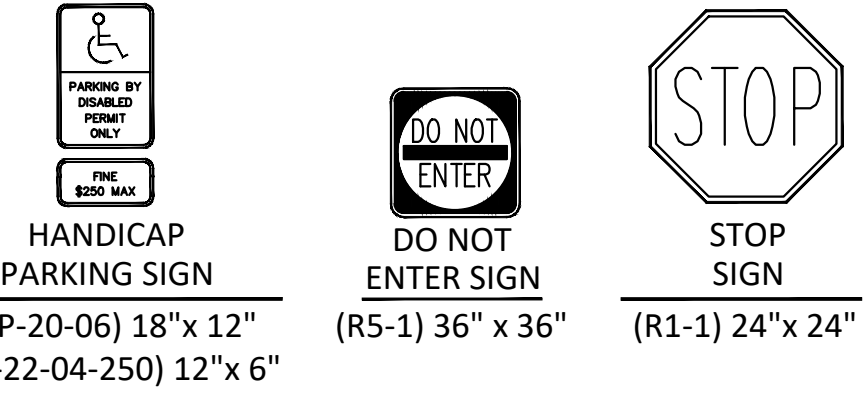
HANDICAP SIGN DETAIL

NOTES:

- ALL RADII ARE 5' UNLESS OTHERWISE SHOWN.
- ON-SITE SIGNS (MONUMENT, IDENTIFICATION, ETC) REQUIRE SEPARATE REVIEW AND PERMITS.
- ANY ROOFTOP EQUIPMENT SHALL BE SCREENED ON ALL FOUR SIDES.
- ALL ON-SITE UTILITIES (TELEPHONE, ELECTRICITY, CABLE AND OTHER WIRES SHALL BE PLACED UNDERGROUND.
- ELECTRIC METERS AND SIMILAR PANELS SHALL BE SCREENED FROM PROPERTY LINE ABUTTING A PUBLIC STREET. THIS SCREENING MAY CONSIST OF A WALL, FENCE, LANDSCAPING OR A COMBINATION OF. IN LIEU OF SCREENING, THE EQUIPMENT MAY BE PAINTED TO MATCH THE COLOR OF THE BUILDING.
- CONTRACTOR TO INSTALL 6" SOLID WHITE THERMOPLASTIC EDGE STRIPING ALONG ANY NEW EDGE OF PAVEMENT ON SW 5TH ST, SW 14TH PL AND SW 15TH PL. DRIVEWAY OPENINGS MAY BE SKIPPED.
- PER ORDINANCE 31-21 A PERIMETER FENCE SHALL BE CONSTRUCTED ALONG THE ENTIRE PERIMETER OF THE PROPERTY. HEIGHT SHALL NOT EXCEED 6', HOWEVER ARCHITECTURE FEATURES CAN EXTEND 6" ABOVE 6'. FENCE MATERIAL SHALL BE OR A COMBINATION OF; WROUGHT IRON, ALUMINUM, CONCRETE BLOCK WITH STUCCO, TEXTURED CONCRETE BLOCK, STONE, BRICK AND FORMED, DECORATIVE OR PRECAST CONCRETE.
- DECORATIVE SIGN/IDENTIFICATION SIGN ON SOUTHEAST PORTION OF THE PROPERTY MAY ACHIEVE A MAXIMUM HEIGHT OF 24'.
- ACCESS DRIVE FROM SW 21ST AVENUE SHALL BE USED AS AN EMERGENCY ACCESS DRIVEWAY ONLY. IT SHALL BE FITTED WITH THE NECESSARY EQUIPMENT FOR ALLOWING ACCESS TO EMERGENCY PERSONNEL.
- ACCESS DRIVE FROM SW 23RD STREET SHALL BE ACCESSIBLE ONLY VIA KEY CARD/FOB READER ISSUED TO RESIDENTS, EMPLOYEES OF THE DEVELOPMENT. AN EVAC SYSTEM WILL BE INSTALLED FOR EMERGENCY PERSONNEL. THIS ACCESS SHALL BE FITTED WITH BARS THAT SHALL FUNCTION AS AUTOMATICALLY OPENING GATES UPON APPROACH AND EXIT OF A VEHICLE.
- OWNER/DEVELOPER MAY OPTION TO PLACE SOME OF THE REQUIRED BICYCLE RACKS WITHIN PHASE 1.

SIGNING AND PAVEMENT MARKING NOTES:

- ALL SIGNING AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH FDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION), "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION)," AND THE CURRENT LCDOT AND CITY OF FORT MYERS DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
- MATCH EXISTING PAVEMENT MARKINGS AT EXISTING ROADS.
- MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION).
- CONTRACTOR SHALL SET ROADWAY GROUND MOUNT SIGNS AT PROPER DEFLECTION ANGLE TO THE ROADWAY IN ACCORDANCE WITH FDOT INDEX NUMBER 17302.
- SEE FDOT INDEX NUMBERS 17346 AND 17352 FOR ADDITIONAL DETAILS.

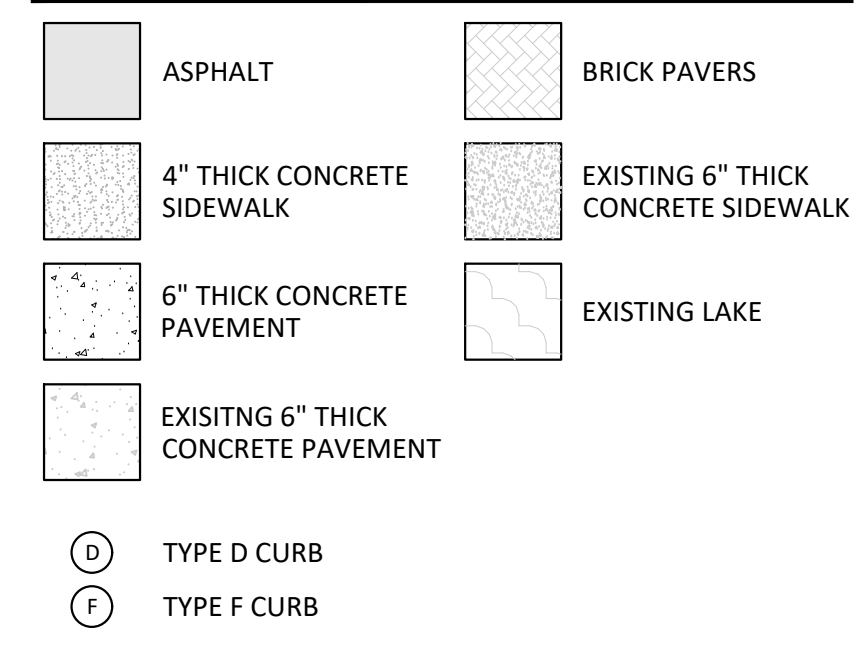


ROAD SIGNS

COMMON AREA MAINTENANCE:

IT IS THE INTENT OF THE OWNER, ZP NO 339, LLC, OR ITS SUCCESSORS, TO OWN AND MAINTAIN COMMON AREAS ON THE SUBJECT PROPERTY, INCLUDING BUT NOT LIMITED TO STORM WATER FACILITIES, PRIVATE UTILITIES, LANDSCAPING, IRRIGATION, EXOTIC CONTROL, ETC.

LEGEND



SIGNING AND PAVEMENT MARKING NOTES:

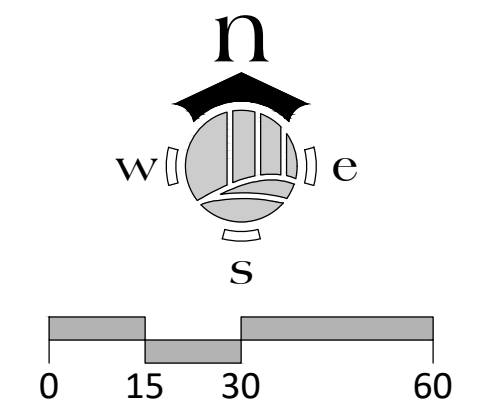
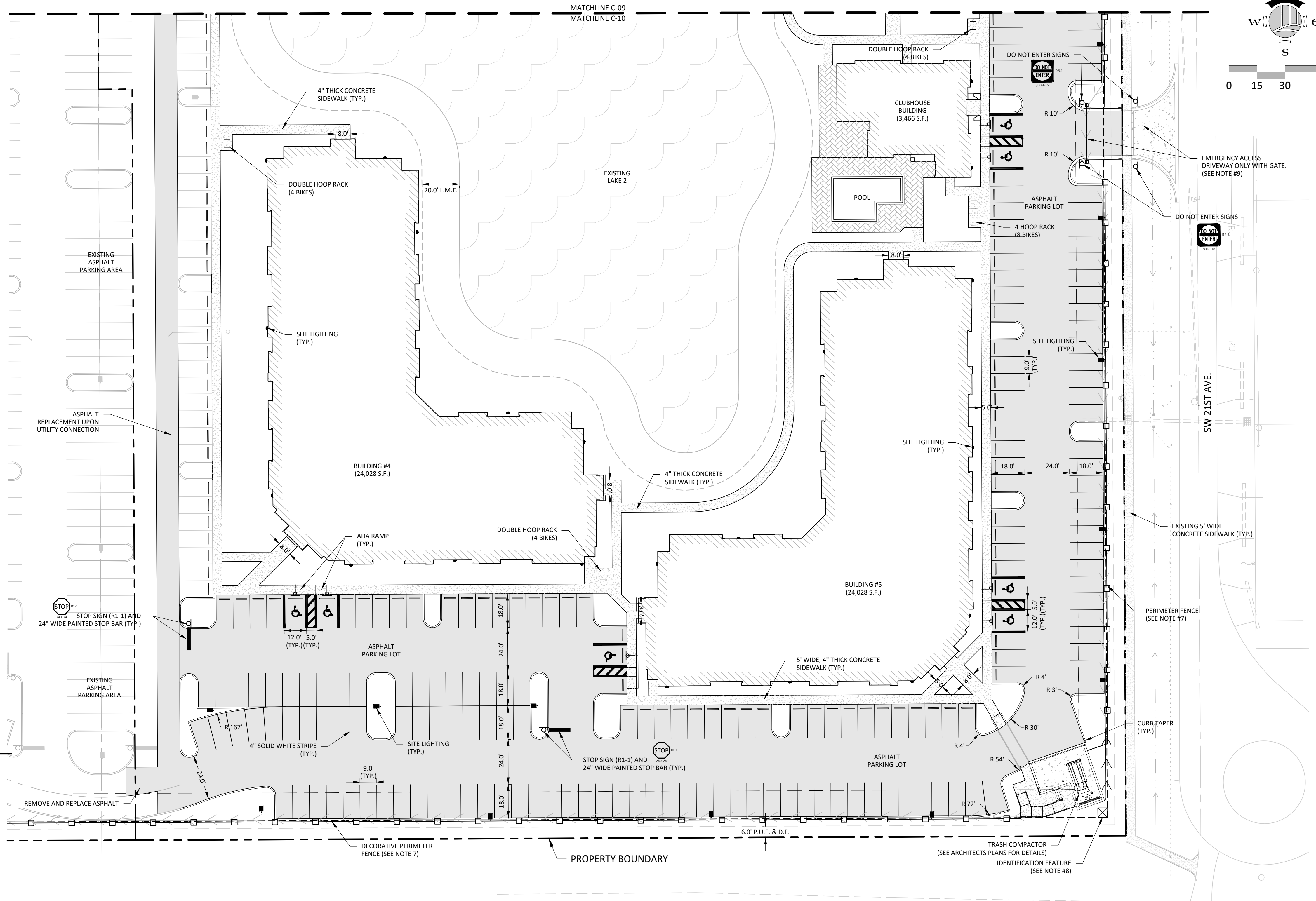
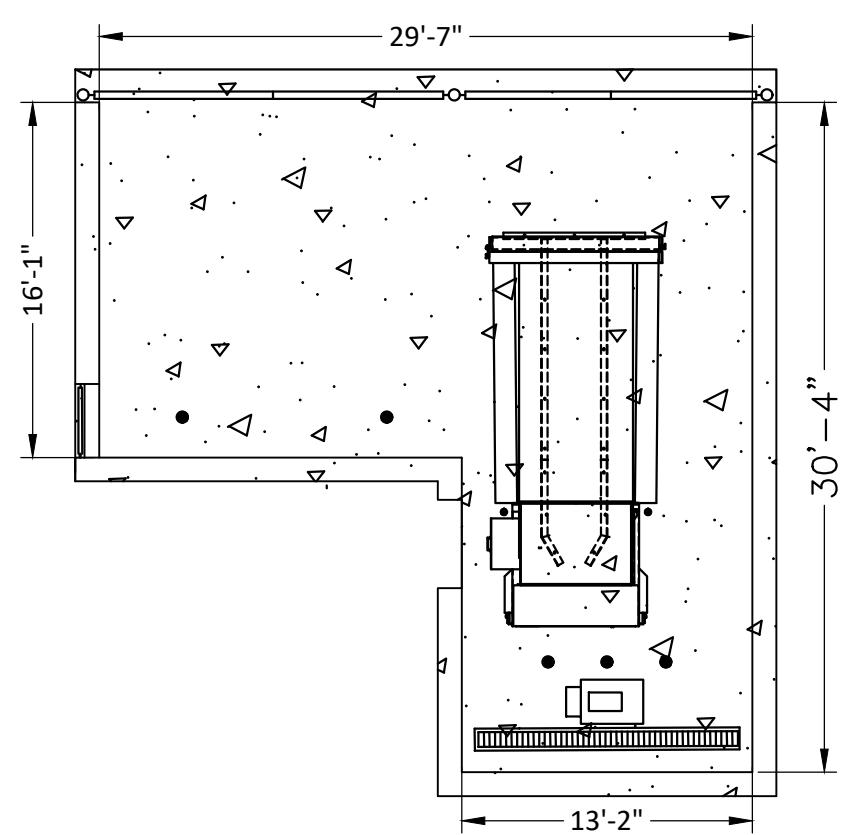
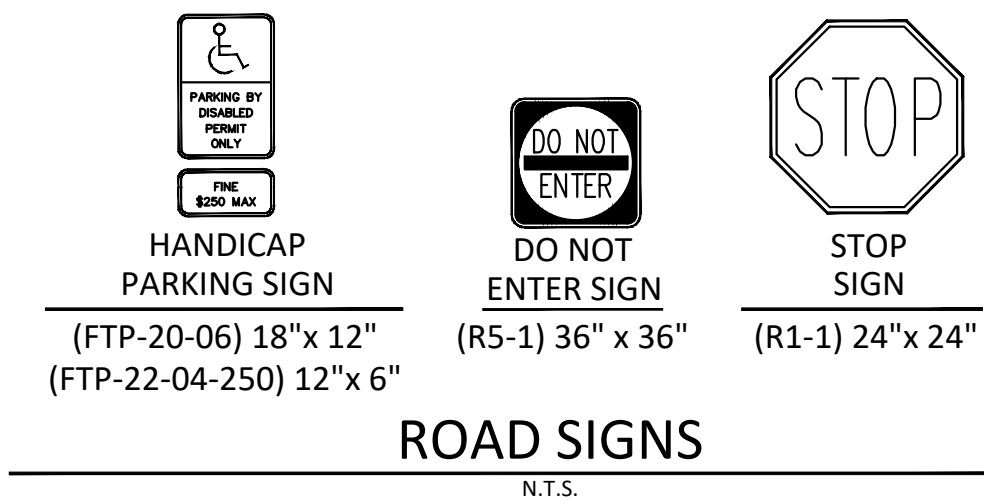
1. ALL SIGNING AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH FDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION), "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION)," AND THE CURRENT LCDOT AND CITY OF FORT MYERS DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
2. MATCH EXISTING PAVEMENT MARKINGS AT EXISTING ROADS.
3. MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION).
4. CONTRACTOR SHALL SET ROADWAY GROUND MOUNT SIGNS AT PROPER DEFLECTION ANGLE TO THE ROADWAY IN ACCORDANCE WITH FDOT INDEX NUMBER 17302.
5. SEE FDOT INDEX NUMBERS 17346 AND 17352 FOR ADDITIONAL DETAILS.

NOTES:

1. ALL RADII ARE 5' UNLESS OTHERWISE SHOWN.
2. ON-SITE SIGNS (MONUMENT, IDENTIFICATION, ETC) REQUIRE SEPARATE REVIEW AND PERMITS.
3. ANY ROOFTOP EQUIPMENT SHALL BE SCREENED ON ALL FOUR SIDES.
4. ALL ON-SITE UTILITIES (TELEPHONE, ELECTRICITY, CABLE AND OTHER WIRES SHALL BE PLACED UNDERGROUND.
5. ELECTRIC METERS AND SIMILAR PANELS SHALL BE SCREENED FROM PROPERTY LINE ABUTTING A PUBLIC STREET. THIS SCREENING MAY CONSIST OF A WALL, FENCE, LANDSCAPING OR A COMBINATION OF. IN LIEU OF SCREENING, THE EQUIPMENT MAY BE PAINTED TO MATCH THE COLOR OF THE BUILDING.
6. CONTRACTOR TO INSTALL 6" SOLID WHITE THERMOPLASTIC EDGE STRIPING ALONG ANY NEW EDGE OF PAVEMENT ON SW 5TH ST, SW 14TH PL AND SW 15TH PL. DRIVEWAY OPENINGS MAY BE SKIPPED.
7. PER ORDINANCE 31-21 A PERIMETER FENCE SHALL BE CONSTRUCTED ALONG THE ENTIRE PERIMETER OF THE PROPERTY. HEIGHT SHALL NOT EXCEED 6', HOWEVER ARCHITECTURE FEATURES CAN EXTEND 6" ABOVE 6'. FENCE MATERIAL SHALL BE OR A COMBINATION OF; WROUGHT IRON, ALUMINUM, CONCRETE BLOCK WITH STUCCO, TEXTURED CONCRETE BLOCK, STONE, BRICK AND FORMED, DECORATIVE OR PRECAST CONCRETE.
8. DECORATIVE SIGN/IDENTIFICATION SIGN ON SOUTHEAST PORTION OF THE PROPERTY MAY ACHIEVE A MAXIMUM HEIGHT OF 24'.
9. ACCESS DRIVE FROM SW 21ST AVENUE SHALL BE USED AS AN EMERGENCY ACCESS DRIVEWAY ONLY. IT SHALL BE FITTED WITH THE NECESSARY EQUIPMENT FOR ALLOWING ACCESS TO EMERGENCY PERSONNEL.
10. ACCESS DRIVE FROM SW 23RD STREET SHALL BE ACCESSIBLE ONLY VIA KEY CARD/FOB READER ISSUED TO RESIDENTS, EMPLOYEES OF THE DEVELOPMENT. AN EVAC SYSTEM WILL BE INSTALLED FOR EMERGENCY PERSONNEL. THIS ACCESS SHALL BE FITTED WITH BARS THAT SHALL FUNCTION AS AUTOMATICALLY OPENING GATES UPON APPROACH AND EXIT OF A VEHICLE.
11. OWNER/DEVELOPER MAY OPTION TO PLACE SOME OF THE REQUIRED BICYCLE RACKS WITHIN PHASE 1.

COMMON AREA MAINTENANCE:

IT IS THE INTENT OF THE OWNER, ZP NO 339, LLC, OR ITS SUCCESSORS, TO OWN AND MAINTAIN COMMON AREAS ON THE SUBJECT PROPERTY, INCLUDING BUT NOT LIMITED TO STORM WATER FACILITIES, PRIVATE UTILITIES, LANDSCAPING, IRRIGATION, EXOTIC CONTROL, ETC.



LEGEND

- ASPHALT
- 4" THICK CONCRETE SIDEWALK
- 6" THICK CONCRETE PAVEMENT
- EXISTING 6" THICK CONCRETE PAVEMENT
- BRICK PAVERS
- EXISTING 6" THICK CONCRETE SIDEWALK
- EXISTING LAKE
- TYPE D CURB
- TYPE F CURB

JASON E. TOMASSETTI, PE
FL License No. 66263

NO.	REVISION	DATE
R1	PER CITY COMMENTS	10-28-21
R2	PER CITY COMMENTS	11-30-21
R3	PER CITY COMMENTS	2-23-22
R4	PER CITY COMMENTS	4-15-22

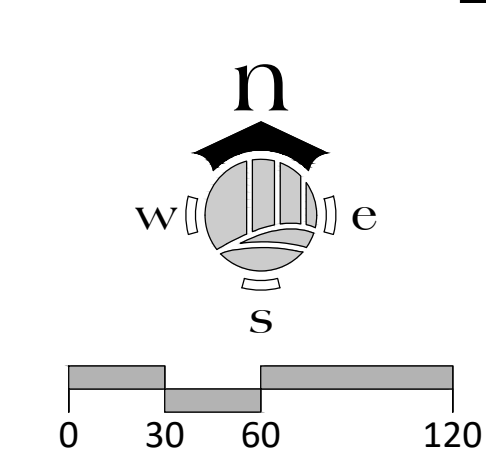
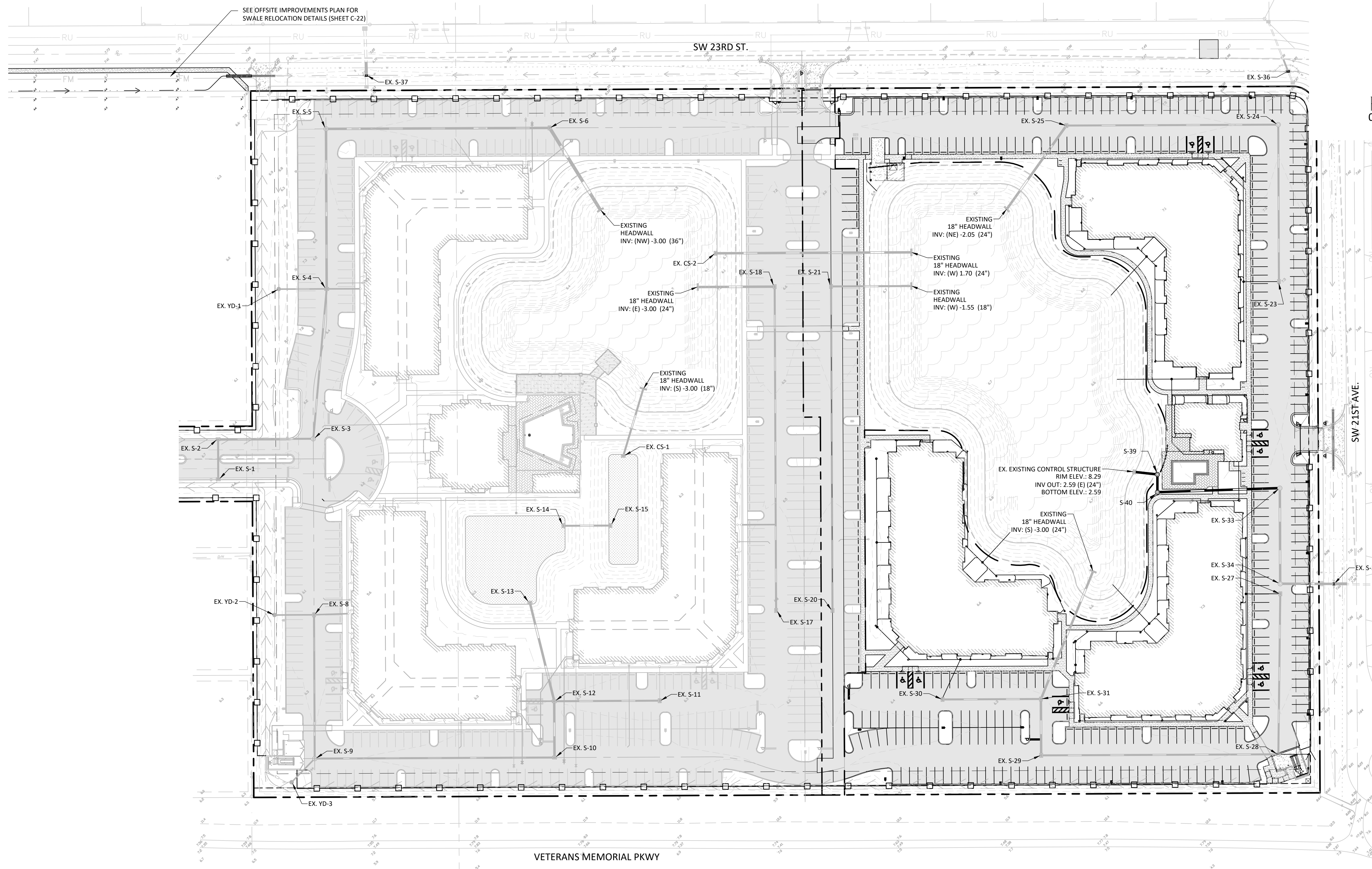
DATE:	8-20-21
PROJECT NO.	1364-03
FILE NO.	1364-03 SITE.dwg
SCALE:	AS SHOWN

SITE PLAN

SHEET TITLE

C-10

SHEET NUMBER



NO.	REVISION	DATE
R1	PER CITY COMMENTS	10-28-21
R2	PER CITY COMMENTS	11-30-21
R3	PER CITY COMMENTS	2-23-22
R4	PER CITY COMMENTS	4-15-22

DATE:	8-20-21
PROJECT NO.:	1364-03
FILE NO.:	1364-03 OPGD.dwg
SCALE:	AS SHOWN

OVERALL PAVING, GRADING & DRAINAGE PLAN
 SHEET TITLE

STRUCTURE SCHEDULE:

S-33 EX. JUNCTION BOX RIM ELEV.: 8.75 INV. IN: (W) 0.00 (24") INV. OUT: (S) 2.23 (24") BOTTOM ELEV.: -2.00	YD-2 12" ADS INLET GRATE ELEV.: 9.22 INV. IN: (N) 5.75 (12") INV. IN: (S) 5.75 (12") INV. OUT: (SE) 5.75 (15")	YD-6 12" ADS INLET GRATE ELEV.: 9.11 INV. IN: (N) 5.75 (12") INV. OUT: (S) 5.75 (12")	YD-10 12" ADS INLET GRATE ELEV.: 9.64 INV. IN: (N) 5.75 (12") INV. OUT: (S) 5.75 (12")
S-39 JUNCTION BOX RIM ELEV.: 8.31 INV. IN: (W) 2.59 (24") INV. OUT: (S) 2.59 (24") BOTTOM ELEV.: 0.59	YD-3 12" ADS INLET GRATE ELEV.: 9.43 INV. IN: (E) 5.75 (12") INV. IN: (N) 5.75 (12") INV. OUT: (W) 5.75 (15")	YD-7 12" ADS INLET GRATE ELEV.: 8.7 INV. IN: (N) 5.75 (12") INV. OUT: (S) 5.75 (12")	YD-11 12" ADS INLET GRATE ELEV.: 10.0 INV. IN: (N) 5.75 (12") INV. OUT: (S) 5.75 (12")
S-40 JUNCTION BOX RIM ELEV.: 8.86 INV. IN: (N) 2.50 (24") INV. OUT: (E) 2.40 (24") BOTTOM ELEV.: 0.40	YD-4 12" ADS INLET GRATE ELEV.: 9.46 INV. IN: (N) 5.75 (12") INV. IN: (S) 5.75 (12") INV. OUT: (E) 5.75 (15")	YD-8 12" ADS INLET GRATE ELEV.: 9.66 INV. IN: (W) 5.75 (12") INV. IN: (E) 5.75 (12") INV. OUT: (SW) 5.75 (15")	YD-12 12" ADS INLET GRATE ELEV.: 8.95 INV. IN: (N) 5.75 (12") INV. IN: (SE) 5.75 (12") INV. OUT: (NE) 5.75 (15")
YD-1 12" ADS INLET GRATE ELEV.: 9.08 INV. IN: (NW) 5.75 (12") INV. IN: (SE) 5.75 (12") INV. OUT: (SW) 5.75 (15")	YD-5 12" ADS INLET GRATE ELEV.: 9.39 INV. IN: (NE) 5.75 (12") INV. IN: (SW) 5.75 (12") INV. OUT: (NW) 5.75 (15")	YD-9 12" ADS INLET GRATE ELEV.: 9.61 INV. IN: (N) 5.75 (12") INV. OUT: (SE) 5.75 (12")	

WATER MANAGEMENT SUMMARY:

EXISTING WATER MANAGEMENT IN PLACE.

LAKE MAINTENANCE NOTES:

- ZPNO339, LLC. OR ITS SUCCESSORS ARE RESPONSIBLE FOR LAKE MAINTENANCE.
- EXOTICS SHALL BE CONTROLLED AND REMOVED VIA REGULAR MAINTENANCE AND LAKE MAINTENANCE PROGRAM.
- SURFACE WATER RUNOFF VIA MASTER STORMWATER SYSTEM SHALL PREVENT LAKE BANK EROSION.
- IDENTIFICATION OF THE ENTITY RESPONSIBILITY FOR THE MAINTENANCE OF THE LAKE AREA INCLUDING THE LAKE SHORELINE.
- IDENTIFICATION OF THE METHODS TO REMOVE AND CONTROL EXOTIC AND NUISANCE PLANTS IN PERPETUITY.
- DEMONSTRATION AS TO HOW SURFACE WATER RUNOFF QUANTITIES AND FLOW VELOCITIES WILL BE CONTROLLED TO PREVENT BANK EROSION, INCLUDING BUT NOT LIMITED TO, ROUTING ROOF DRAINS AWAY FROM LAKE SHORELINES.
- REQUIREMENTS THAT EDUCATIONAL MATERIALS BE PROVIDED TO RESIDENTS DESCRIBING THE PURPOSE AND FUNCTION OF THE BANK SLOPE AND LITTORAL AREAS. THE MATERIALS MUST ALSO EXPLAIN THE INDIVIDUAL PROPERTY OWNER'S RESPONSIBILITIES WITH RESPECT TO COMPLIANCE WITH BANK SLOPE AND LITTORAL AREA MANAGEMENT PLANS. EDUCATIONAL MATERIALS MAY TAKE THE FORM OF SIGNS AND BROCHURES.

NOTES:

ON-SITE DRAINAGE MAINTENANCE TO BE PERFORMED BY OWNER, AND OR SUCCESSOR

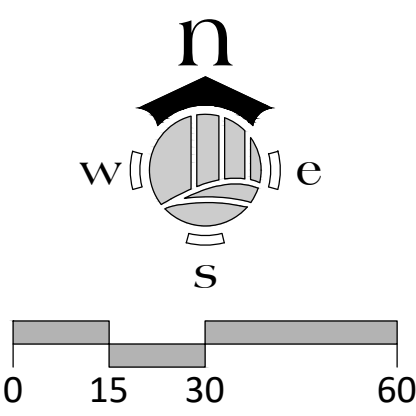
DESIGN TABLE:

	NGVD
WET SEASON WATER TABLE ELEV.	= 3.2
MINIMUM FINISHED FLOOR ELEV.	= 10.2
MINIMUM PARKING ELEV.	= 8.2
MINIMUM BERM ELEV.	= 8.7

FEMA FLOOD ELEV. - ZONE AE-7.0 & ZONE AE-8 (NAVD)

LEGEND

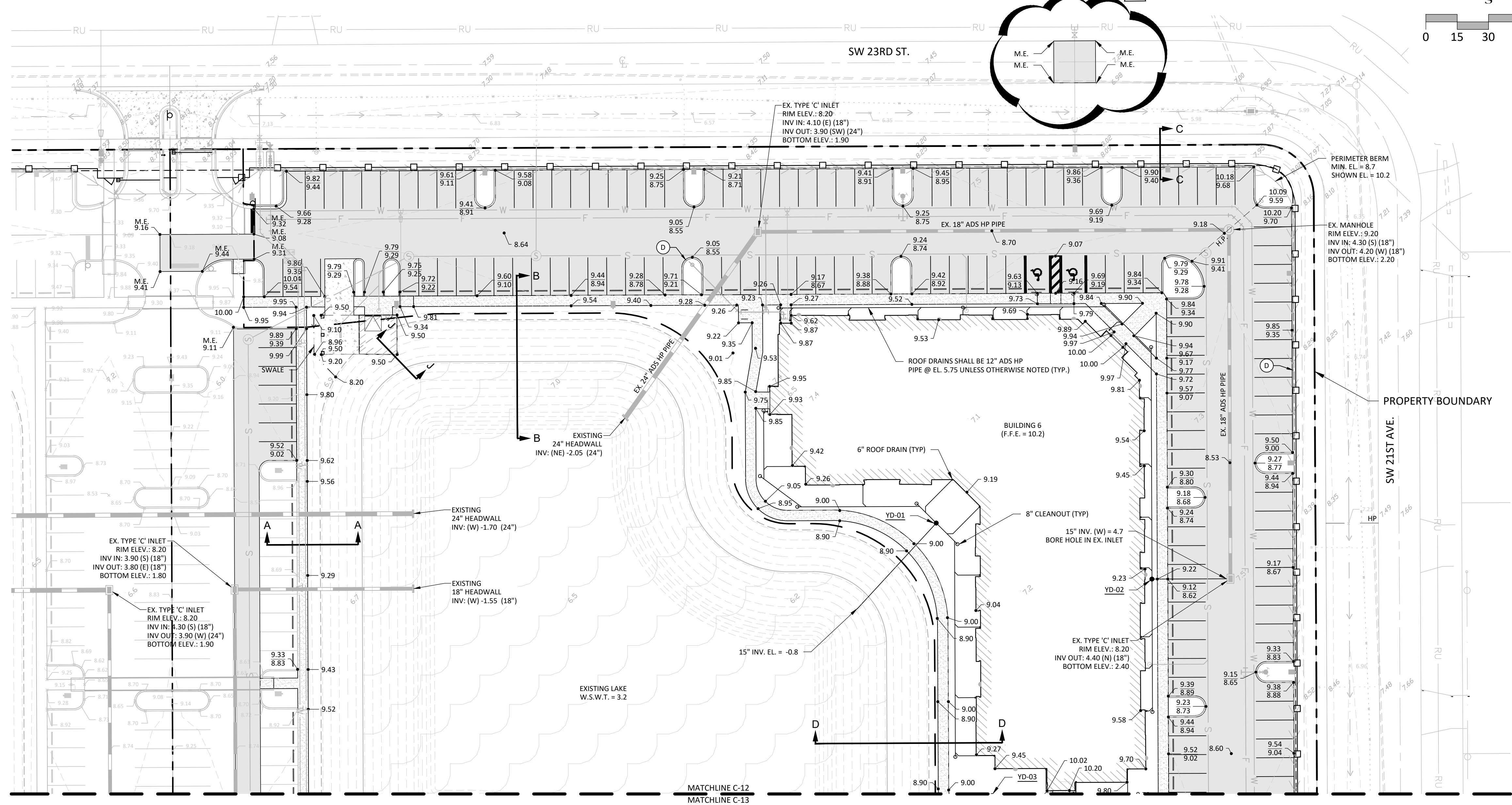
- ASPHALT
- 4" THICK CONCRETE SIDEWALK
- EXISTING 6" THICK CONCRETE PAVEMENT
- BOC
- EOP
- BRICK PAVERS
- EXISTING 6" THICK CONCRETE SIDEWALK
- EXISTING LAKE
- TYPE 'D' CURB
- TYPE 'F' CURB



NO.	REVISION	DATE	DESCRIPTION
R1	PERFECTY COMMENTS	10-28-21	
R2	PERFECTY COMMENTS	11-30-21	
R3	PERFECTY COMMENTS	2-23-22	
R4	PERFECTY COMMENTS	4-15-22	

DATE:	8-20-21
PROJECT NO.:	1364-03
FILE NO.:	1364-03 PGD.dwg
SCALE:	AS SHOWN

PAVING, GRADING & DRAINAGE PLAN



STRUCTURE SCHEDULE

YD-1 12" ADS INLET GRATE ELEV.: 9.08 INV. IN: (NW) 5.75 (12") INV. IN: (SE) 5.75 (12") INV. OUT: (SW) 5.75 (15")	YD-2 12" ADS INLET GRATE ELEV.: 9.22 INV. IN: (N) 5.75 (12") INV. IN: (S) 5.75 (12") INV. OUT: (SE) 5.75 (15")
---	---

NOTE:

- ALL PAVEMENT GRADES ARE EDGE OF PAVEMENT GRADES. REFER TO CURB DETAILS FOR BACK OF CURB GRADE.
- ON-SITE DRAINAGE MAINTENANCE TO BE PERFORMED BY OWNER, AND OR SUCCESSOR.

DESIGN TABLE:

	NGVD
WET SEASON WATER TABLE ELEV.	= 3.2
MINIMUM FINISHED FLOOR ELEV.	= 10.2
MINIMUM PARKING ELEV.	= 8.2
MINIMUM BERM ELEV.	= 8.7

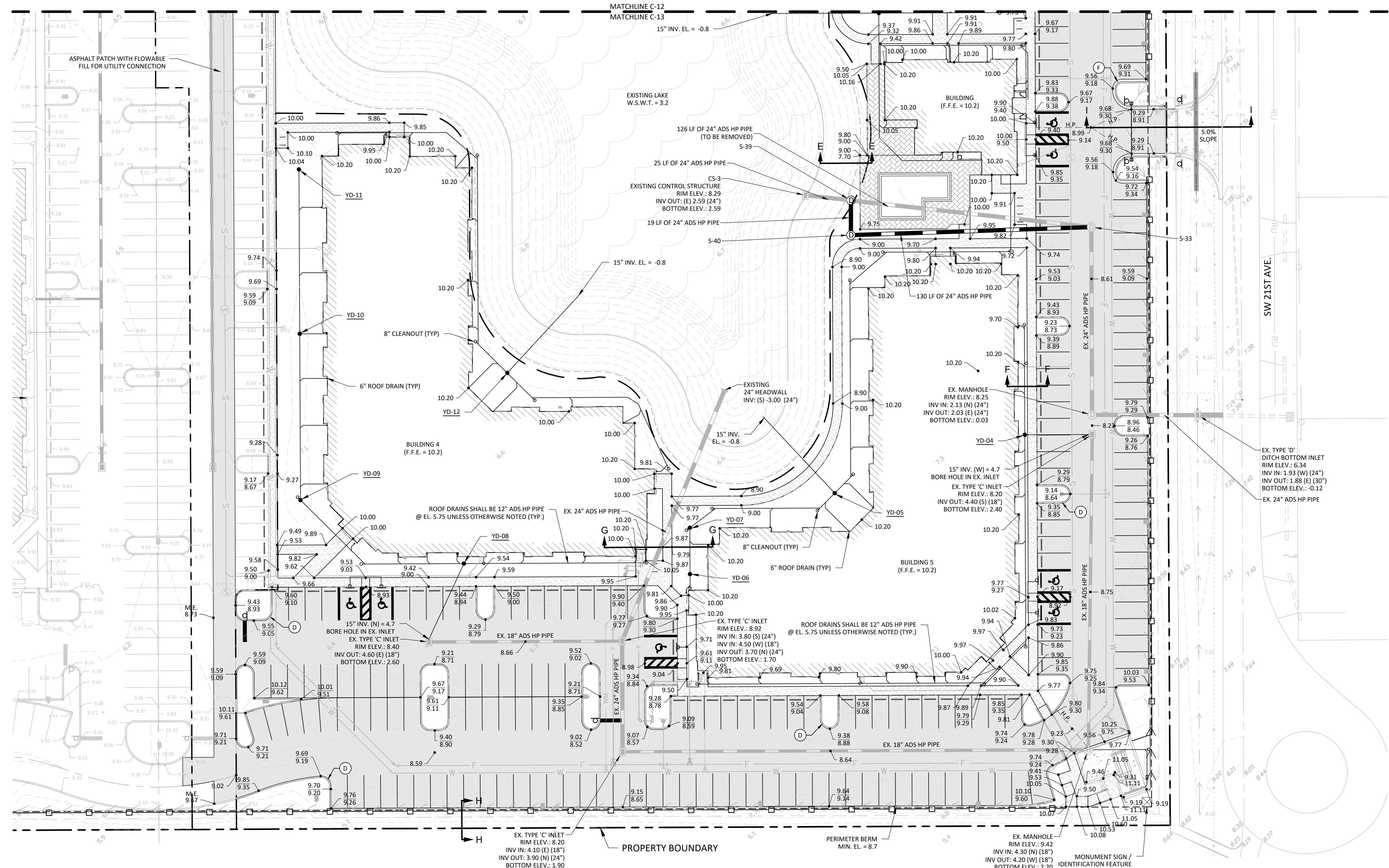
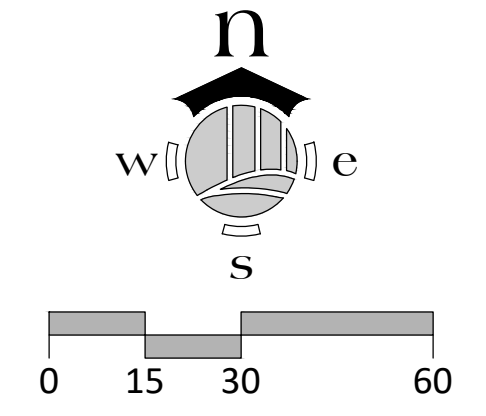
FEMA FLOOD ELEV. - ZONE AE-7.0 & ZONE AE-8 (NAVD)

ROW IMPROVEMENT NOTES:

- CONTRACTOR TO NEATLY SAW CUT AND REMOVE ADDED ASPHALT AND CURB BACK TO ORIGINAL EDGE OF PAVEMENT. CONTRACTOR TO LEAVE EXISTING BASE TO SUPPORT ROAD EDGE AND SOD UP TO EDGE OF PAVEMENT.
- CONTRACTOR TO REMOVE CURB AND CURB INLETS AND EXTEND PIPES ACCORDINGLY.
- CONTRACTOR TO SOD ALL DISTURBED AREAS IN ROW.
- ANY DAMAGE TO PAVEMENT TO THE PAVEMENT OR PATCHING OF THE ORIGINAL SURFACE WILL NEED TO FOLLOW PUBLIC WORKS MINIMUM GUIDELINES OF 10' ON EITHER SIDE OF THE DAMAGE/PATCH AREA BY FULL LANE WIDTH. NO JOINTS MAY BE PLACED IN FRONT OF A DRIVEWAY.
- LOW POINTS WITHIN THE SWALE ARE DENOTED ON PLAN AT THE DITCH BOTTOM INLETS.
- SEE ROW CROSS SECTIONS ON SHEETS C-19 AND C-20.
- SEE CITY OF CAPE CORAL DETAILS C-1 & C-2 ON SHEET C-21 FOR DITCH BOTTOM INLET SPECIFICATIONS.
- ALL DITCH BOTTOM INLETS IN RIGHT-OF-WAY SHALL HAVE A 2' SUMP PER CITY OF CAPE CORAL DETAIL C-7, SEE SHEET C-21 FOR DETAIL.

LEGEND

	ASPHALT		BRICK PAVERS
	4" THICK CONCRETE SIDEWALK		EXISTING 6" THICK CONCRETE SIDEWALK
	EXISTING 6" THICK CONCRETE PAVEMENT		EXISTING LAKE
	BOC		TYPE 'D' CURB
	EOP		TYPE 'F' CURB



DESIGN TABLE:

	NGVD
WET SEASON WATER TABLE ELEV.	= 3.2
MINIMUM FINISHED FLOOR ELEV.	= 10.2
MINIMUM PARKING ELEV.	= 8.2
MINIMUM BERM ELEV.	= 8.7

FEMA FLOOD ELEV. - ZONE AE-7.0 & ZONE AE-8 (NAVD)

NOTE:

- ALL PAVEMENT GRADES ARE EDGE OF PAVEMENT GRADES. REFER TO CURB DETAILS FOR BACK OF CURB GRADE.
- ON-SITE DRAINAGE MAINTENANCE TO BE PERFORMED BY OWNER, AND OR SUCCESSOR.

ROW IMPROVEMENT NOTES:

- CONTRACTOR TO NEATLY SAW CUT AND REMOVE ADDED ASPHALT AND CURB BACK TO ORIGINAL EDGE OF PAVEMENT. CONTRACTOR TO LEAVE EXISTING BASE TO SUPPORT ROAD EDGE AND SOD UP TO EDGE OF PAVEMENT.
- CONTRACTOR TO REMOVE CURB AND CURB INLETS AND EXTEND PIPES ACCORDINGLY.
- CONTRACTOR TO SOD ALL DISTURBED AREAS IN ROW.
- ANY DAMAGE TO PAVEMENT TO THE PAVEMENT OR PATCHING OF THE ORIGINAL SURFACE WILL NEED TO FOLLOW PUBLIC WORKS MINIMUM GUIDELINES OF 10' ON EITHER SIDE OF THE DAMAGE/PATCH AREA BY FULL LANE WIDTH. NO JOINTS MAY BE PLACED IN FRONT OF A DRIVEWAY.
- LOW POINTS WITHIN THE SWALE ARE DENOTED ON PLAN AT THE DITCH BOTTOM INLETS.
- SEE ROW CROSS SECTIONS ON SHEETS C-19 AND C-20.
- SEE CITY OF CAPE CORAL DETAILS C-1 & C-2 ON SHEET C-21 FOR DITCH BOTTOM INLET SPECIFICATIONS.
- ALL DITCH BOTTOM INLETS IN RIGHT-OF-WAY SHALL HAVE A 2' SUMP PER CITY OF CAPE CORAL DETAIL C-7, SEE SHEET C-21 FOR DETAIL.

LEGEND

ASPHALT	BRICK PAVERS
4" THICK CONCRETE SIDEWALK	EXISTING 6" THICK CONCRETE SIDEWALK
EXISTING 6" THICK CONCRETE PAVEMENT	EXISTING LAKE
XXX BOB	TYPE 'D' CURB
XXX EOP	TYPE 'F' CURB

CLIENT NAME AND ADDRESS

PROJECT NAME AND LOCATION

NO.	REVISION	DATE
R1	PER CITY COMMENTS	10-28-21
R2	PER CITY COMMENTS	11-30-21
R3	PER CITY COMMENTS	2-23-22
R4	PER CITY COMMENTS	4-15-22

DATE:	8-20-21
PROJECT NO.:	1364-03
FILE NO.:	1364-03 PGD.dwg
SCALE:	AS SHOWN

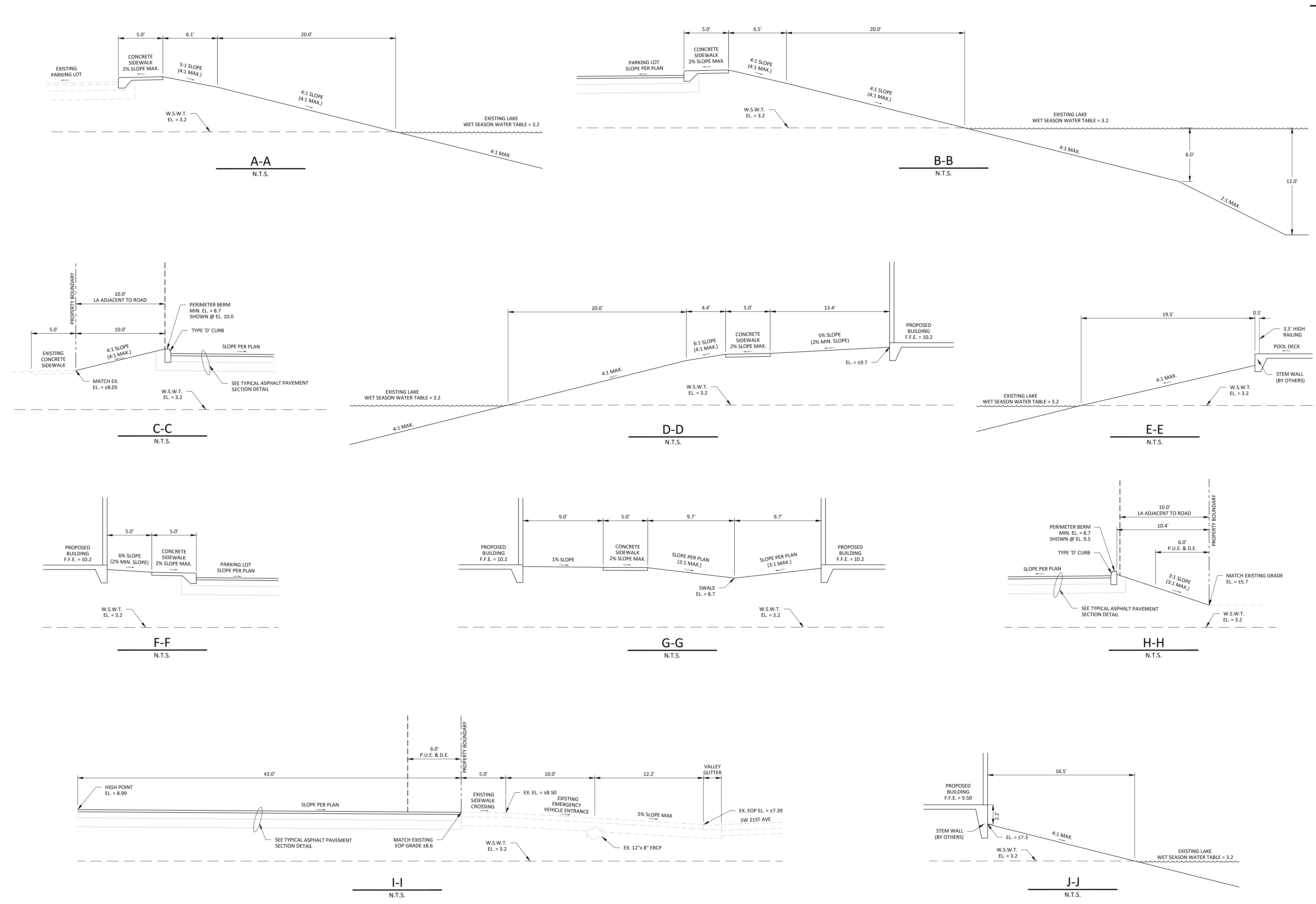
PAVING, GRADING & DRAINAGE PLAN

SHEET TITLE

C-13
 SHEET NUMBER

NO.	REVISION	DATE
R1	PERFECTY COMMENTS	10-28-21
R2	PERFECTY COMMENTS	11-30-21
R3	PERFECTY COMMENTS	2-23-22
R4	PERFECTY COMMENTS	4-15-22

DATE:	8-20-21
PROJECT NO.:	1364-03
FILE NO.:	1364-03 SECT.dwg
SCALE:	AS SHOWN



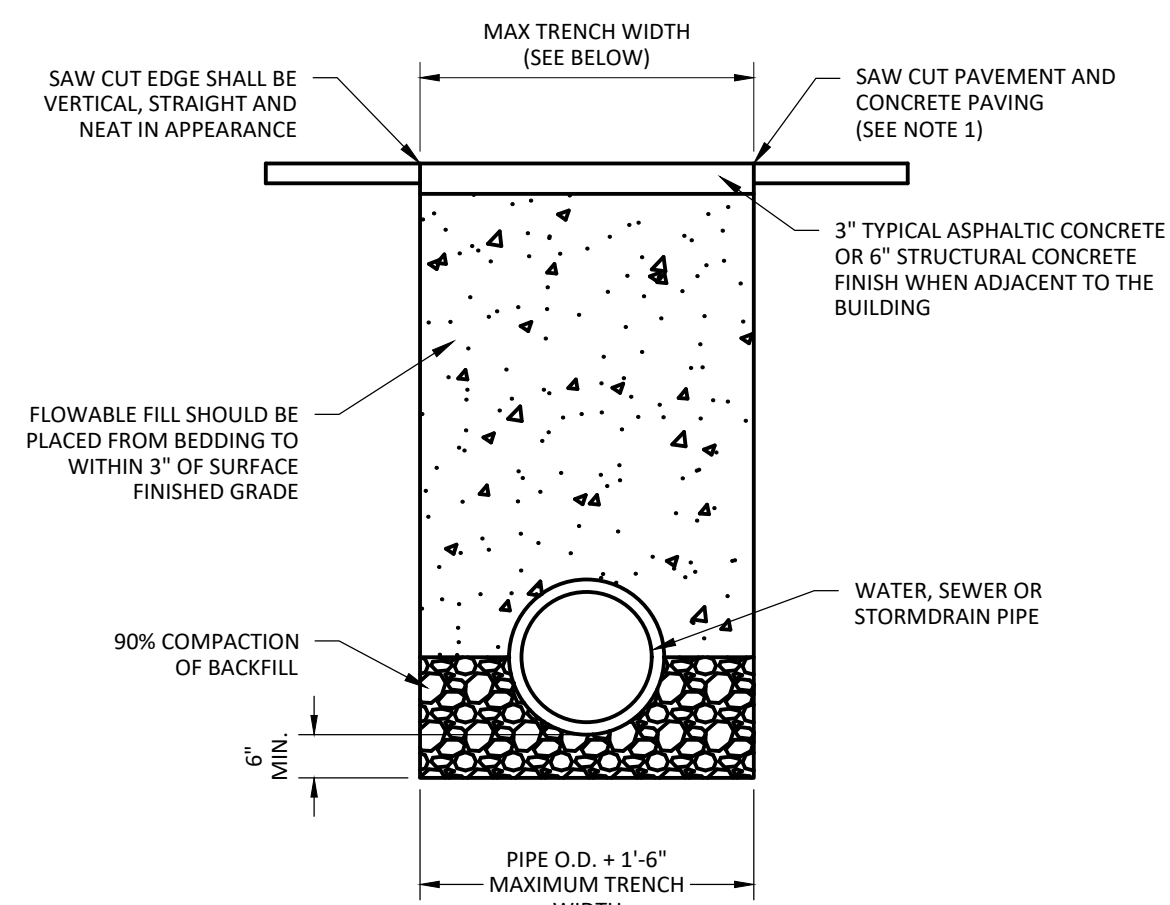
NO.	REVISION	DATE	DESCRIPTION
R1	PER CITY COMMENTS	10-28-21	
R2	PER CITY COMMENTS	11-30-21	
R3	PER CITY COMMENTS	2-23-22	
R4	PER CITY COMMENTS	4-15-22	

DATE:	8-20-21
PROJECT NO.	1364-03
FILE NO.	1364-03 PGD.dwg
SCALE:	AS SHOWN

**PAVING, GRADING & DRAINAGE
 DETAILS**
 SHEET TITLE

C-15

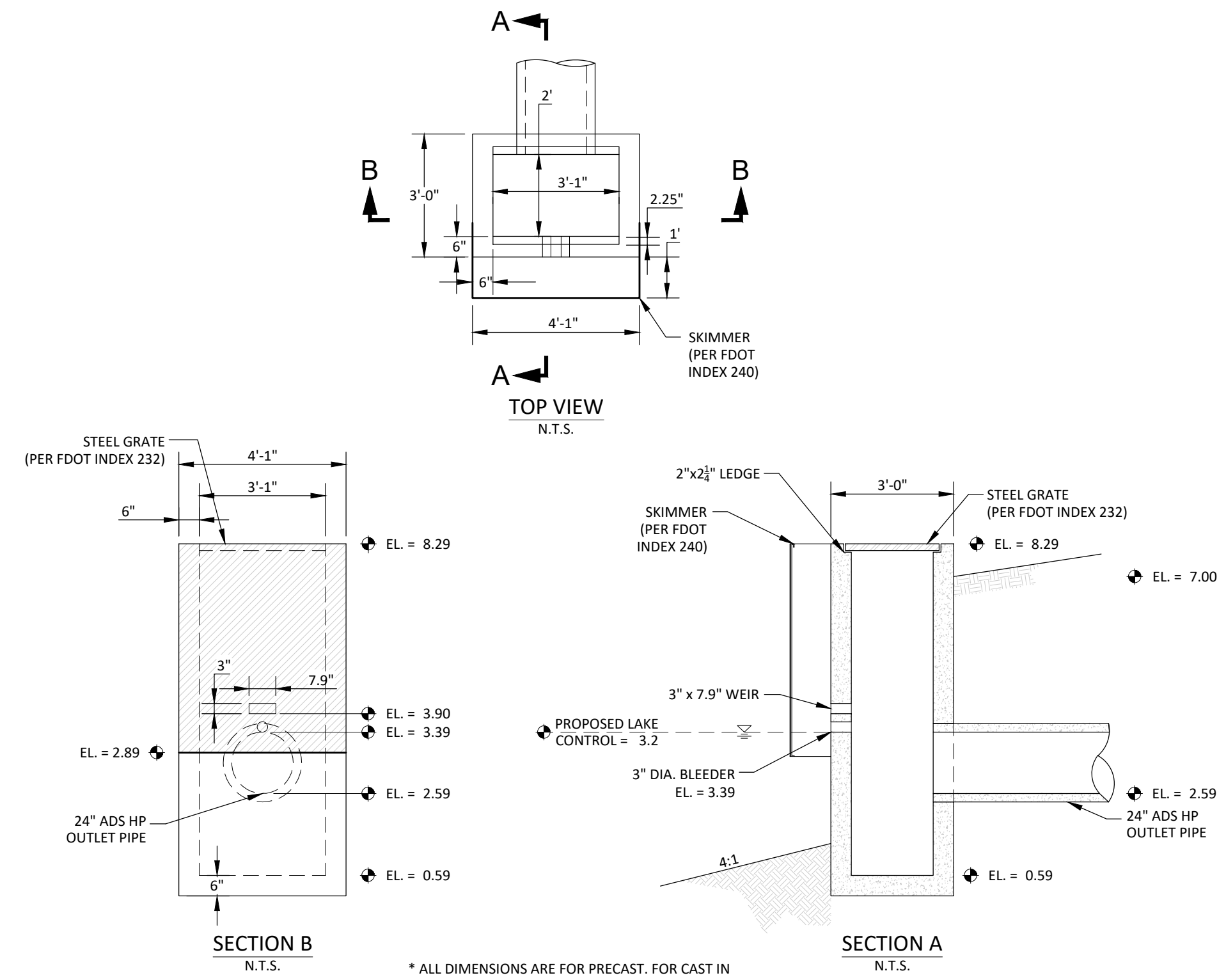
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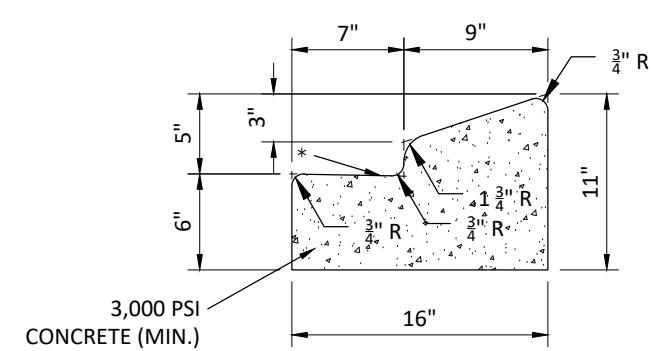
NOTES:

1. WHEN TEMPORARY PATCH IS USED, THE INITIAL WIDTH OF THE SAWCUT SHALL BE NO GREATER THAN THAT NECESSARY TO CONDUCT THE EXCAVATION.
2. THE FINISHED SURFACE OF THE TEMPORARY PATCH SHALL, IN ALL CASES, BE LEVEL WITH OR NO GREATER THAN 1/2 INCH ABOVE THE ADJACENT GRADE OF THE EXISTING PAVEMENT.
3. A TEMPORARY PATCH WILL BE MONITORED ON A DAILY BASIS AND SHALL BE IMMEDIATELY RESTORED TO STANDARD AS IT COMPLETS.
4. IN NO CASE SHALL A TEMPORARY PATCH BE LEFT WITHOUT PERMANENT REPAIR FOR MORE THAN 30 CALENDAR DAYS. THE PERIOD OF THE TEMPORARY PATCH MAY BE REDUCED AS DETERMINED BY THE ENGINEER.
5. NO ROCKS OR OLD PAVEMENT MAY BE DEPOSITED WITH BACKFILL.
6. FINISH SURFACE SHALL MATCH EXISTING GRADE WITH A TOLERANCE OF 1/4 INCH ABOVE ADJACENT GRADE.
7. PRIOR TO PLACING THE ASPHALT PATCH THE EXISTING PAVEMENT MUST BE SAW CUT NEATLY AT A MINIMUM OF 24" BEYOND THE DISTURBANCE CAUSED BY TRENCHING.

FLOWABLE FILL TRENCH DETAIL
 N.T.S.

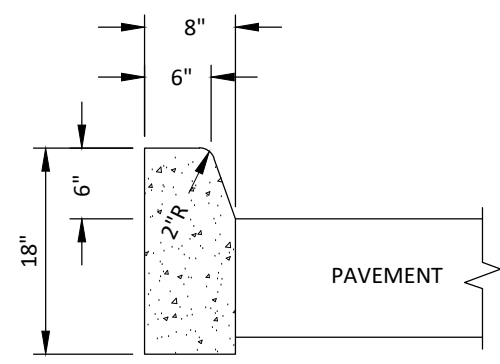


MODIFIED FDOT TYPE "C" INLET
 (PER FDOT INDEX 232)
EXISTING CS-3
 N.T.S.

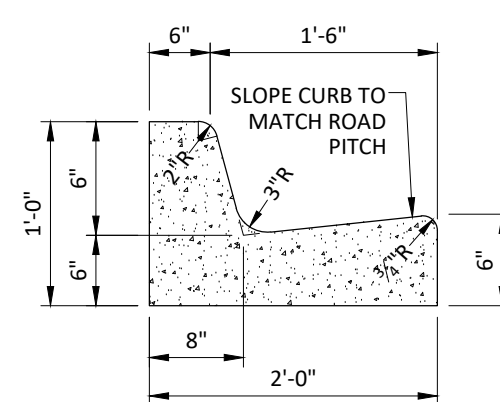


TYPE 'A' CURB
 N.T.S.

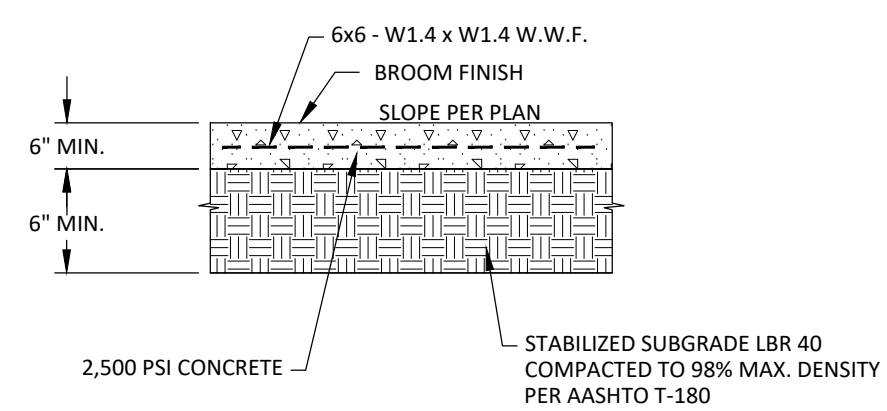
WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE TO THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.



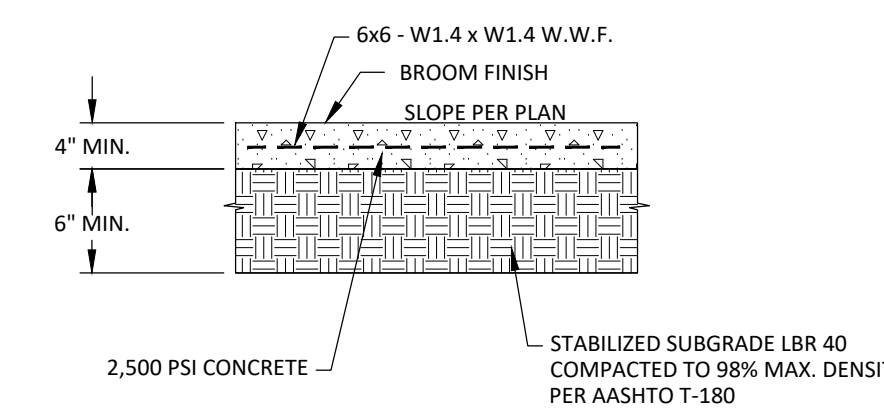
TYPE 'D' CURB
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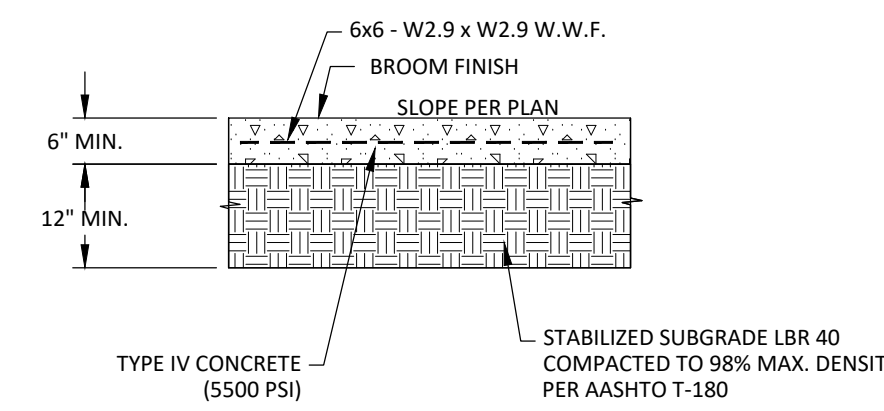
TYPE 'F' CURB
 N.T.S.



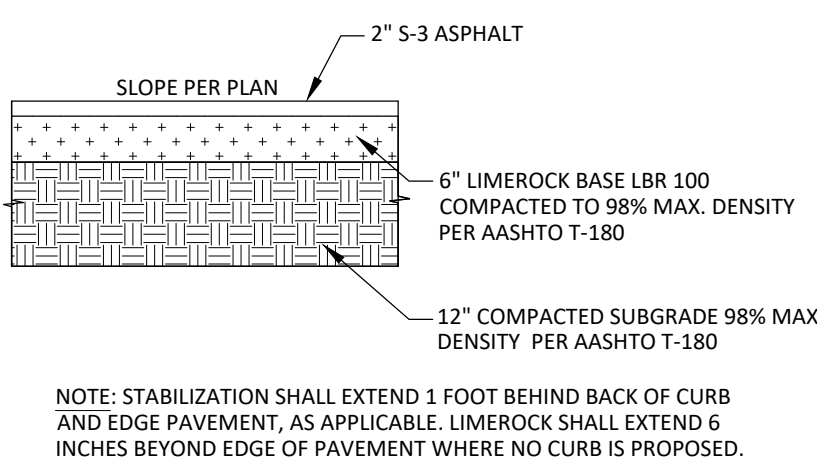
CONCRETE SIDEWALK SECTION OFF-SITE
 N.T.S.



CONCRETE SIDEWALK SECTION ON-SITE
 N.T.S.

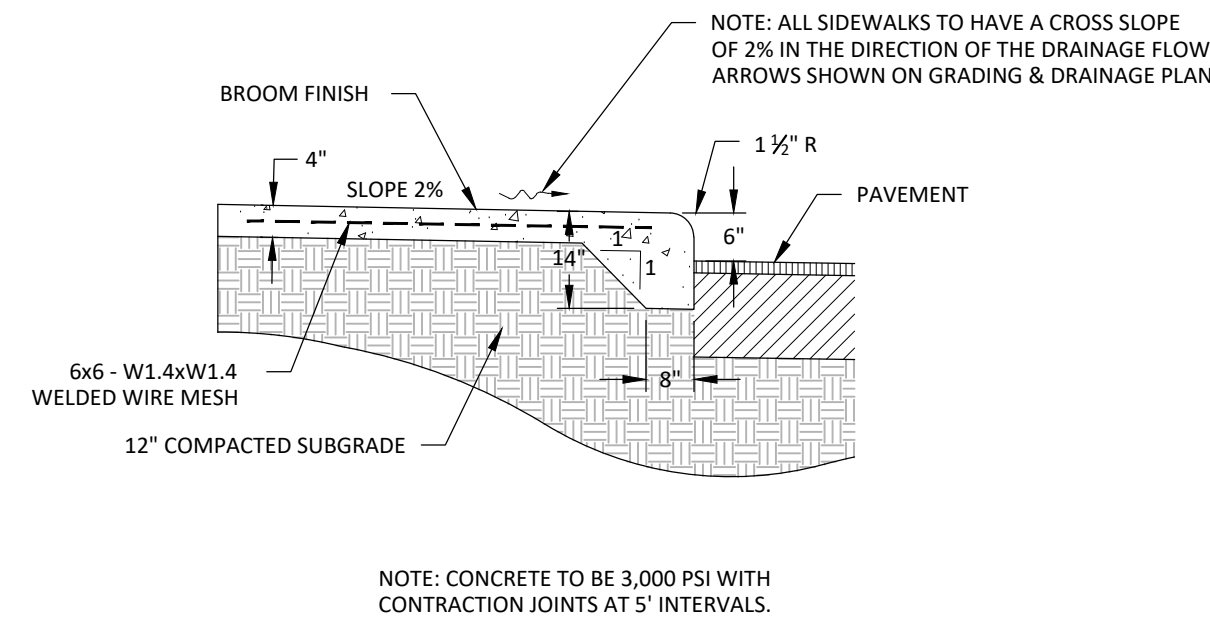


6" CONCRETE PAVEMENT SECTION
 N.T.S.



ASPHALT PAVEMENT SECTION
 N.T.S.

NOTE: STABILIZATION SHALL EXTEND 1 FOOT BEHIND BACK OF CURB AND EDGE PAVEMENT, AS APPLICABLE. LIMEROCK SHALL EXTEND 6 INCHES BEYOND EDGE OF PAVEMENT WHERE NO CURB IS PROPOSED.

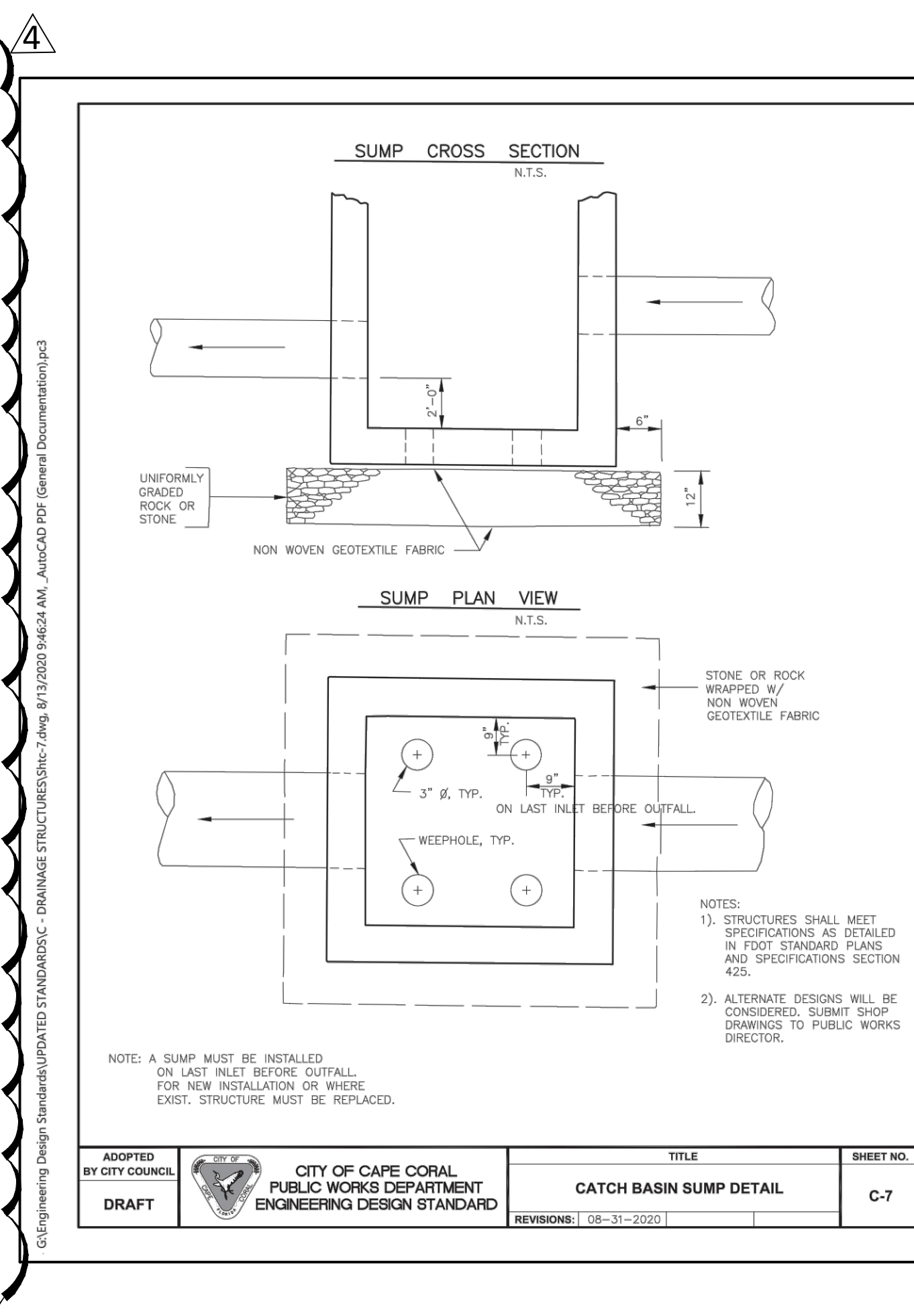
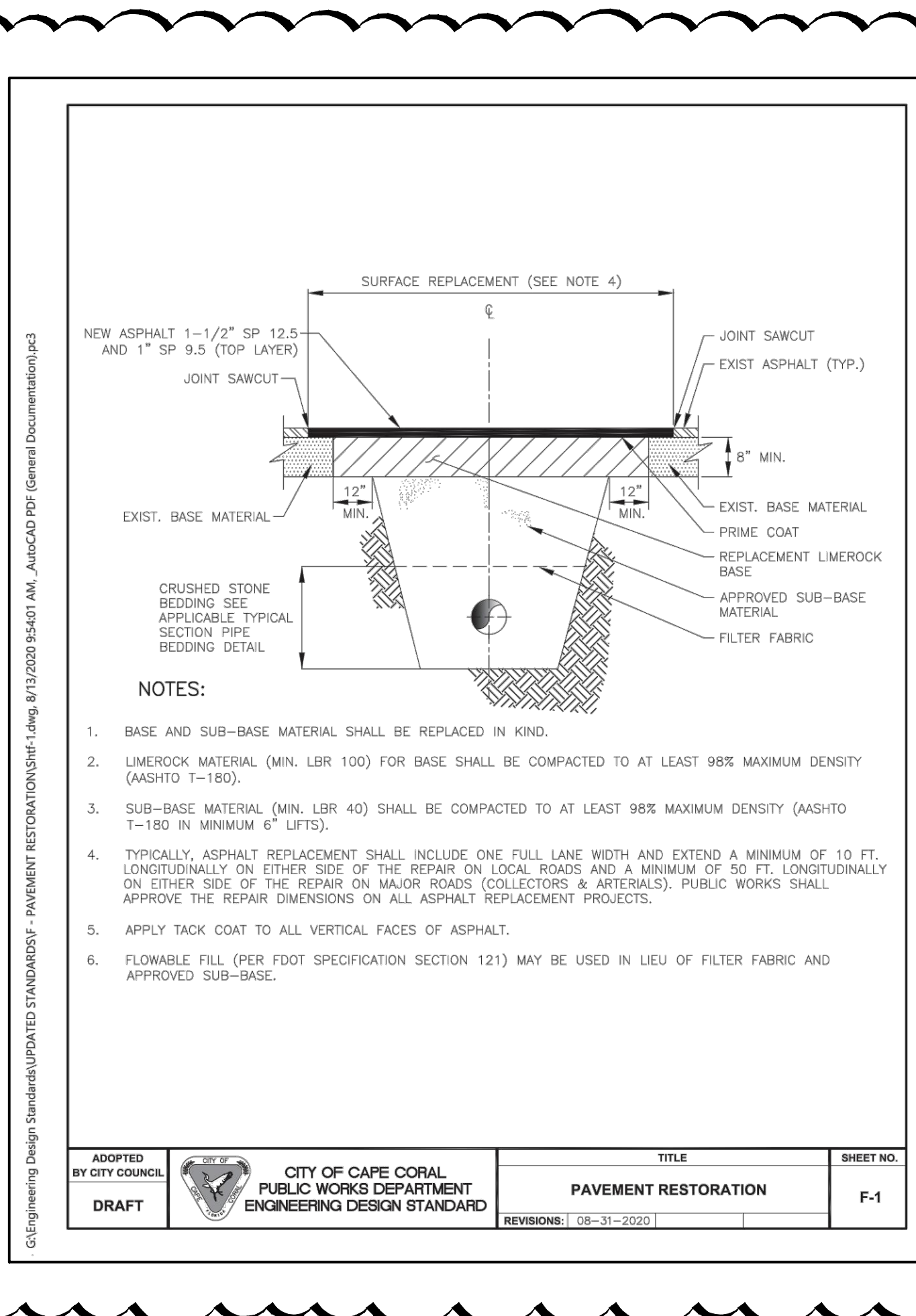
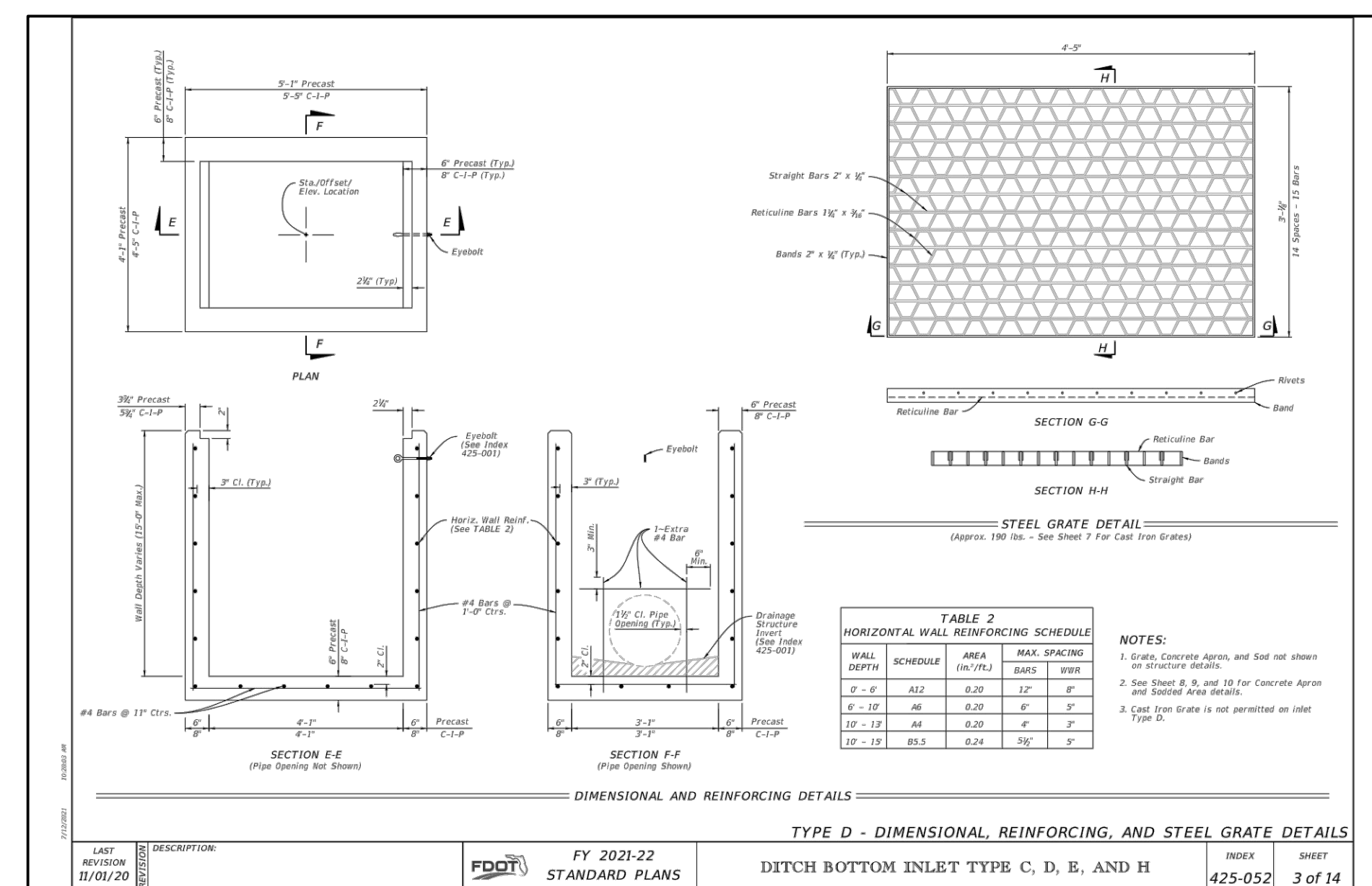
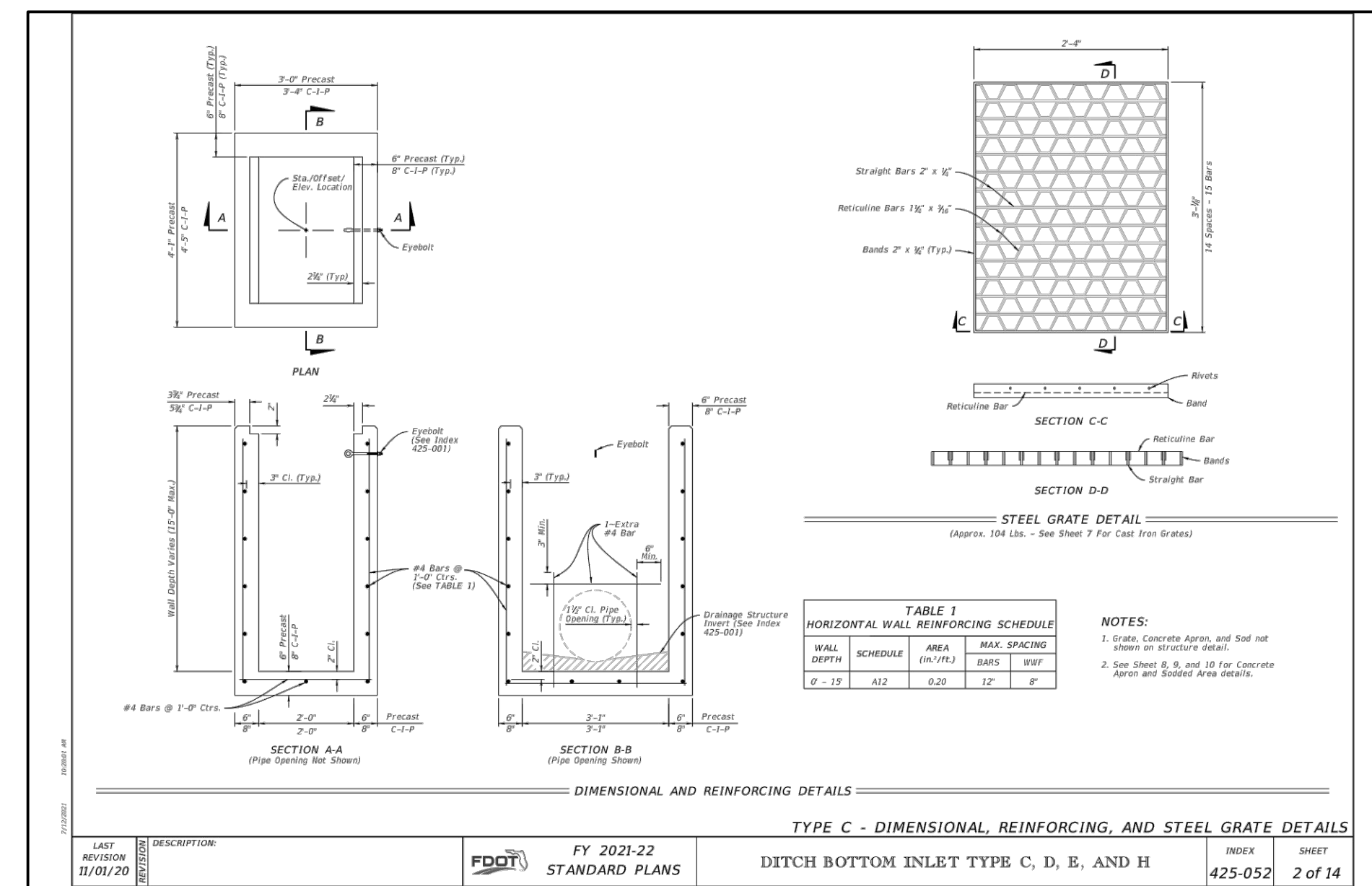
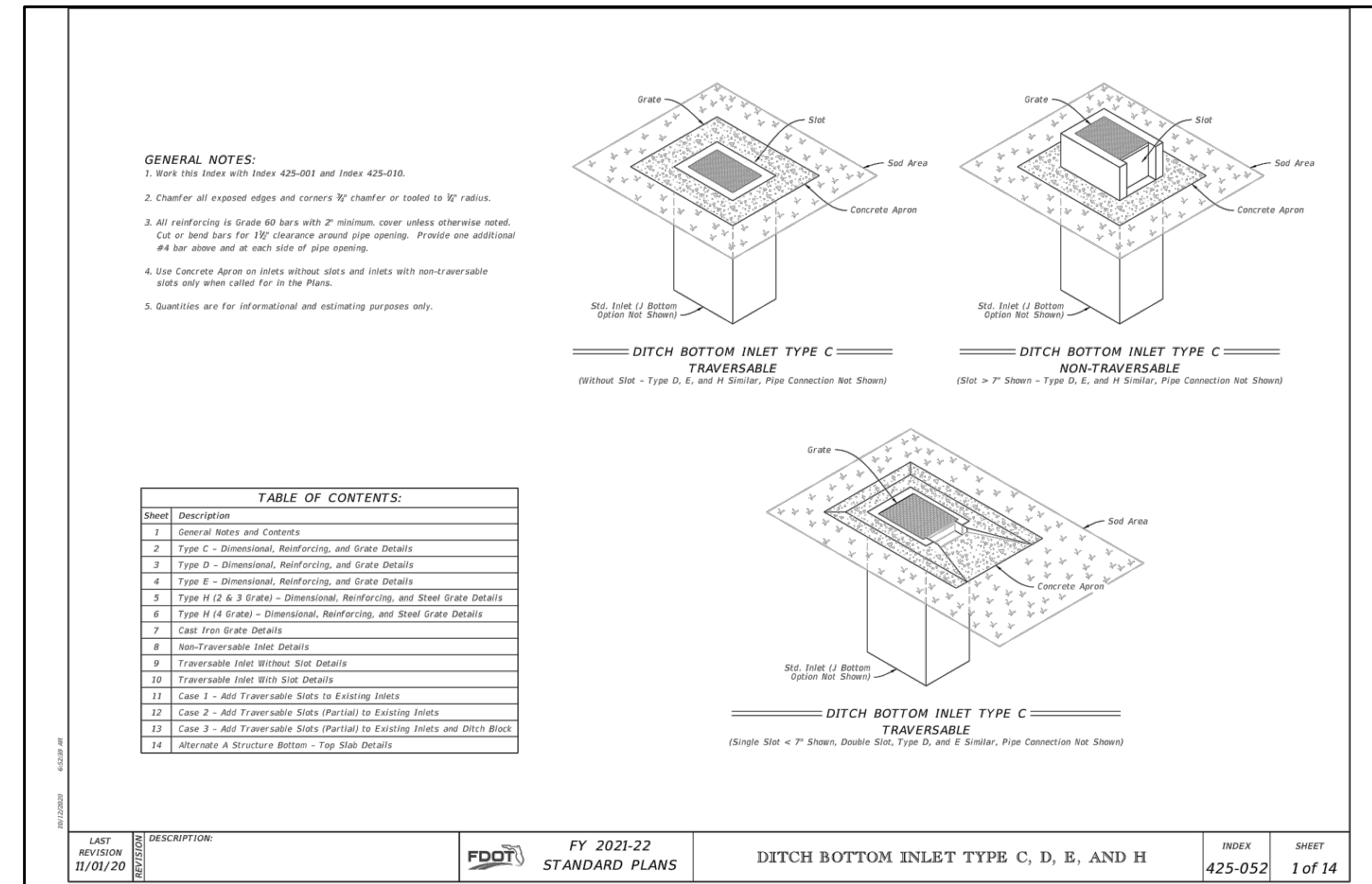
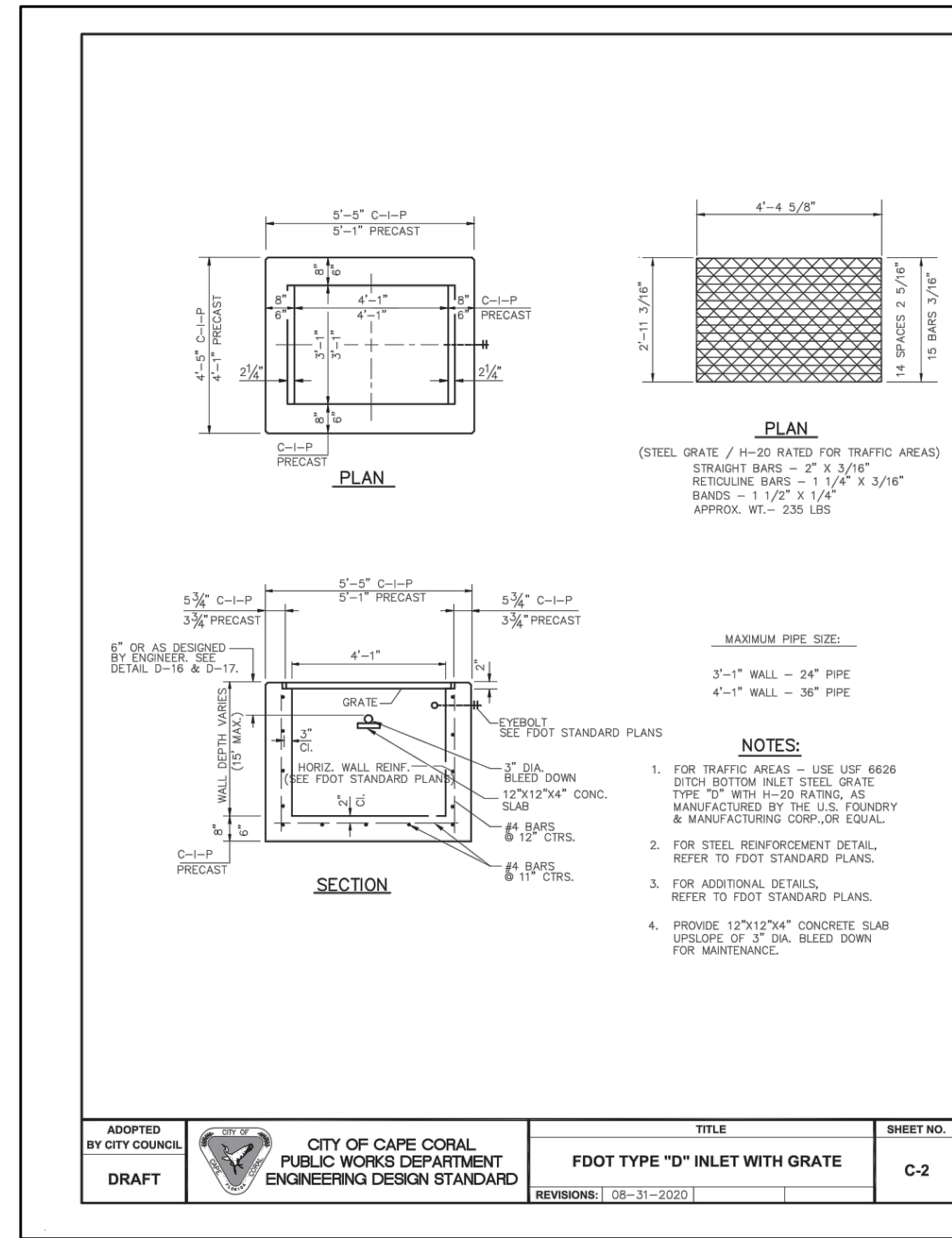
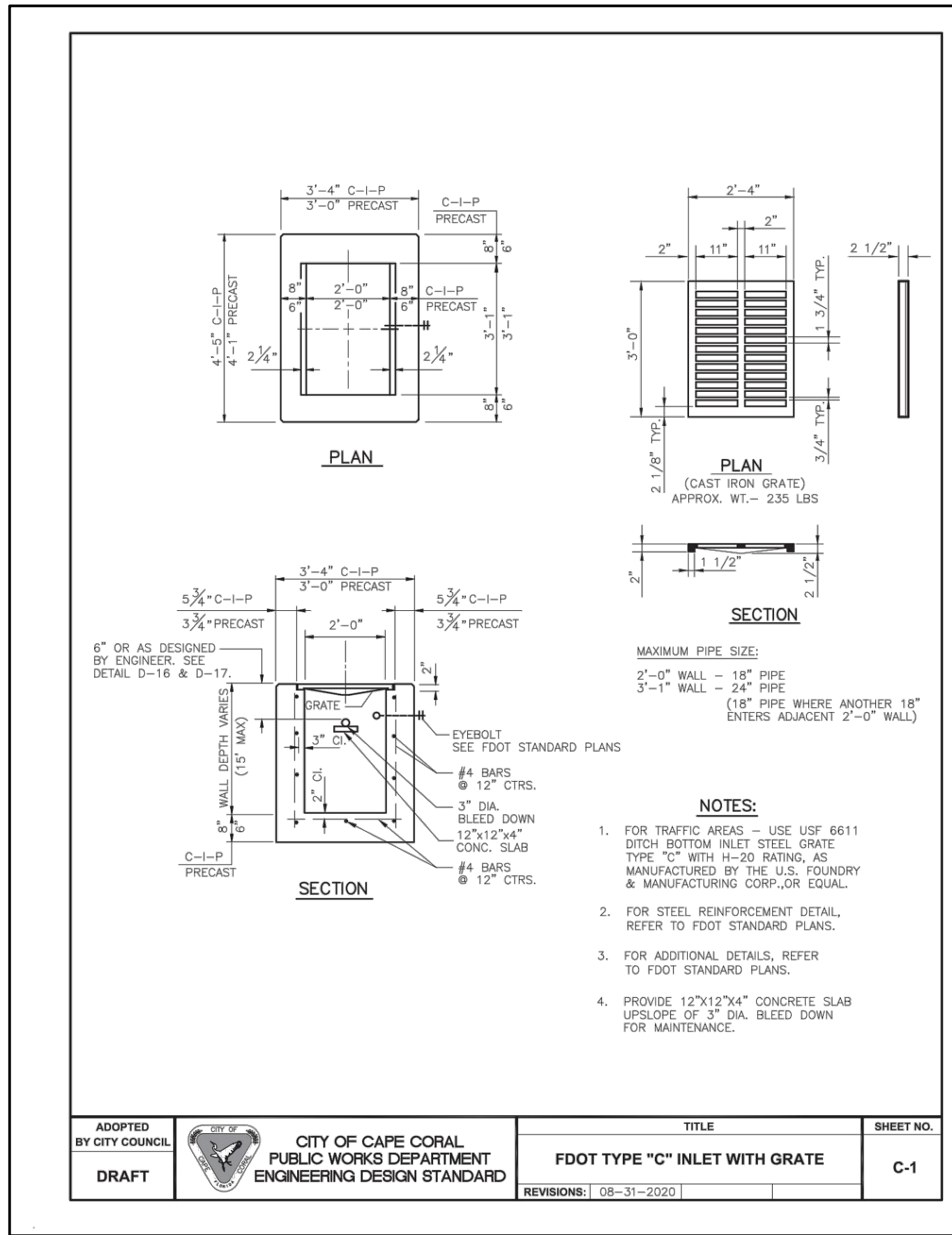


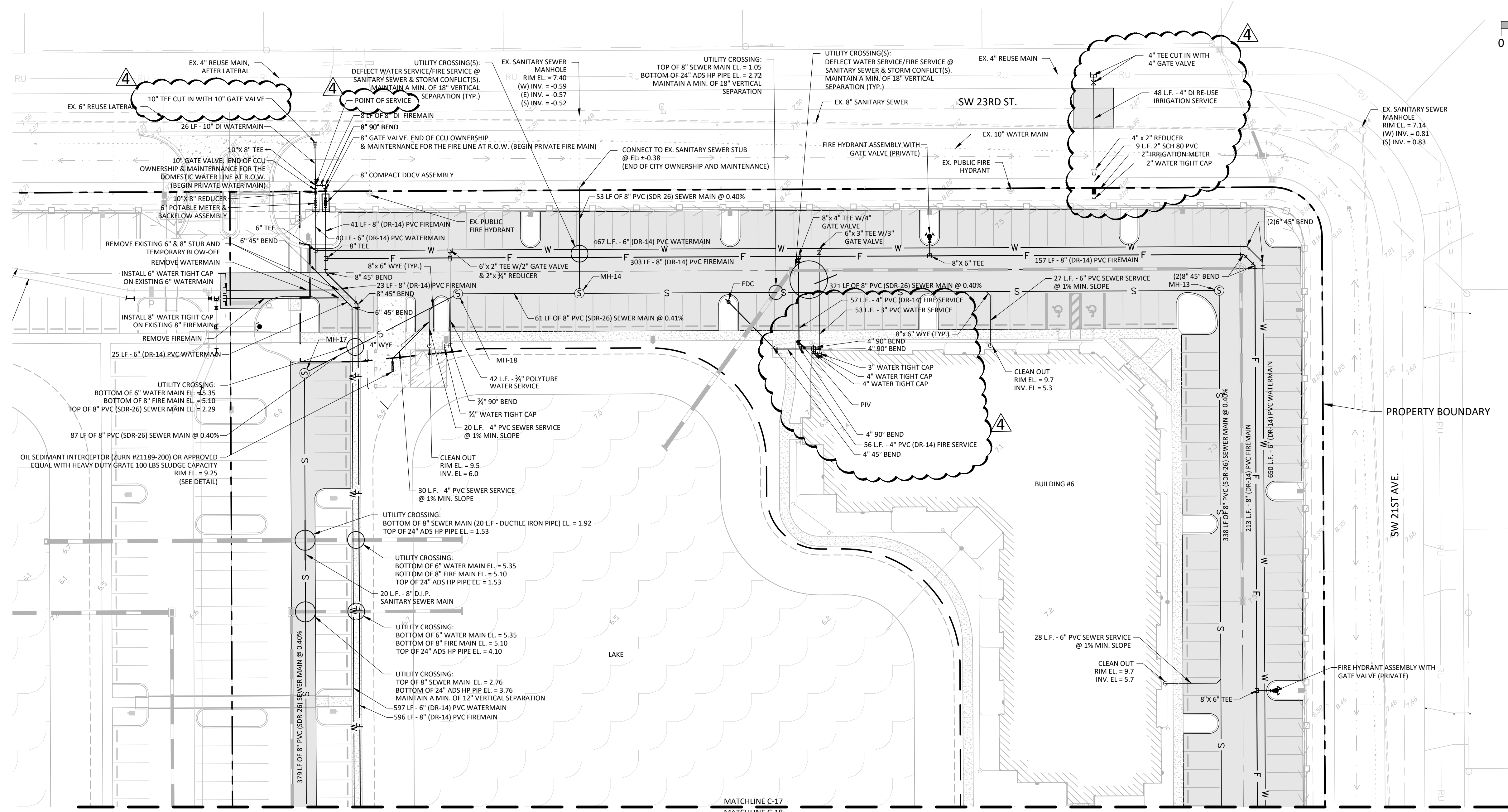
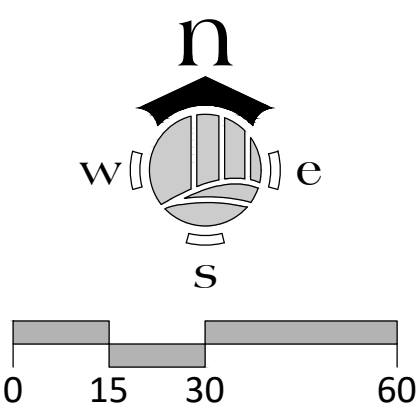
SIDEWALK SECTION (WHEN ADJACENT TO PAVEMENT)
 N.T.S.

NOTE: CONCRETE TO BE 3,000 PSI WITH CONTRACTION JOINTS AT 5' INTERVALS.

NO.	REVISION	DATE	DESCRIPTION
R1	PER CITY COMMENTS	10-28-21	
R2	PER CITY COMMENTS	11-30-21	
R3	PER CITY COMMENTS	2-23-22	
R4	PER CITY COMMENTS	4-15-22	

DATE:	8-20-21
PROJECT NO.:	1364-03
FILE NO.:	1364-03 PGD.dwg
SCALE:	AS SHOWN





PROJECT ANTICIPATED FLOW DEMANDS:

PER FAC 64E
 200 GPD PER UNIT = 200 X 204 = 40,800 GPD
 TOTAL GPD = 40,800 GPD FOR WATER AND SEWER

BUILDING FIRE FLOW REQUIREMENT:

PER NFPA:
 BUILDINGS 4-6, (TYPE V-A SPRINKLERED)
 24,300 S.F. x 4 FLOORS = 97,200 S.F. = 5,500 GPM REQUIRED
 75% REDUCTION FOR SPRINKLERS = 5,500 x 0.25 = 1,375 GPM REQUIRED FOR EACH BUILDING

CLUB HOUSE (TYPE V-B NON-SPRINKLERED)
 3,465 S.F. = 1,500 GPM REQUIRED

MAINTENANCE BUILDING (TYPE V-B NON-SPRINKLERED)
 341 S.F. = 1,500 GPM REQUIRED

STRUCTURE SCHEDULE:

MH-13 SANITARY MANHOLE RIM ELEV.: 9.30 INV IN: (S) 1.31 (8") INV OUT: (W) 1.21 (8") BOTTOM ELEV.: 1.21	MH-14 SANITARY MANHOLE RIM ELEV.: 8.74 INV IN: (E) -0.07 (8") INV IN: (W) 0.78 (8") INV OUT: (N) -0.17 (8") BOTTOM ELEV.: -0.24	MH-17 SANITARY MANHOLE RIM ELEV.: 9.13 INV IN: (S) 1.58 (8") INV IN: (NE) 1.48 (8") BOTTOM ELEV.: 1.48	MH-18 SANITARY MANHOLE RIM ELEV.: 9.00 INV IN: (SW) 1.13 (8") INV OUT: (E) 1.03 (8") BOTTOM ELEV.: 1.00
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SITE IRRIGATION CALCULATIONS

ANTICIPATED IRRIGATED AREA - 64,469 SQUARE FEET
 ETO X PF X SF X 0.62 / IE
 0.2 X .80 X 64,469 X 0.62 / 0.75 = 8,527 GPD

ETO = EVAPOTRANSPIRATION DATA
 PF = PLANT FACTOR
 SF = AREA IN SQUARE FEET
 0.62 = CONSTANT VALUE FOR CONVERSION
 IE = IRRIGATION EFFICIENCY

NOTES:

- ALL ON-SITE UTILITIES (SANITARY, POTABLE WATER, FIRE & IRRIGATION) ARE PRIVATE AND WILL BE MAINTAINED BY THE PROPERTY OWNER OR MASTER ASSOCIATION.
- ALL WATER STUBS BEING REMOVED SHALL HAVE THE VALVE BOXES REMOVED AND A LOCATOR INSTALLED ON THE REMAINING GATE VALVES.
- NOTE TO CONTRACTOR / OWNER: PER 2018 NFPA 1-11.10, TWO-WAY RADIO COMMUNICATION ENHANCEMENT SYSTEMS SHALL COMPLY AT THE CONCLUSION OF CONSTRUCTION (NFPA 72-24.5.2.1)
- NOTE TO CONTRACTOR / OWNER: A THIRD PARTY WILL VERIFY BEFORE (AT BUILDING PLAN REVIEW AS A MODEL) OR AFTER (PRIOR TO FIRE FINAL INSPECTION) CONSTRUCTION THAT THE BUILDING MEETS THE REQUIREMENTS OF NFPA 72 FOR RADIO SIGNAL STRENGTH.

LEGEND

	ASPHALT		BRICK PAVERS
	4" THICK CONCRETE SIDEWALK		EXISTING 6" THICK CONCRETE SIDEWALK
	EXISTING 6" THICK CONCRETE PAVEMENT		EXISTING LAKE

NO.	REVISION	DATE	DESCRIPTION
R1	PER CITY COMMENTS	10-28-21	
R2	PER CITY COMMENTS	11-30-21	
R3	PER CITY COMMENTS	2-23-22	
R4	PER CITY COMMENTS	4-15-22	

DATE:	8-20-21
PROJECT NO.:	1364-03
FILE NO.:	1364-03 UTIL.dwg
SCALE:	AS SHOWN

UTILITY PLAN

SHEET TITLE

C-17

SHEET NUMBER

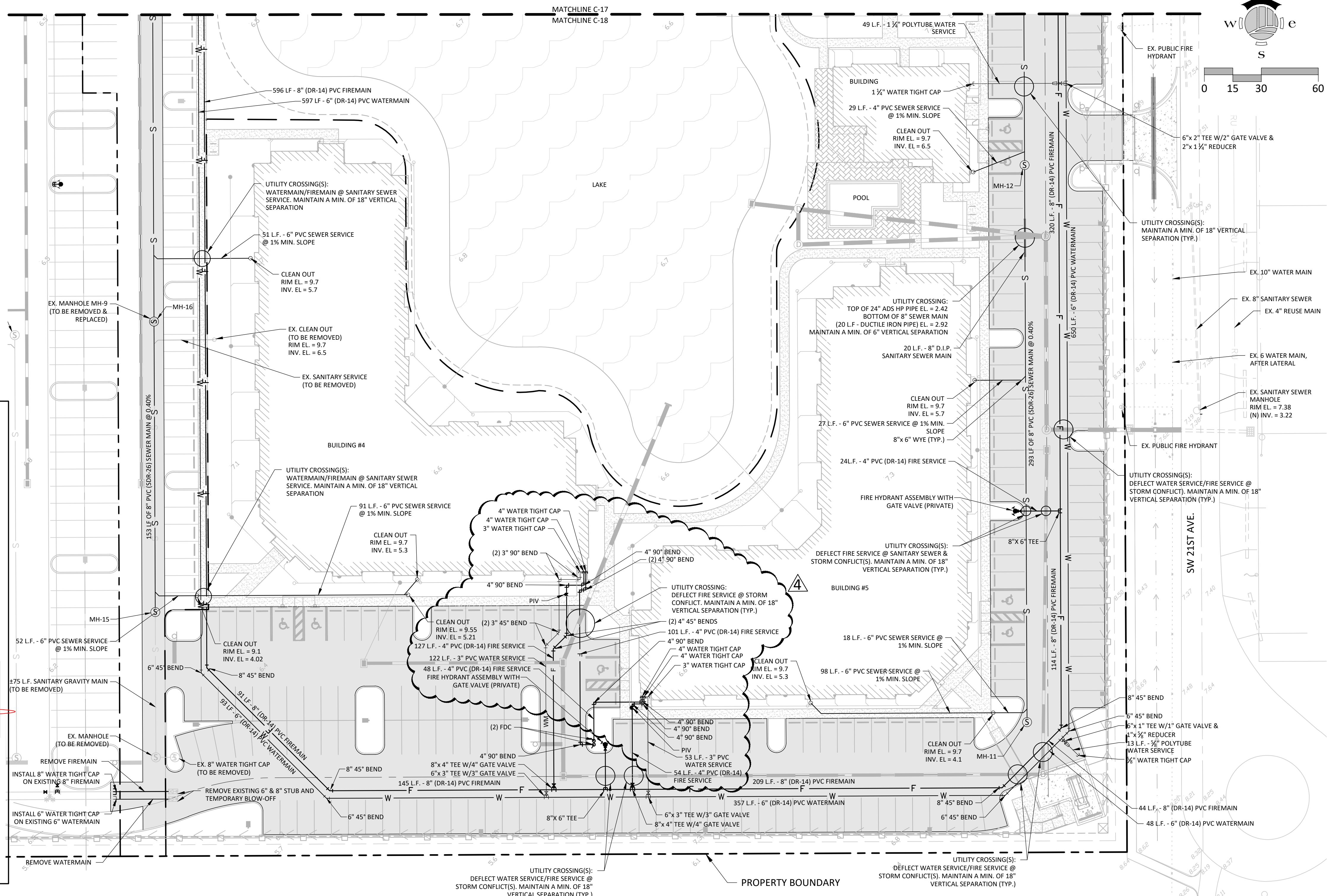
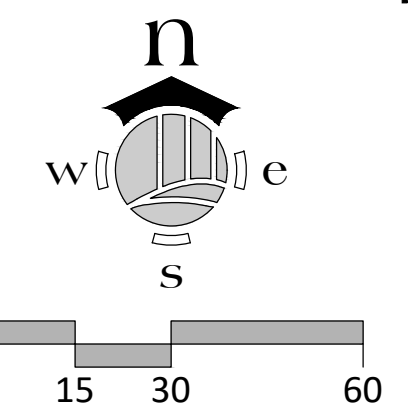
NO.	DATE	REVISION	DESCRIPTION
R1	10-28-21		PER CITY COMMENTS
R2	11-30-21		PER CITY COMMENTS
R3	2-23-22		PER CITY COMMENTS
R4	4-15-22		PER CITY COMMENTS

DATE:	8-20-21
PROJECT NO.:	1364-03
FILE NO.:	1364-03 UTIL.dwg
SCALE:	AS SHOWN

UTILITY PLAN

SHEET TITLE

C-18
 SHEET NUMBER



ZURN Z1189 OIL/SEDIMENT INTERCEPTOR WITH HEAVY-DUTY GRATE

Dimensional Data (inches and [mm]) are Subject to Manufacturing Tolerances and Change Without Notice

Size	Sludge Capacity Lbs. [kg]	Grate Open Area [cm ²]	Approx. Wet Lbs. [kg]	A Vent Size	B Pipe Size	Dimension in Inches									
						C	D	E	F	G	H				
12	12 [5]	49 [316]	1	1 7/8 [32]	2 [50]	15 [381]	10 1/2 [267]	17 1/8 [435]	11 3/8 [289]	12 3/8 [314]					
60	60 [27]	131 [845]	1	1 7/8 [32]	4 [75]	25 1/4 [641]	19 1/4 [489]	17 5/8 [446]	29 1/8 [740]	12 3/8 [314]	24 3/8 [619]				
100	100 [45]	202 [1300]	2	2 [51]	4 [75]	33 [838]	27 [686]	22 [559]	29 1/8 [740]	24 3/8 [619]	24 3/8 [619]				
200	200 [91]	360 [2303]	3	2 [51]	4 [75]	33 [838]	27 [686]	22 [559]	41 1/8 [1044]	24 3/8 [619]	36 3/8 [924]				
300	300 [136]	524 [3390]	4	2 [51]	4 [75]	33 [838]	27 [686]	22 [559]	53 1/8 [1349]	24 3/8 [619]	48 3/8 [1220]				

ENGINEERING SPECIFICATION: ZURN Z1189 Acid Resistant Coated interior and exterior fabricated steel oil/sediment interceptor, bronze cleanout plug and visible double wall trap seal, removable sediment bucket, horizontal baffle, internal vent connection, with Dura-Coated heavy-duty cast iron grate.

PREFIXES:
 Z Acid Resistant Coated Fabricated Steel

SUFFIXES:
 -DG Dunesist Grate
 -E Acid Resistant Coated Interior and exterior fabricated steel extension section. (Specify 'C' Dim. required)
 -K Anchor flange 1 3/4 [44] down from top and 2 [51] wide.
 -KC Anchor flange 1 3/4 [44] down from top and 2 [51] wide with seepage holes and clamp collar.
 -OD Adjustable OD Drawoff
 -SC Heavy-Duty Solid Traffic Cover (max. safe live load 10,000 lbs.)

REV. G DATE: 3/23/06 C.N. NO. 94932
 DWG. NO. 58918 PRODUCT NO. Z1189

*REGULARLY FURNISHED UNLESS OTHERWISE SPECIFIED
 ZURN INDUSTRIES, INC. • SPECIFICATION DRAINAGE OPERATION • 1801 Pittsburgh Ave. • Erie, PA 16514
 Phone: 814-839-9201 • Fax: 814-839-7329 • World Wide Web: www.zurn.com
 In Canada: ZURN INDUSTRIES LIMITED • 3544 Newham Drive • Mississauga, Ontario L4V1L2 • Phone: 905-405-6272 Fax: 905-405-1292

STRUCTURE SCHEDULE:

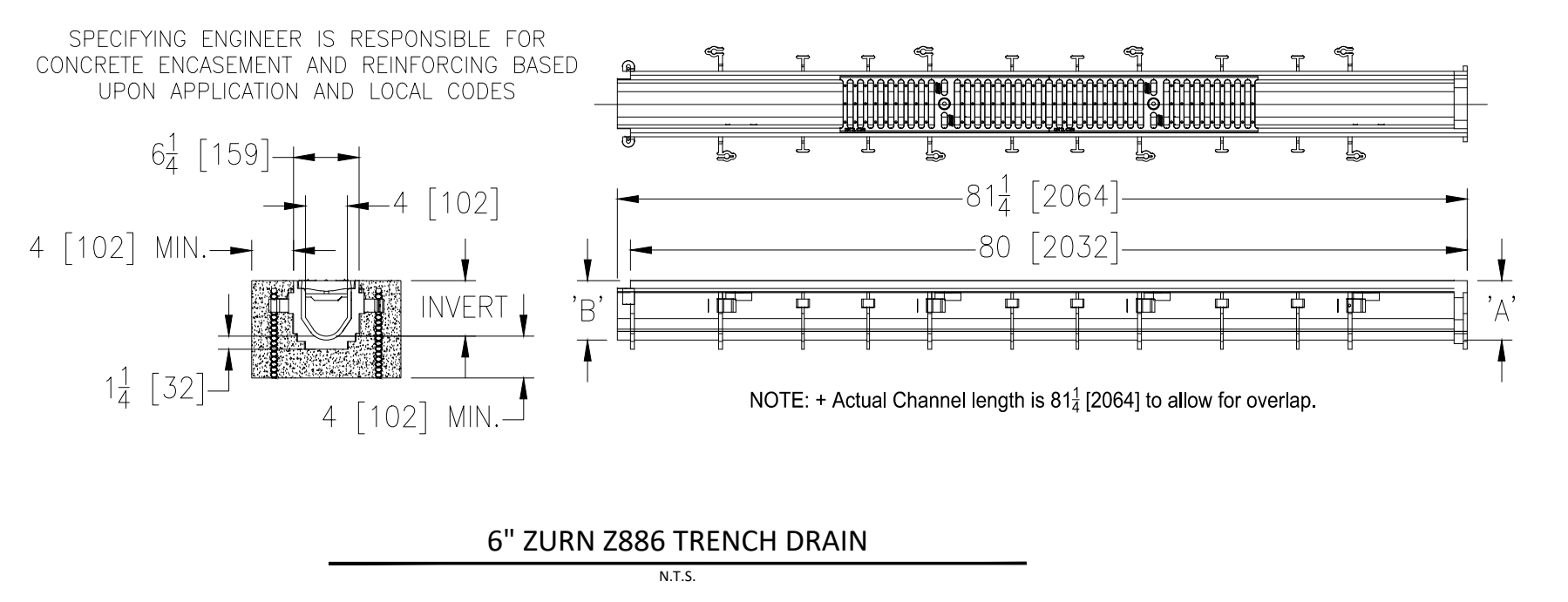
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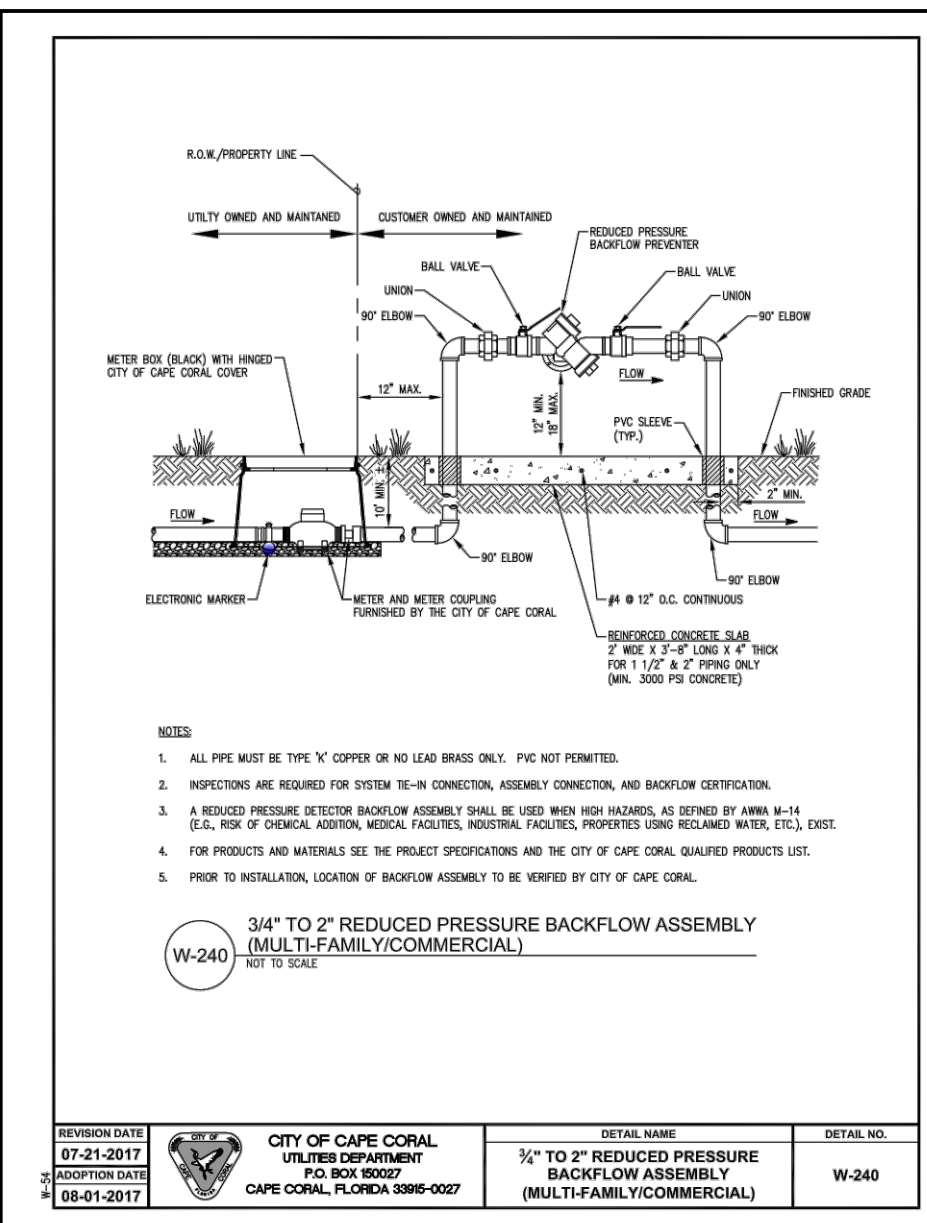
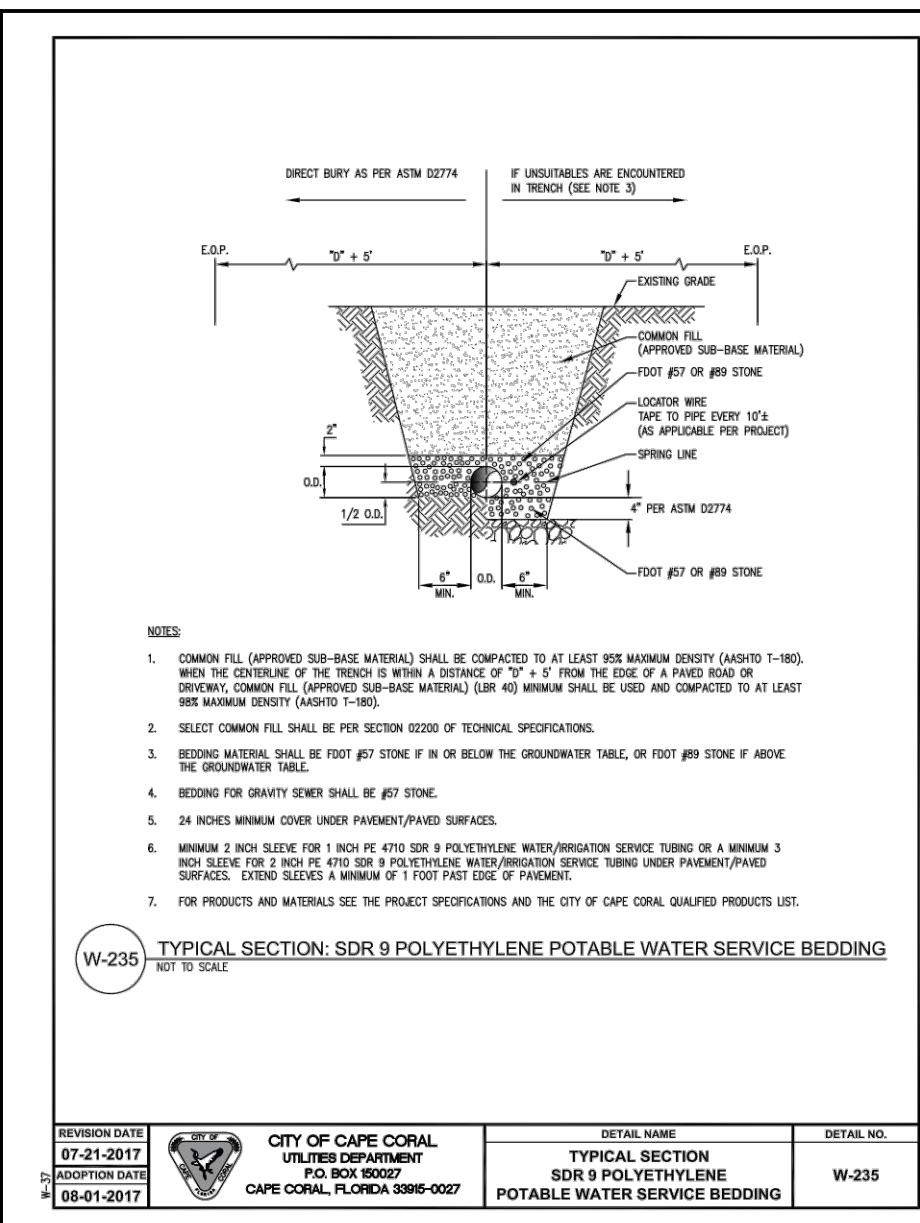
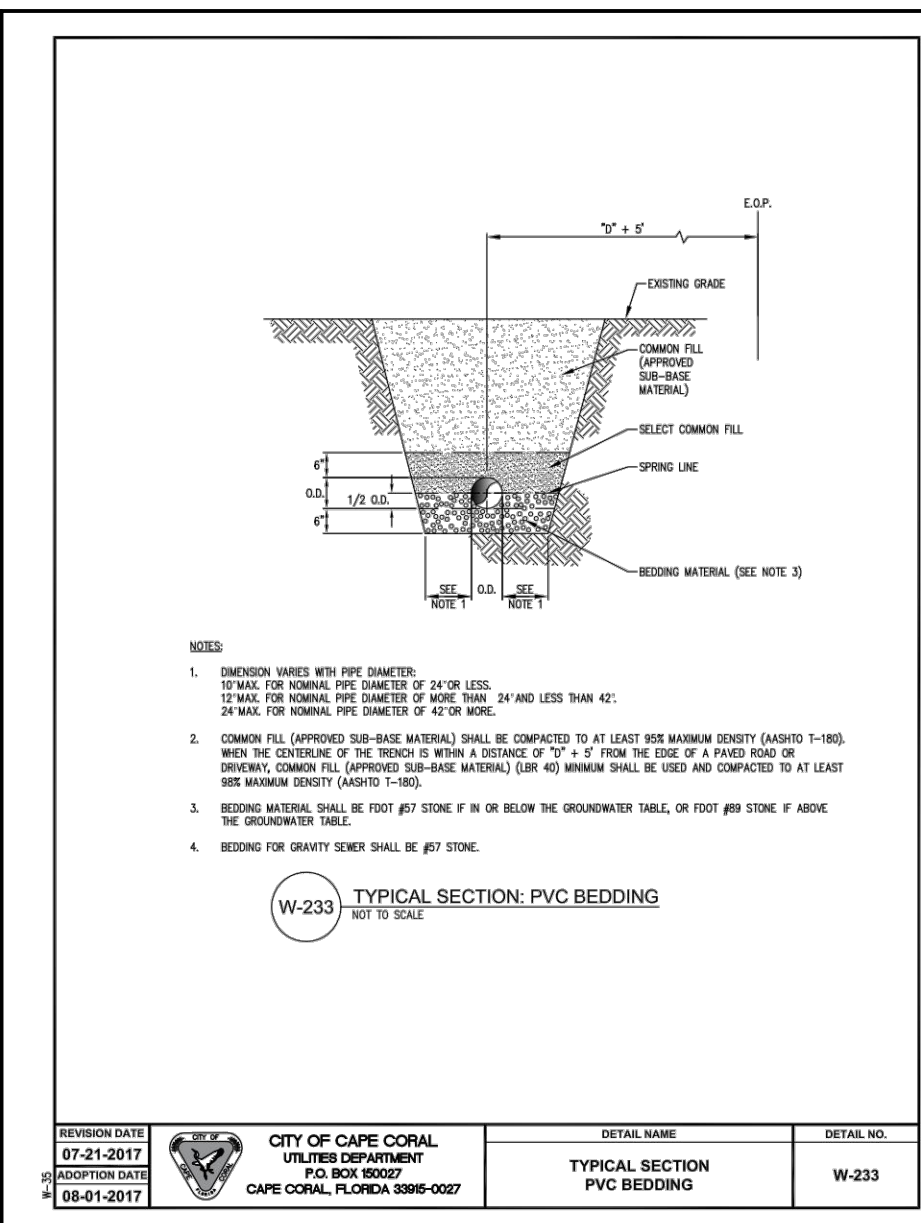
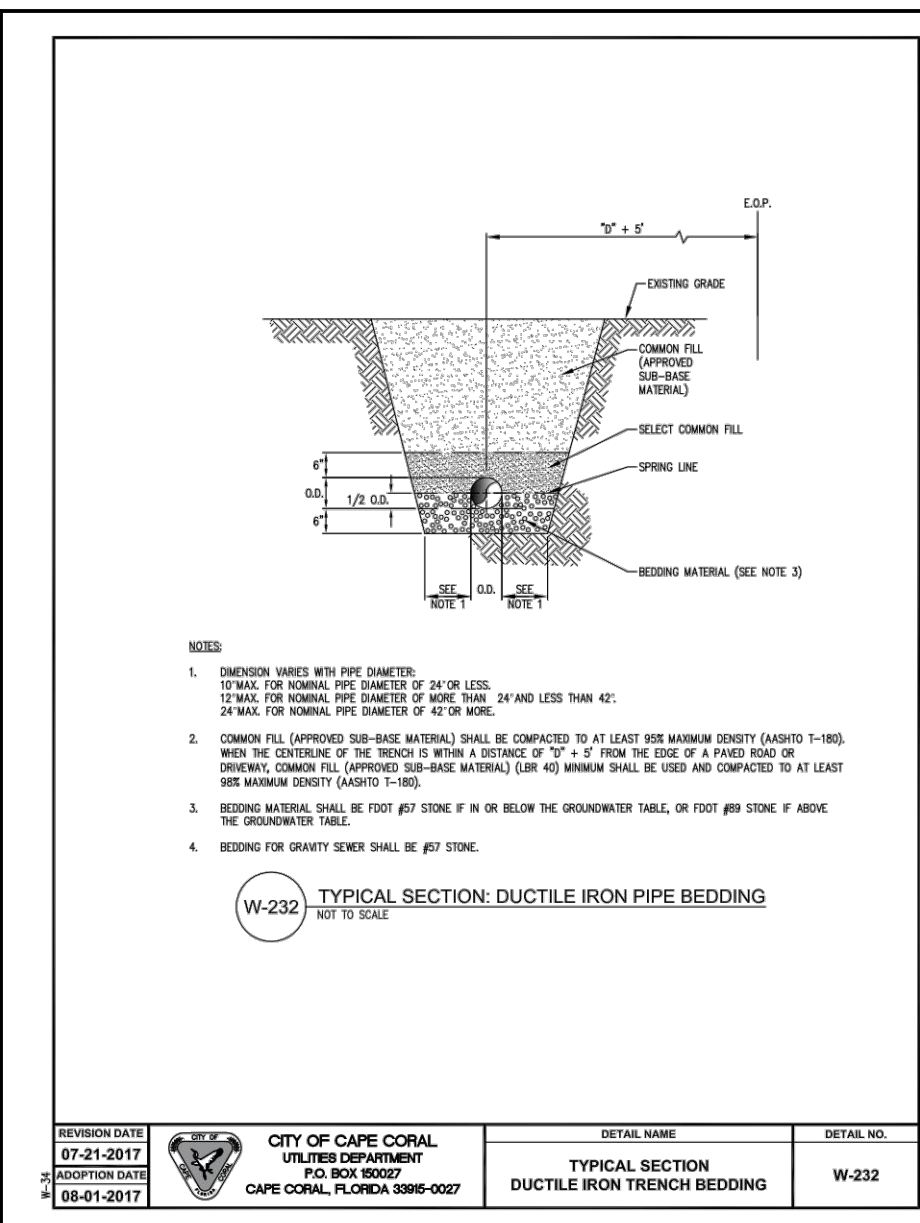
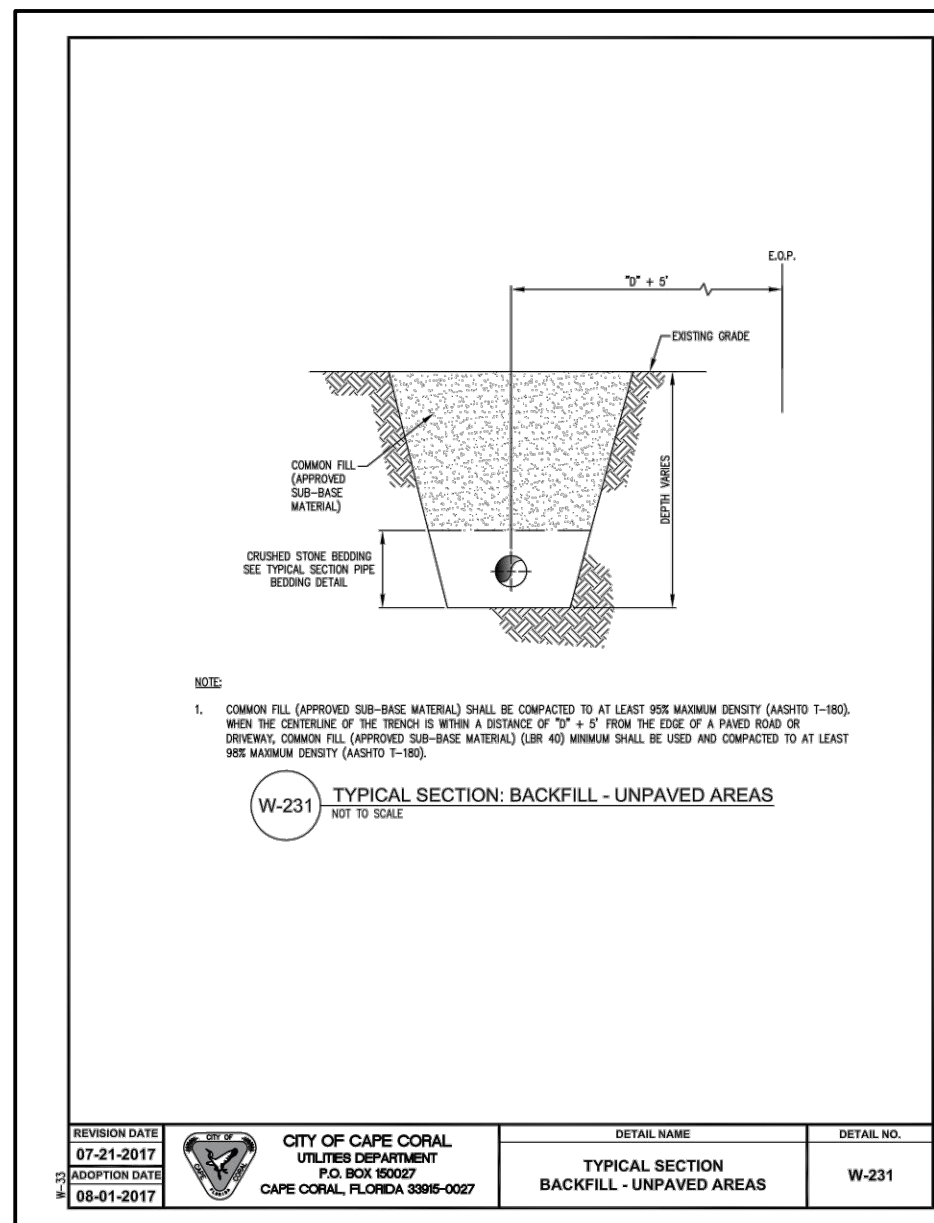
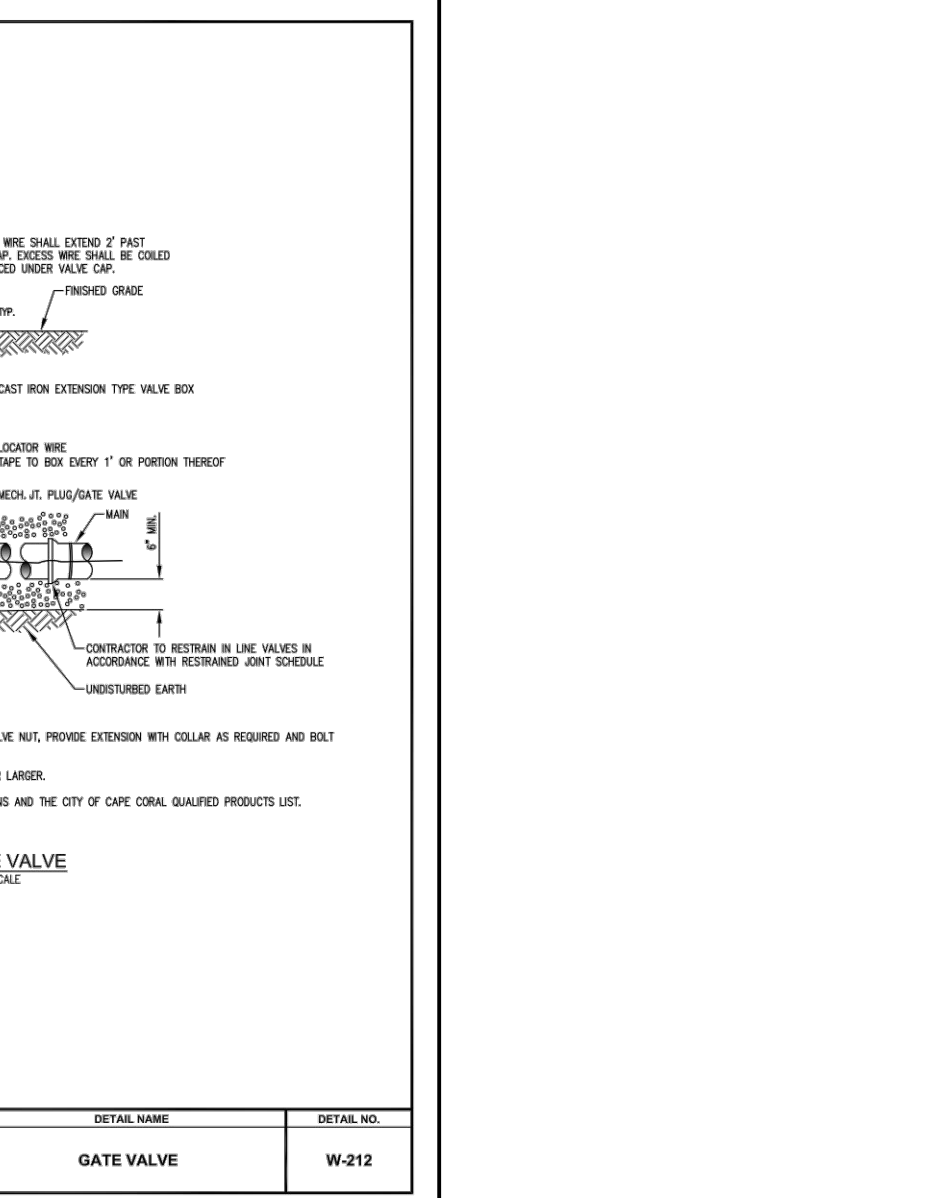
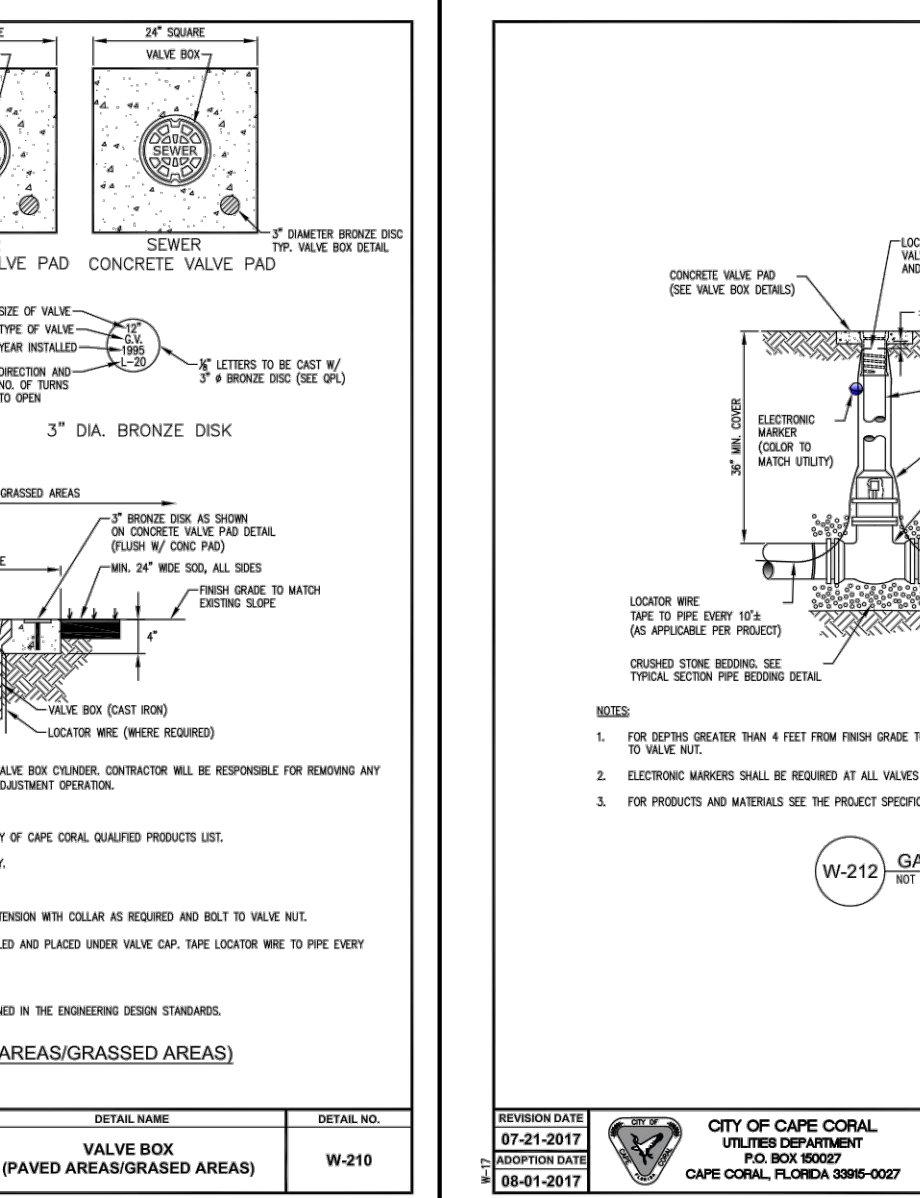
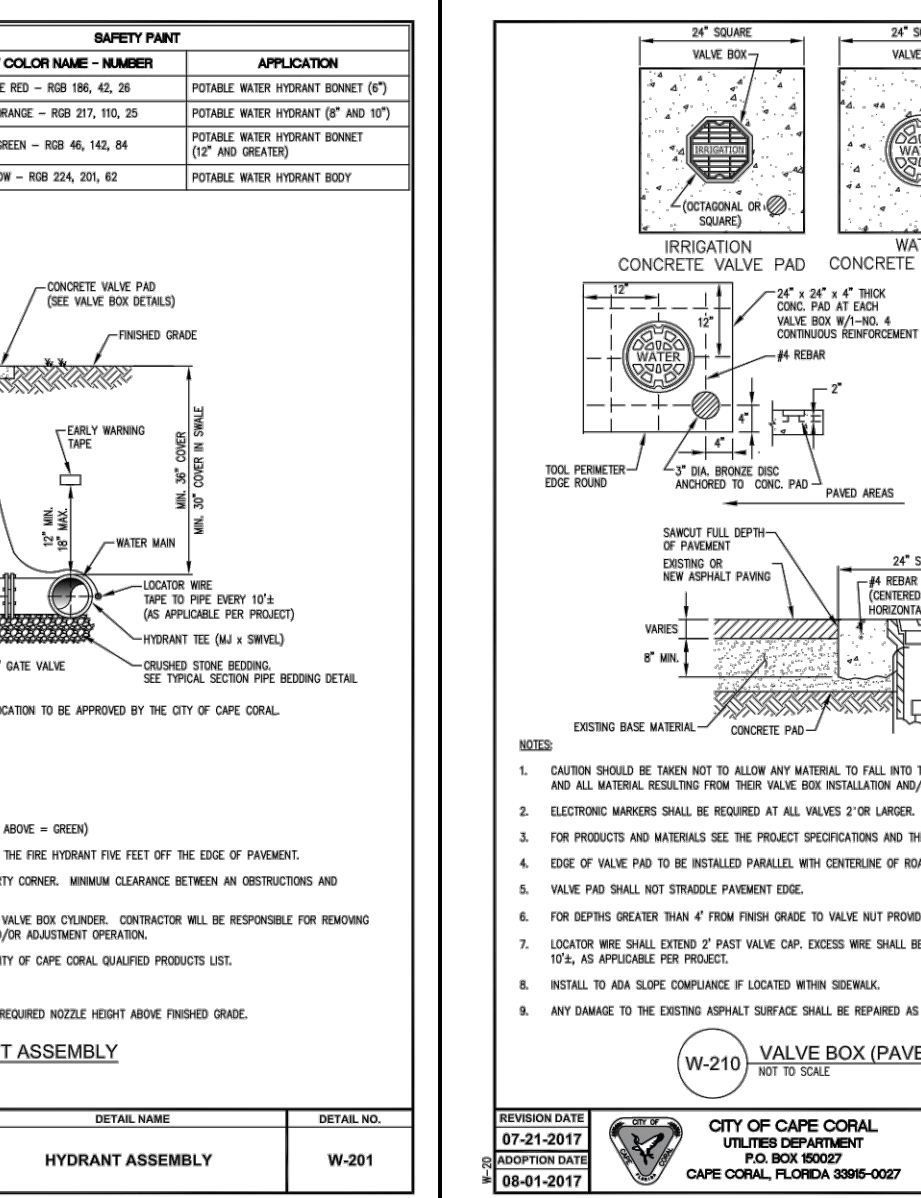
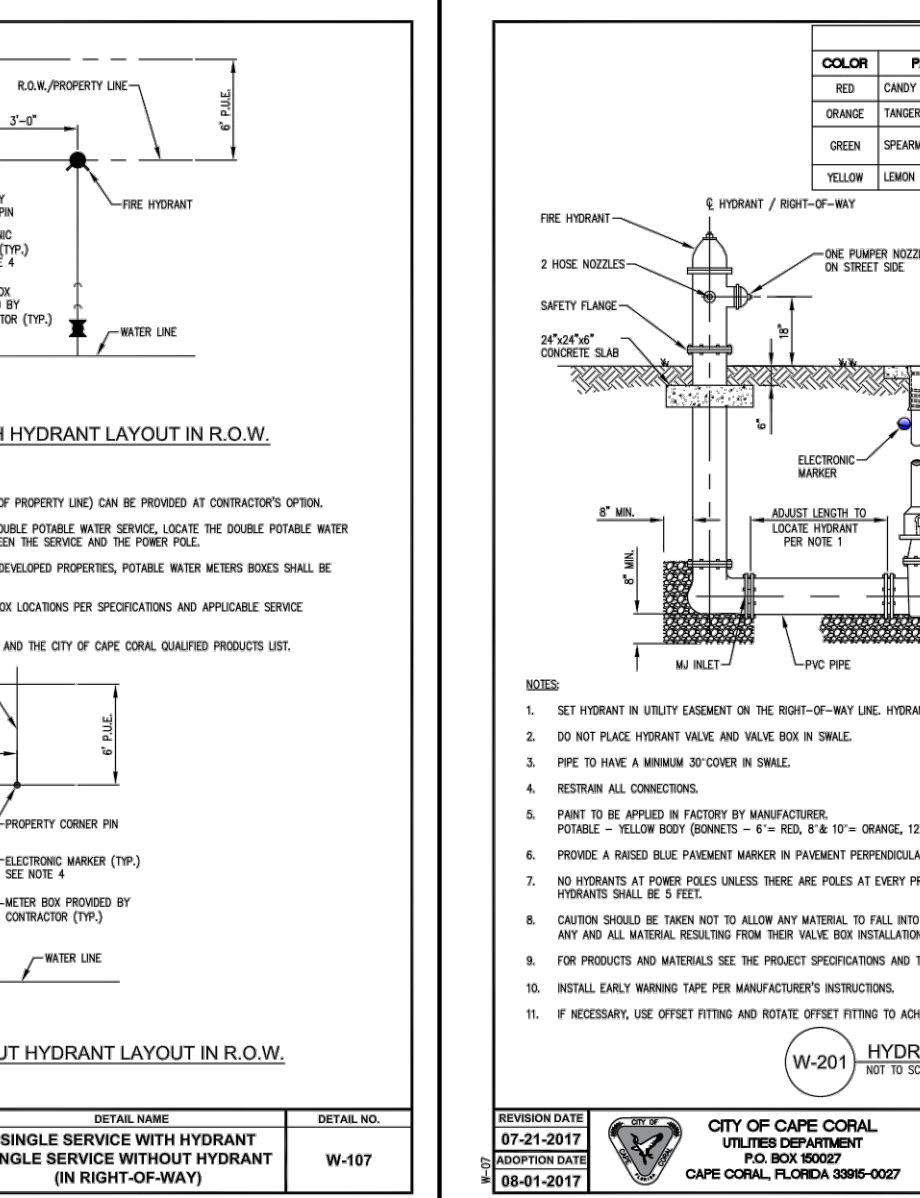
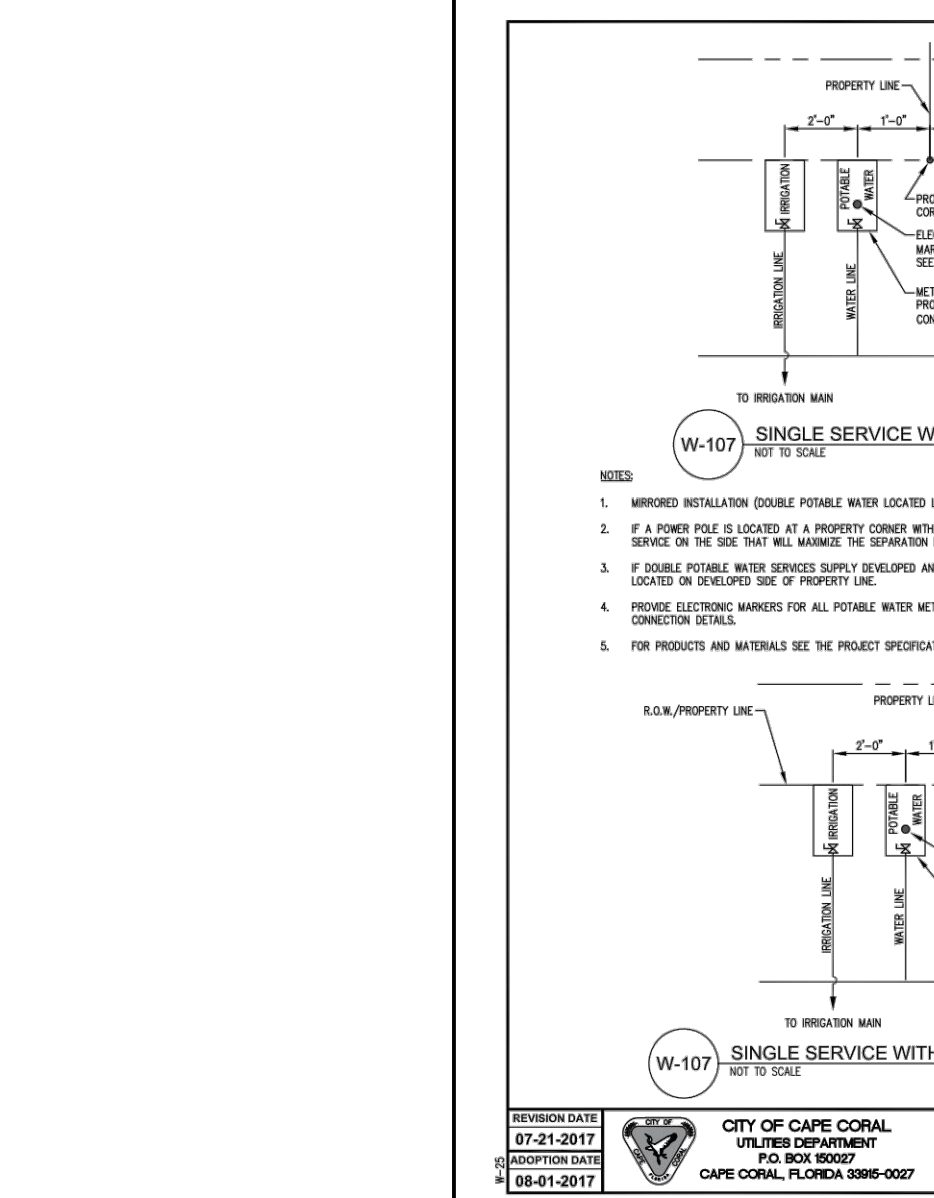
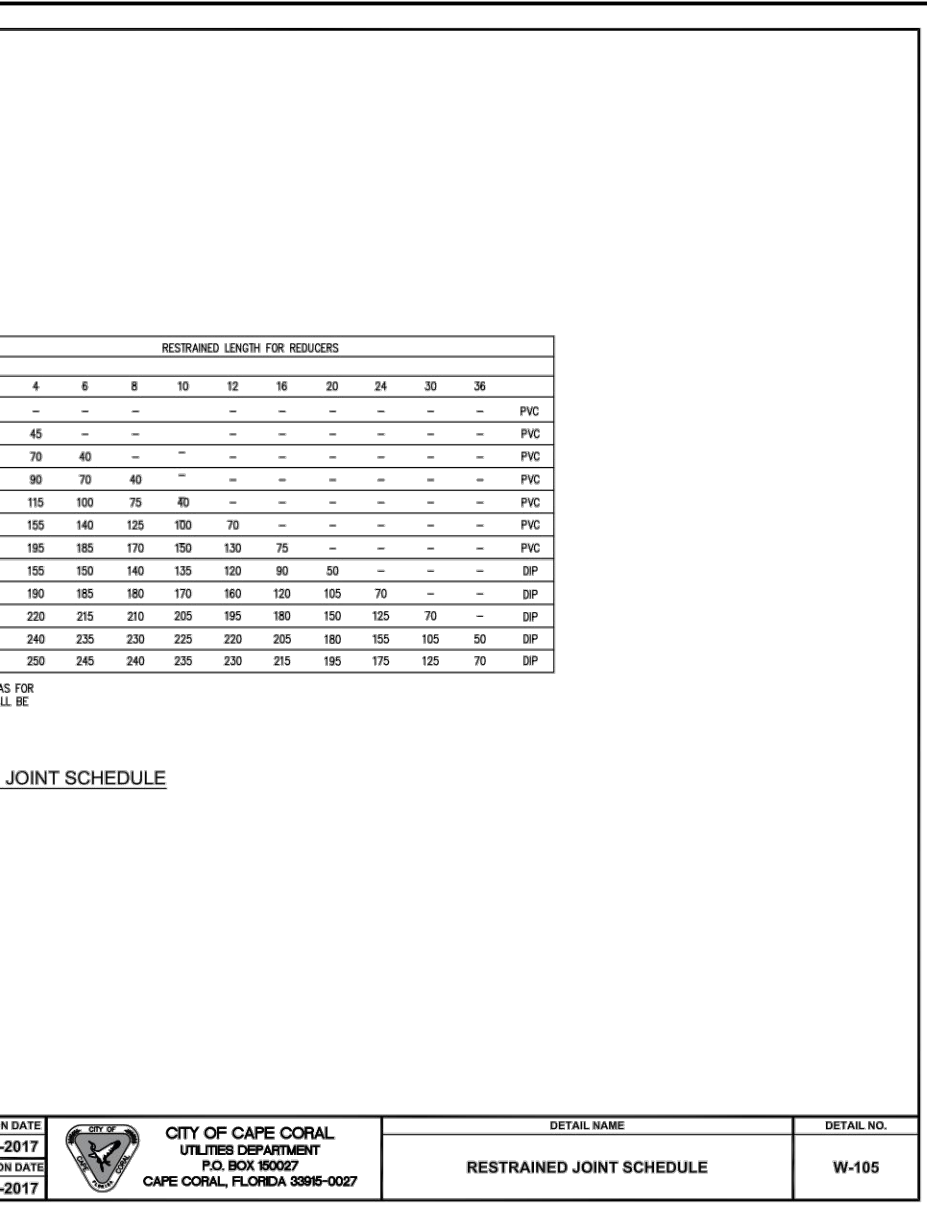
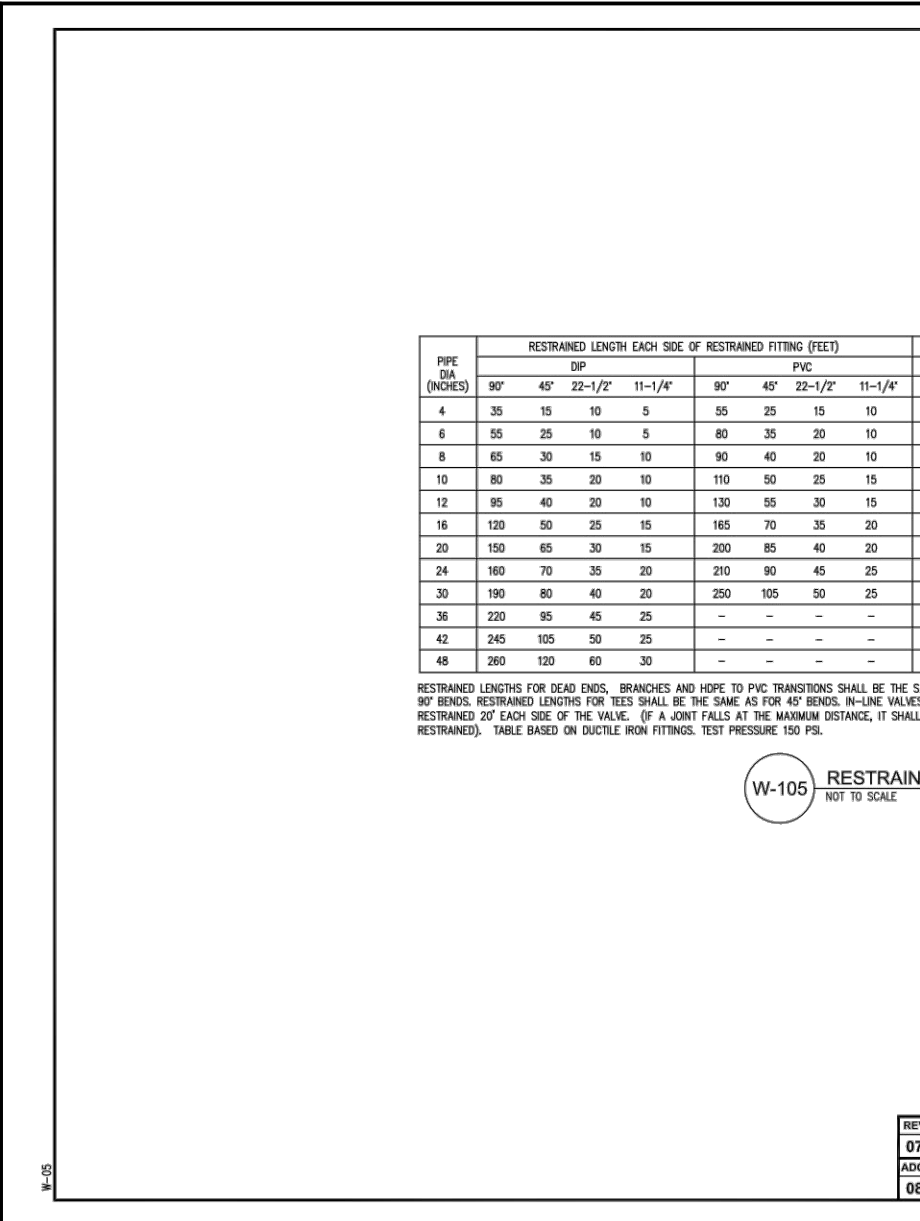
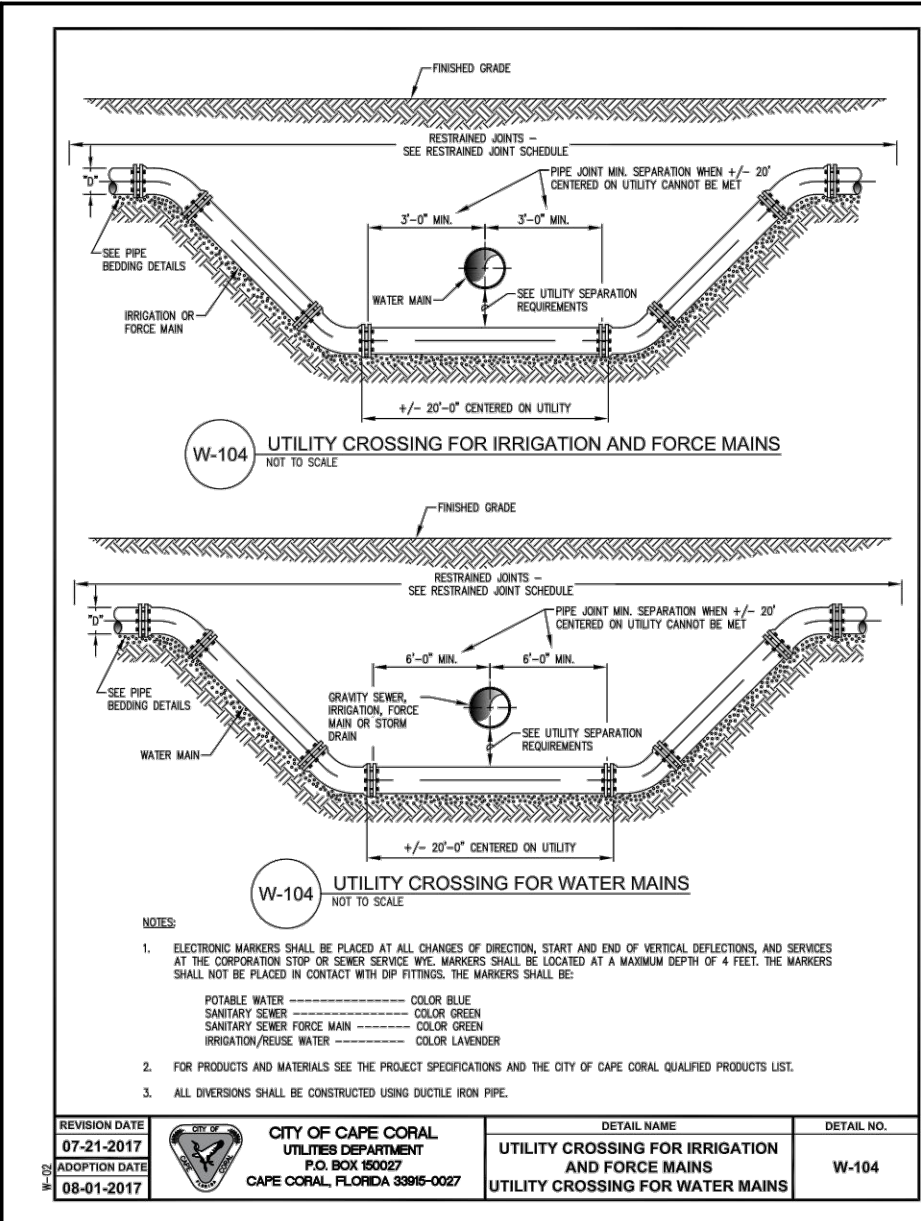
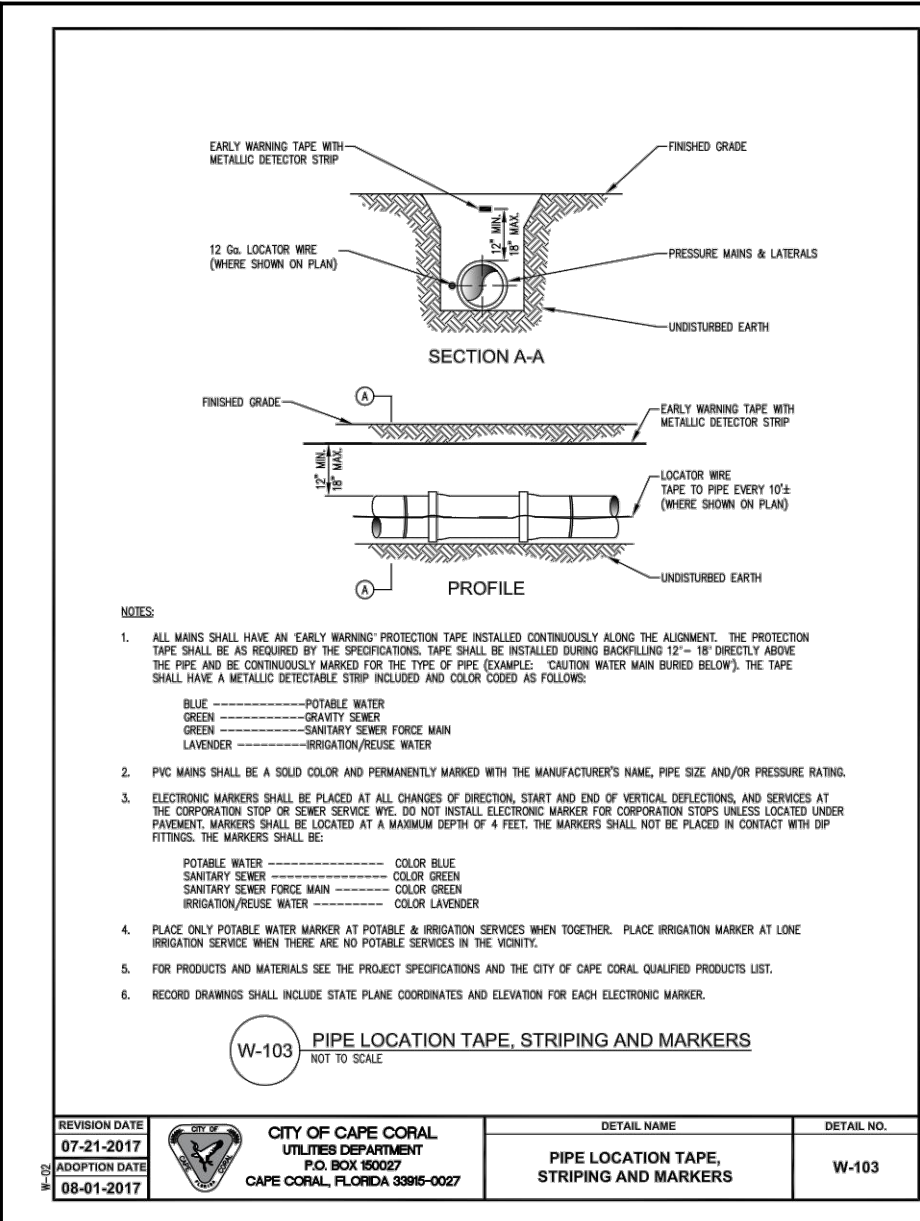
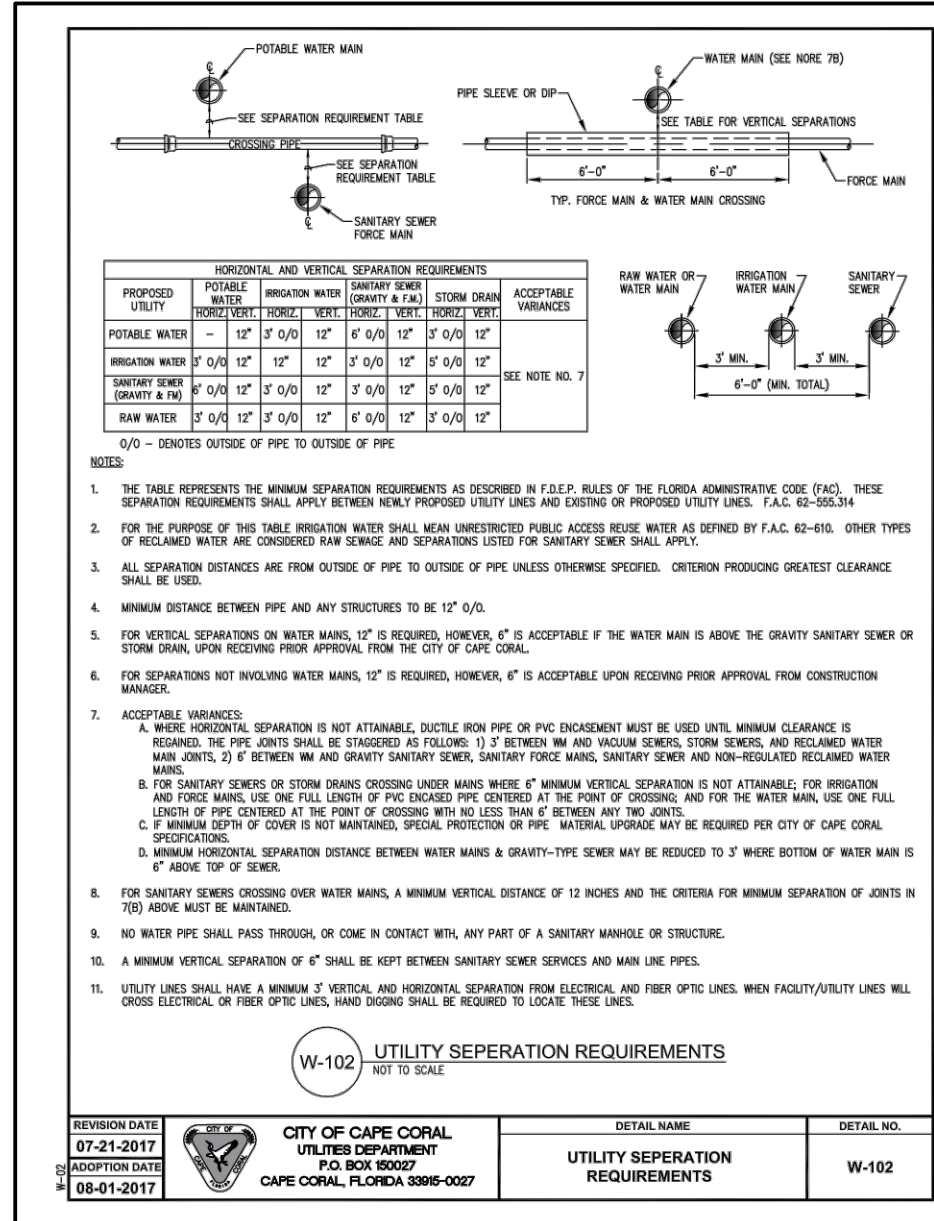
NOTES:

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LEGEND

	ASPHALT		BRICK PAVERS
	4" THICK CONCRETE SIDEWALK		EXISTING 6" THICK CONCRETE SIDEWALK
	EXISTING 6" THICK CONCRETE PAVEMENT		EXISTING LAKE

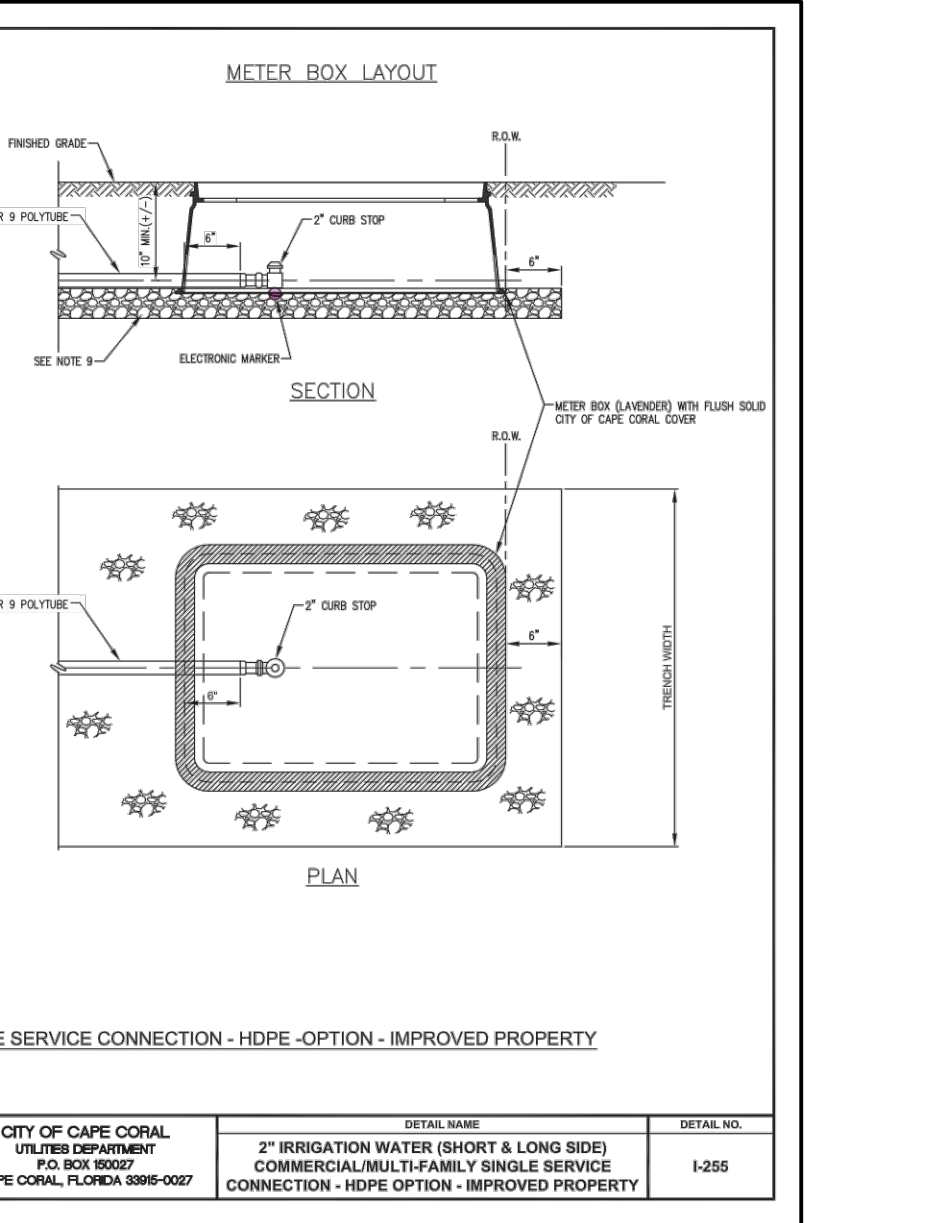
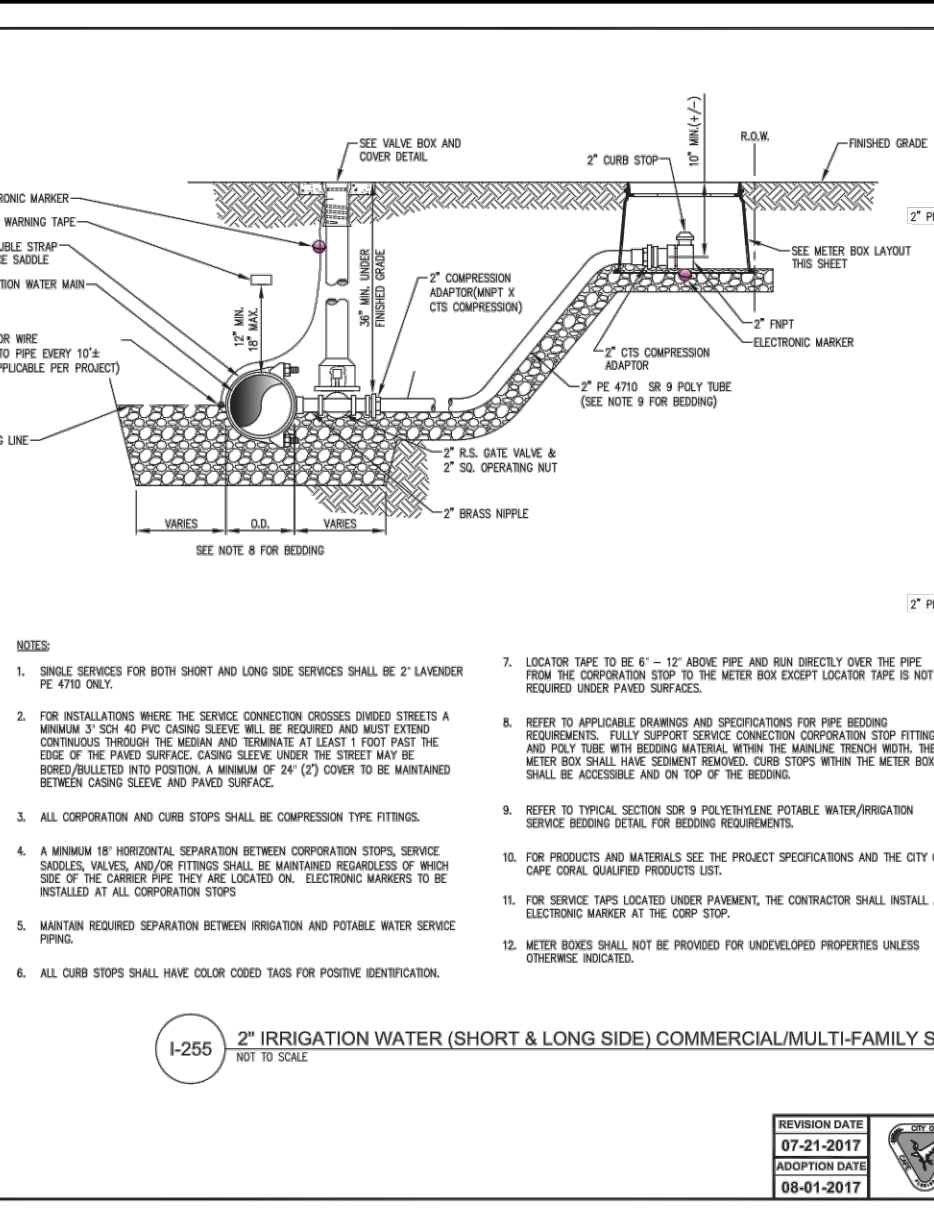
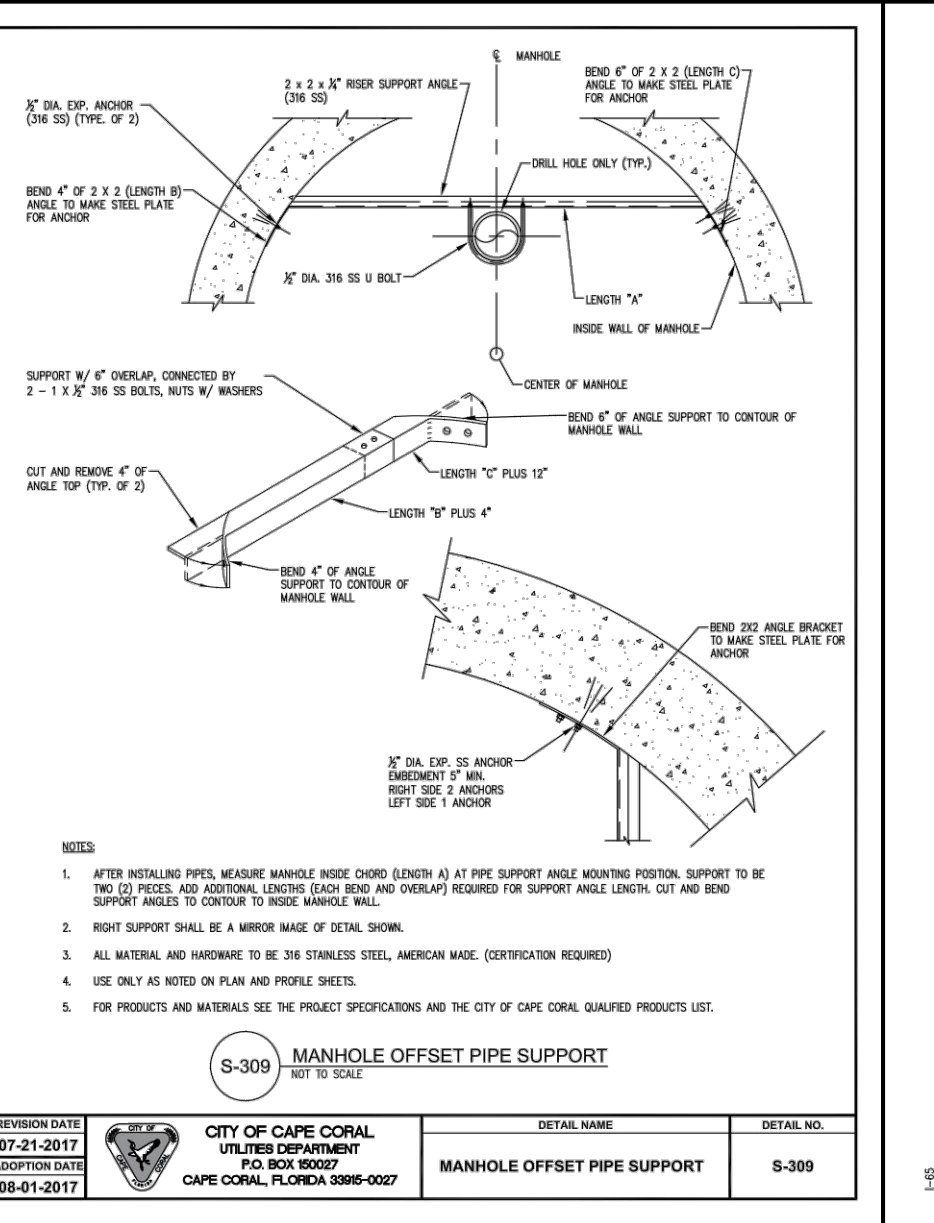
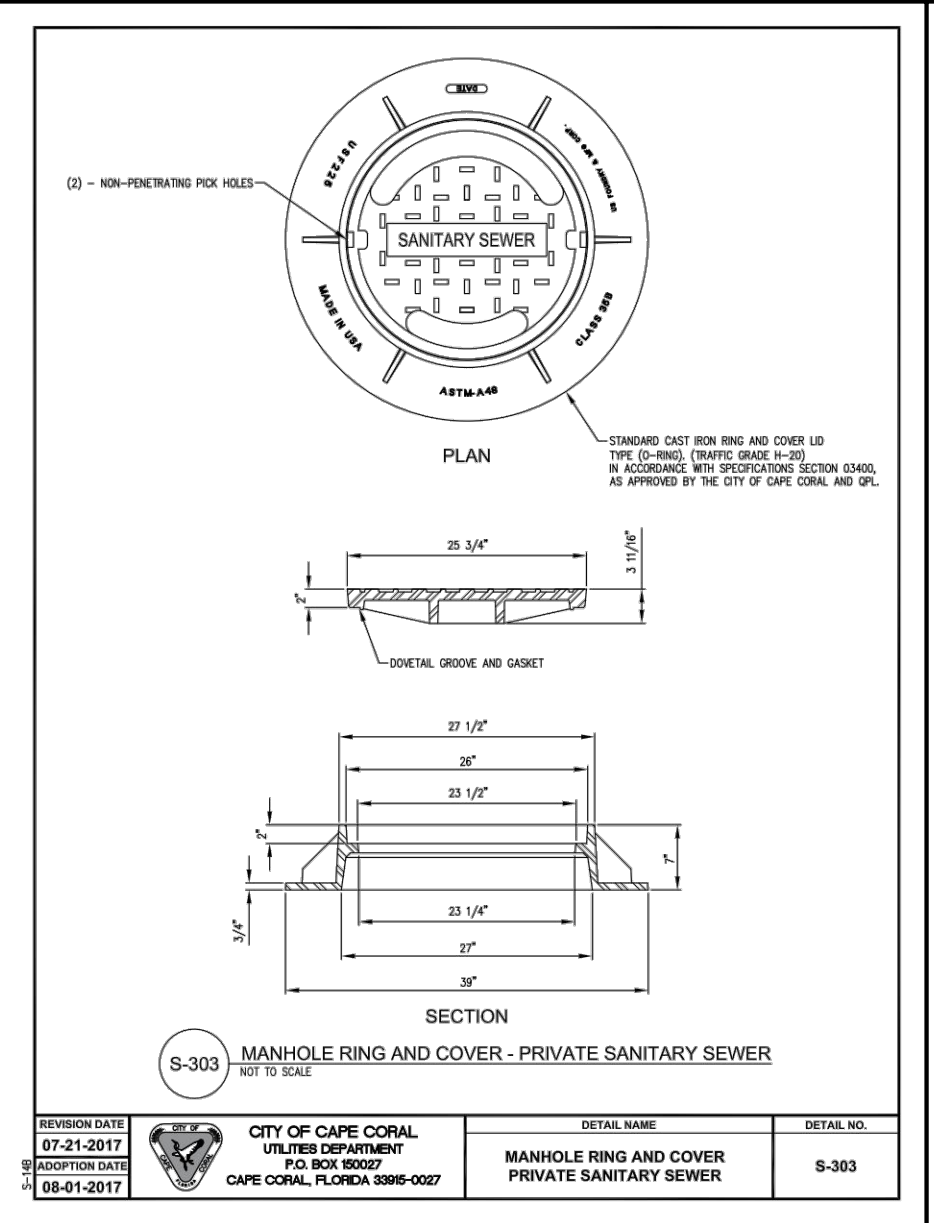
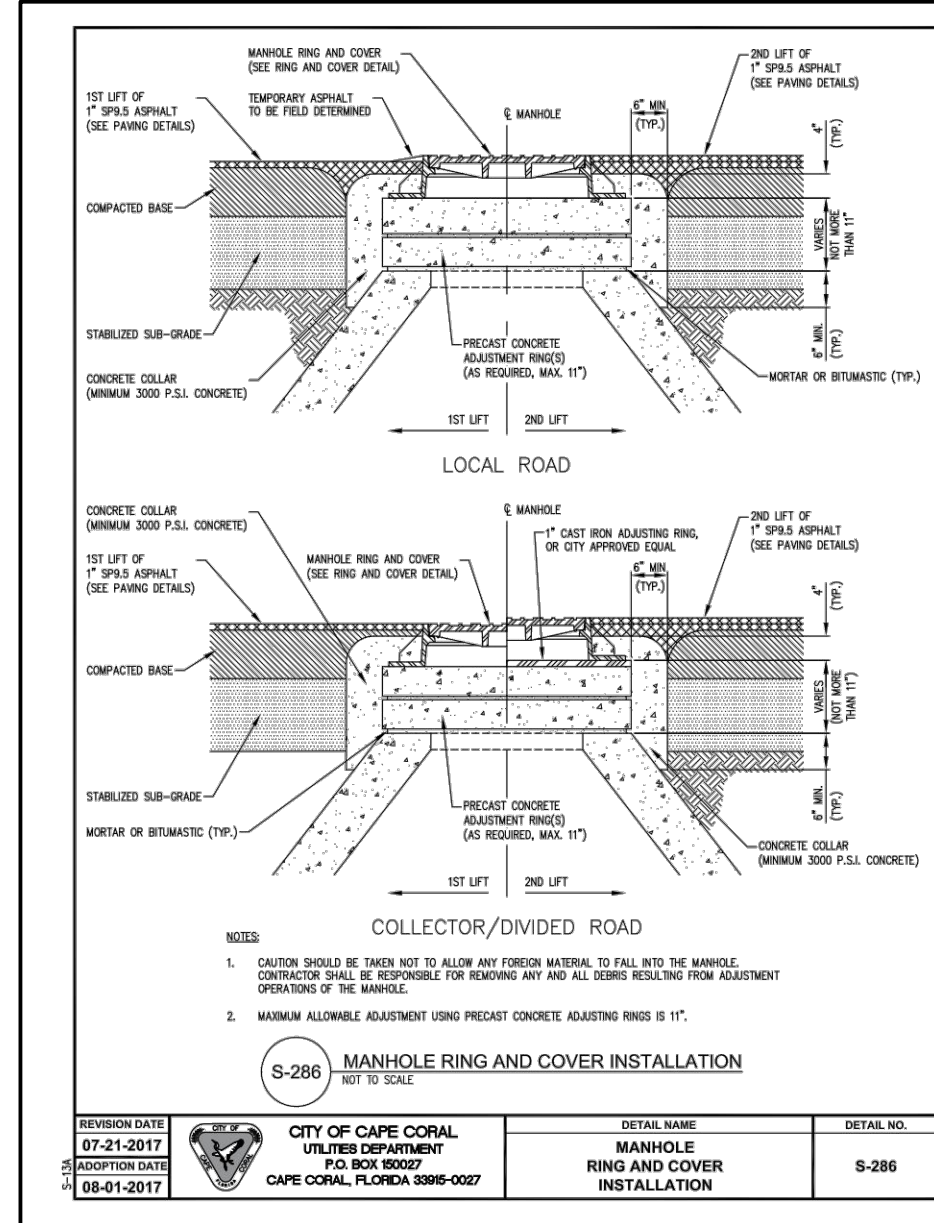
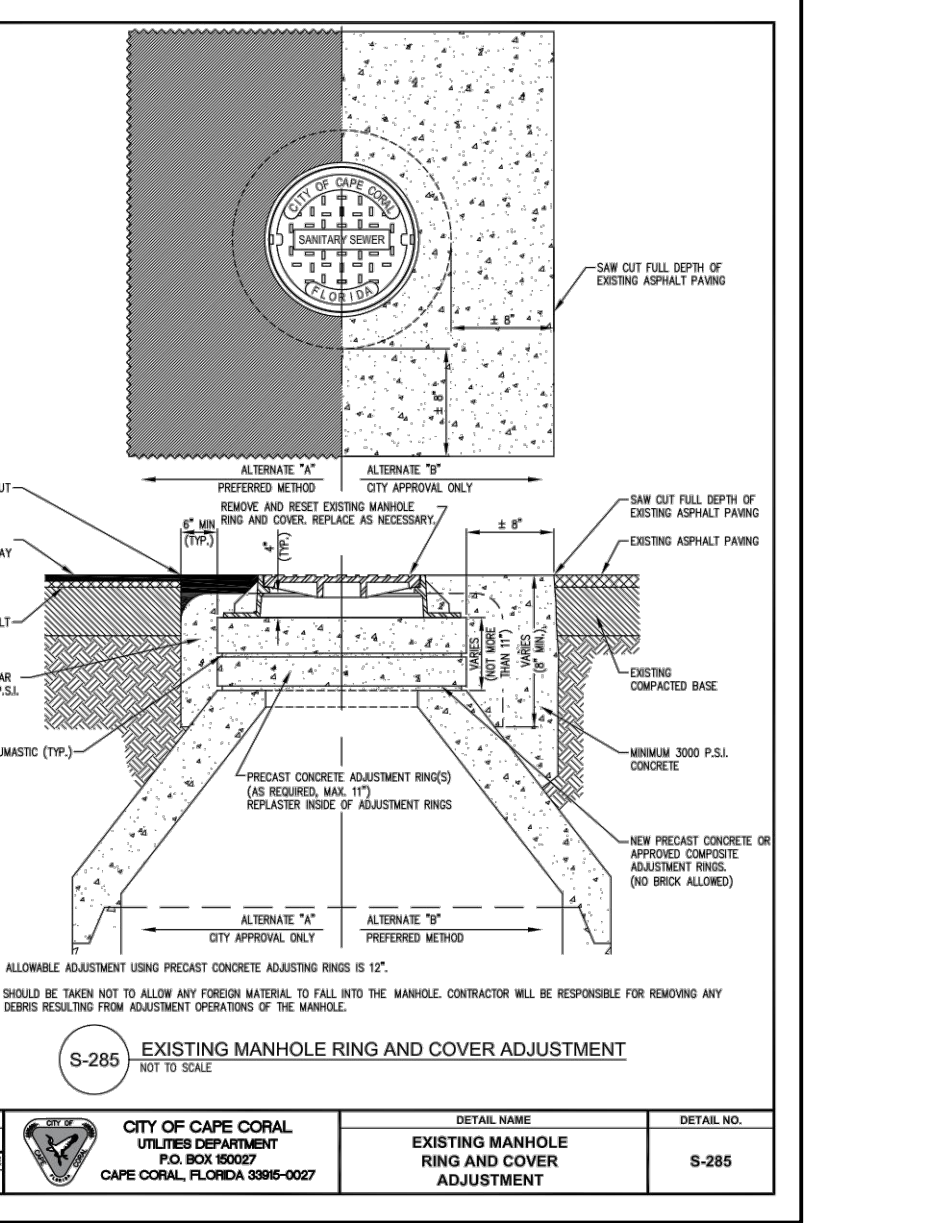
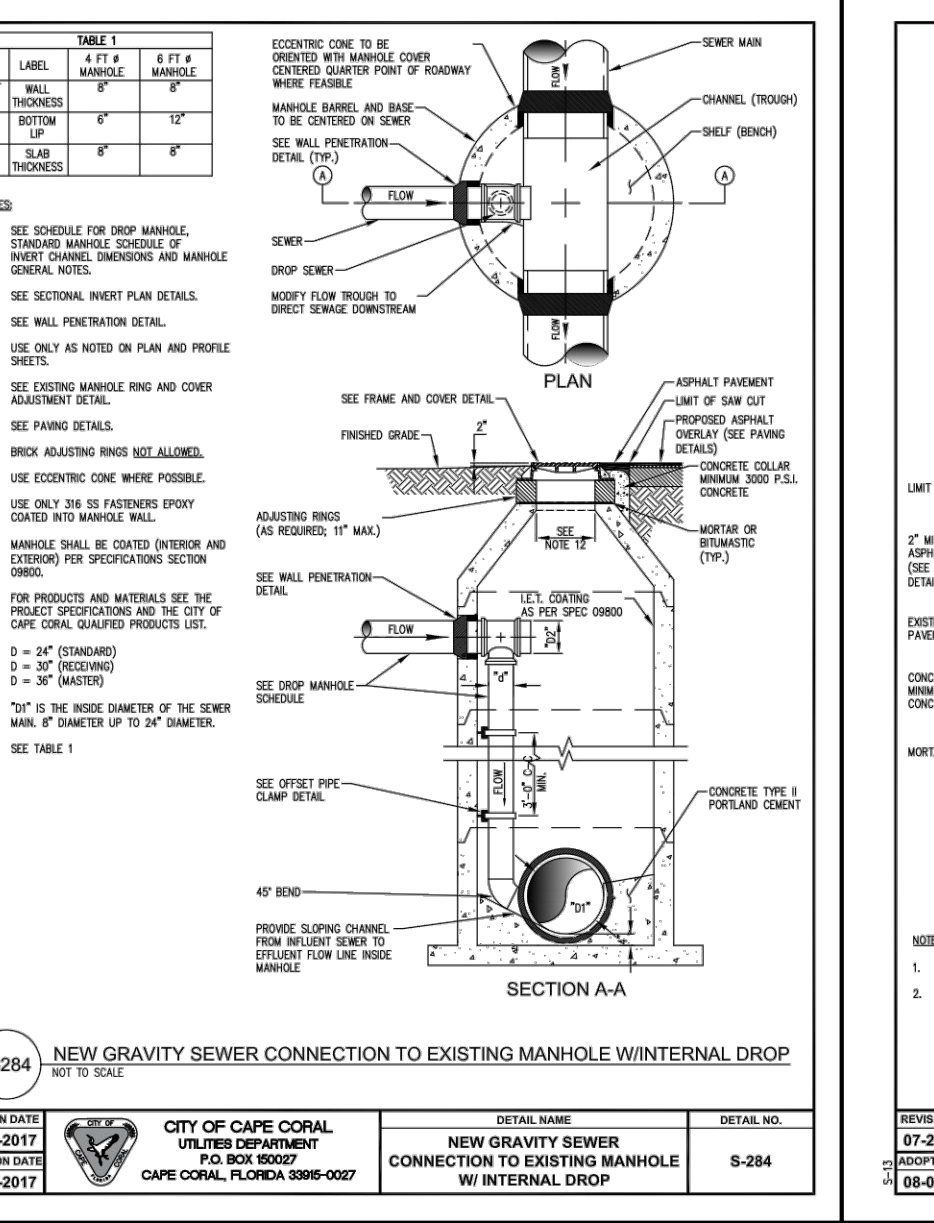
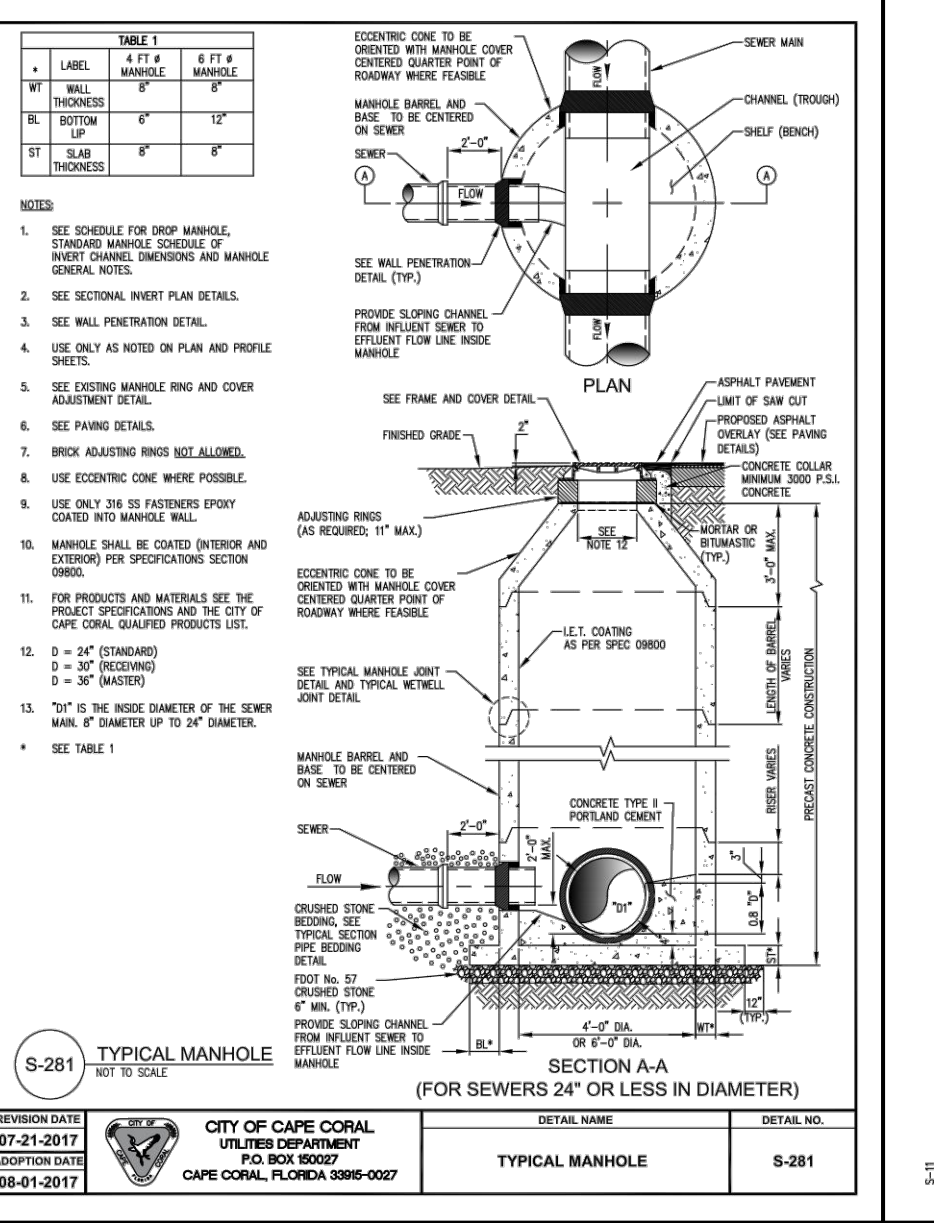
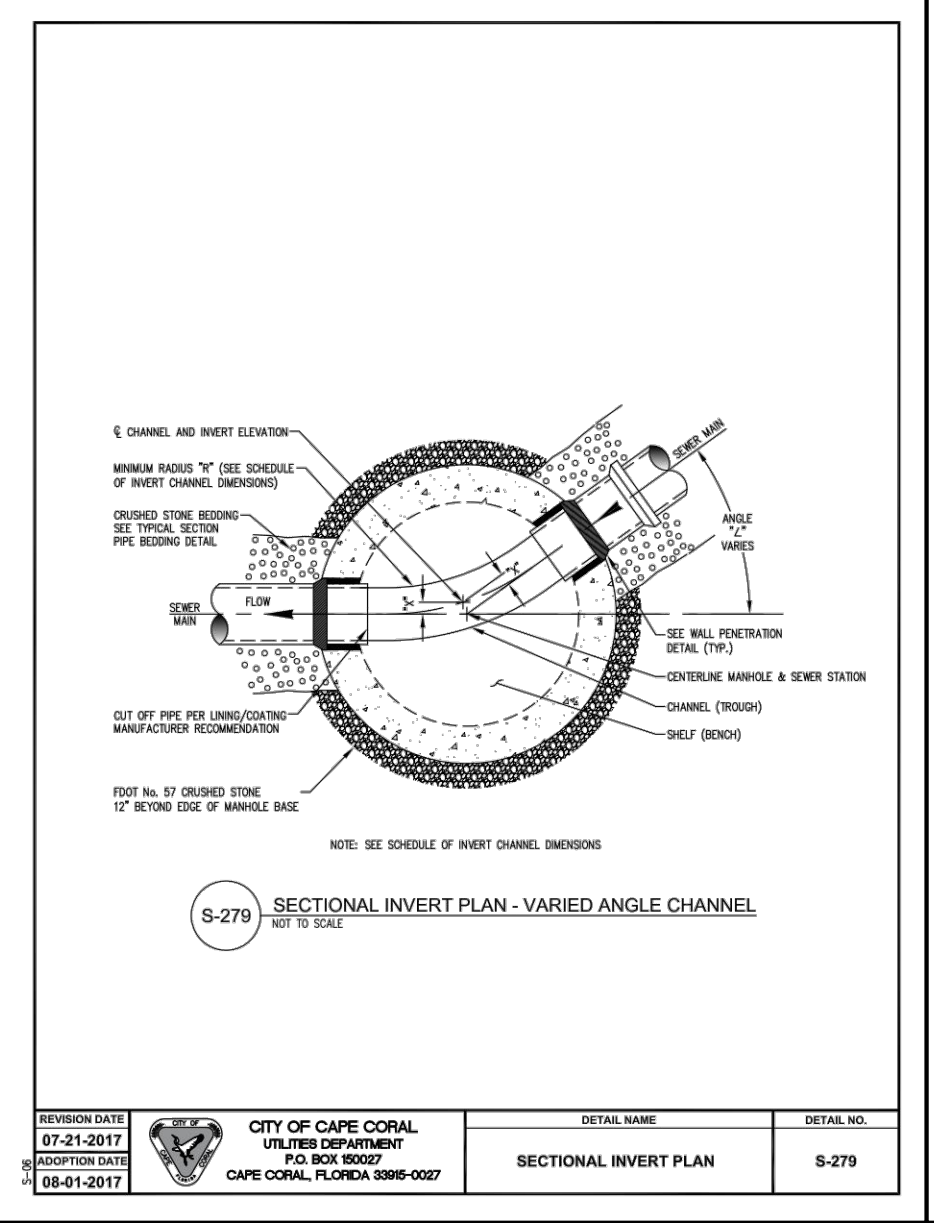
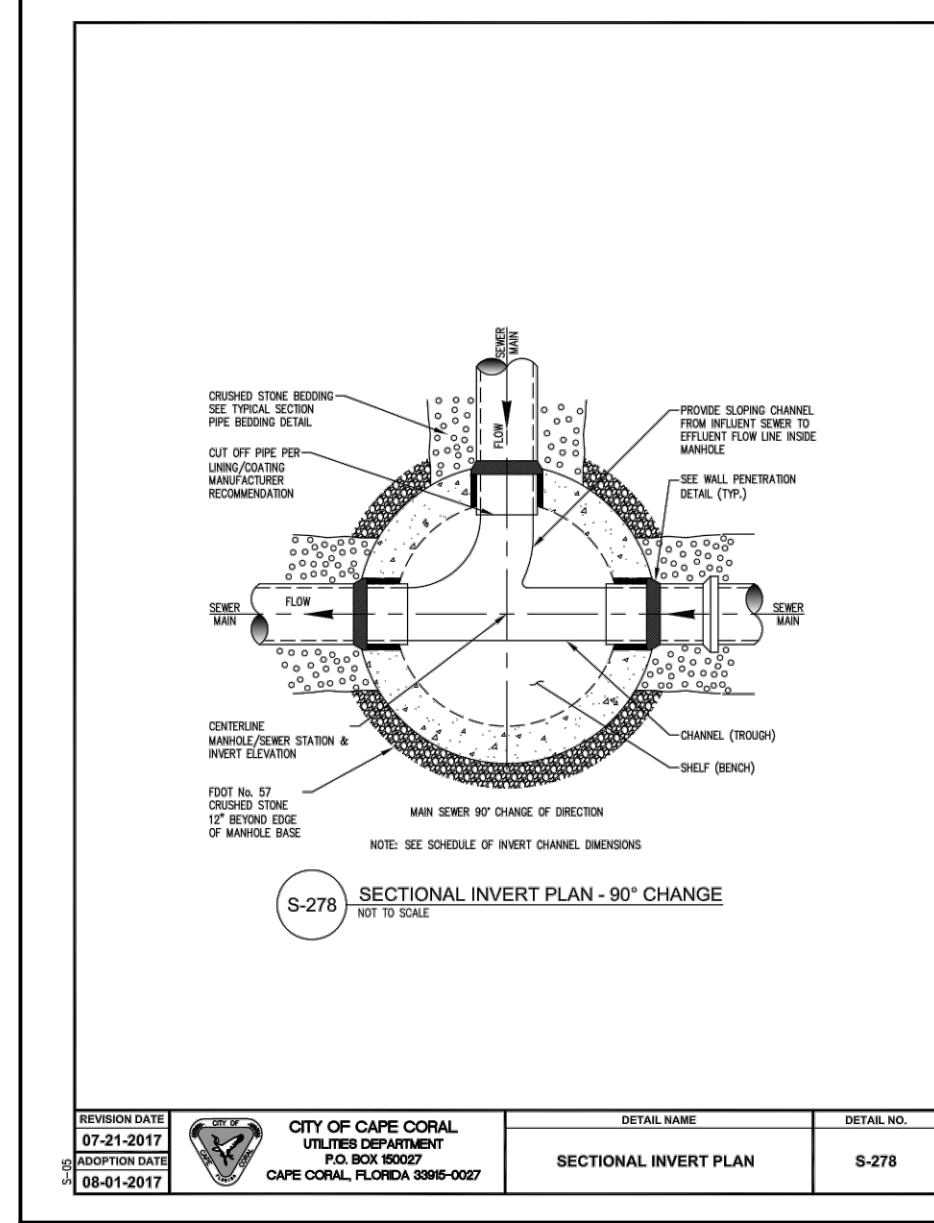
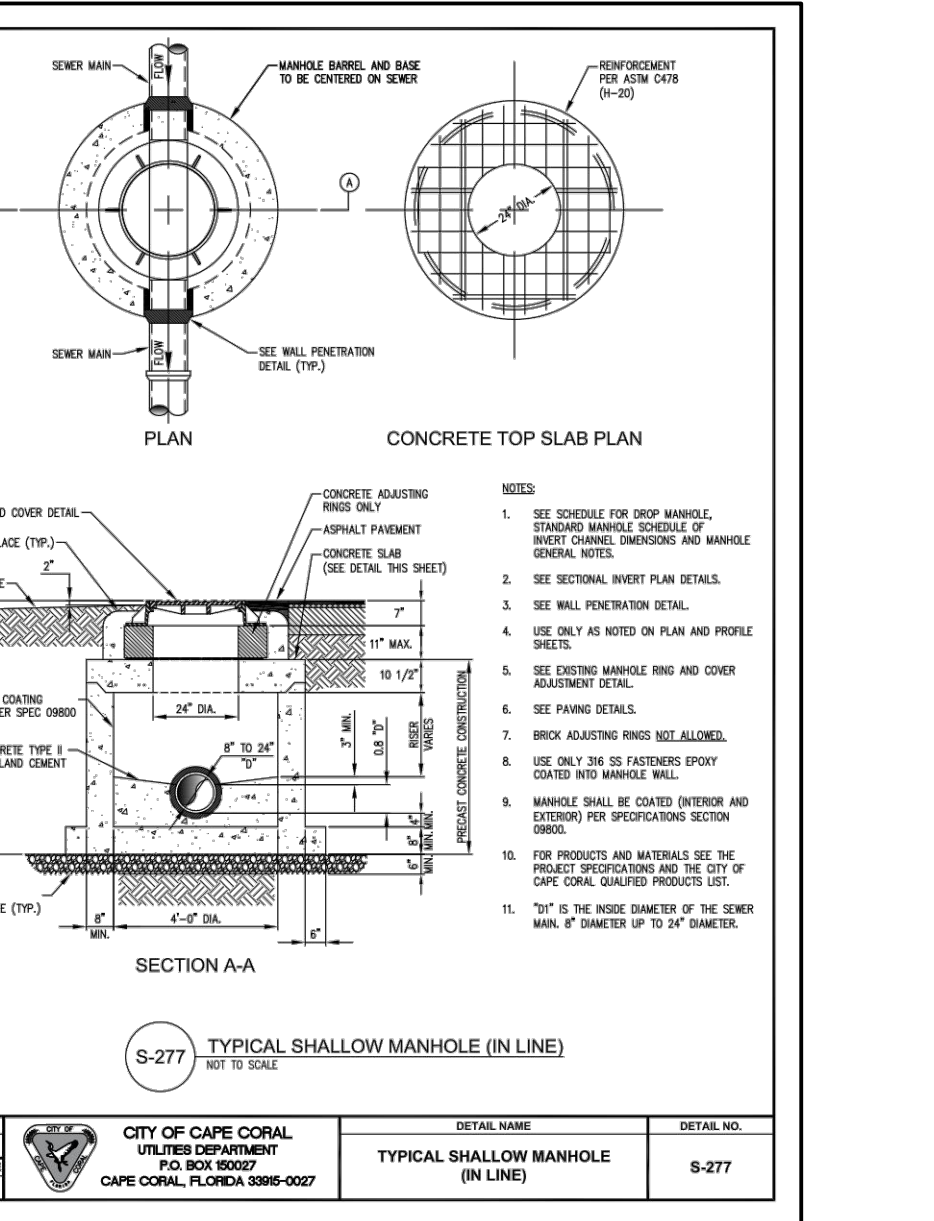
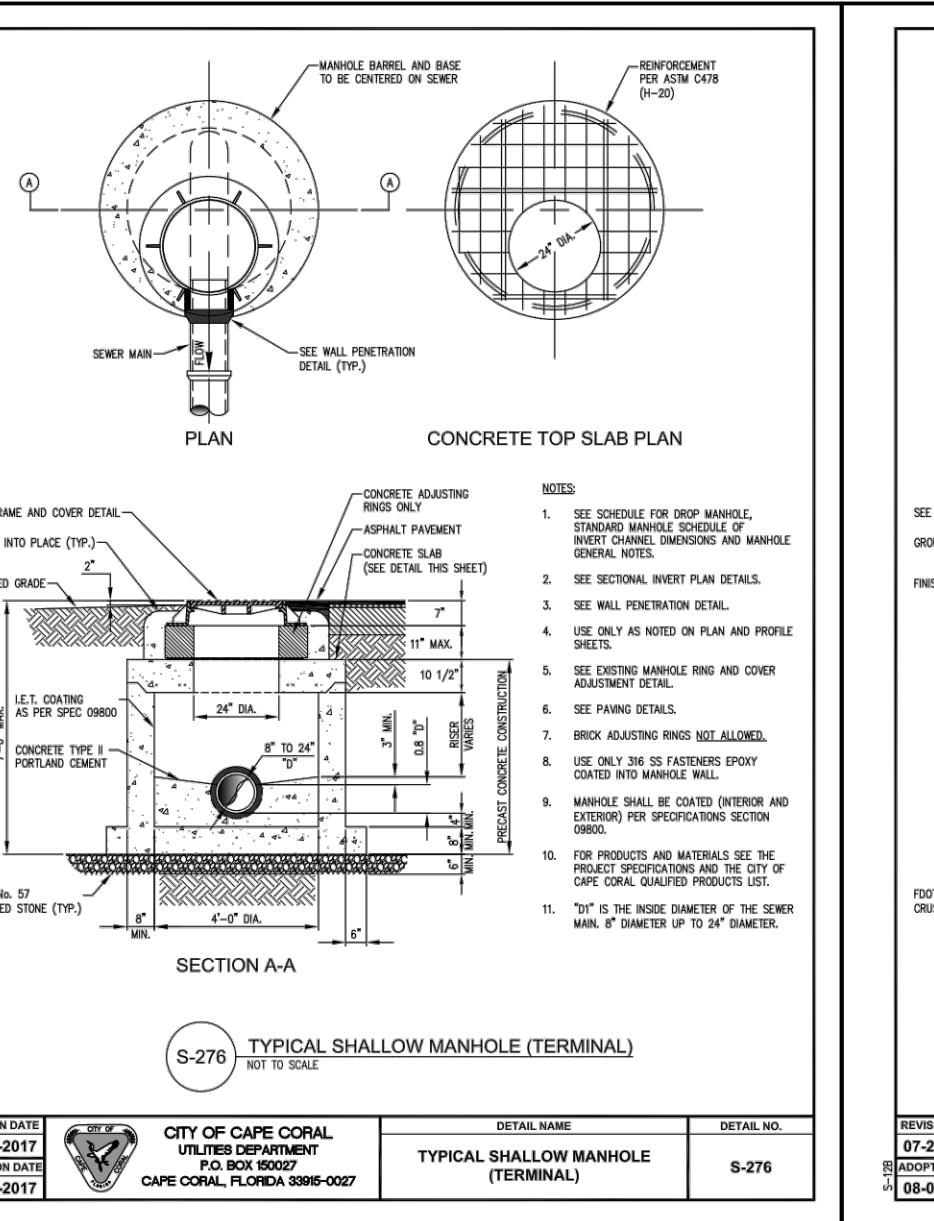
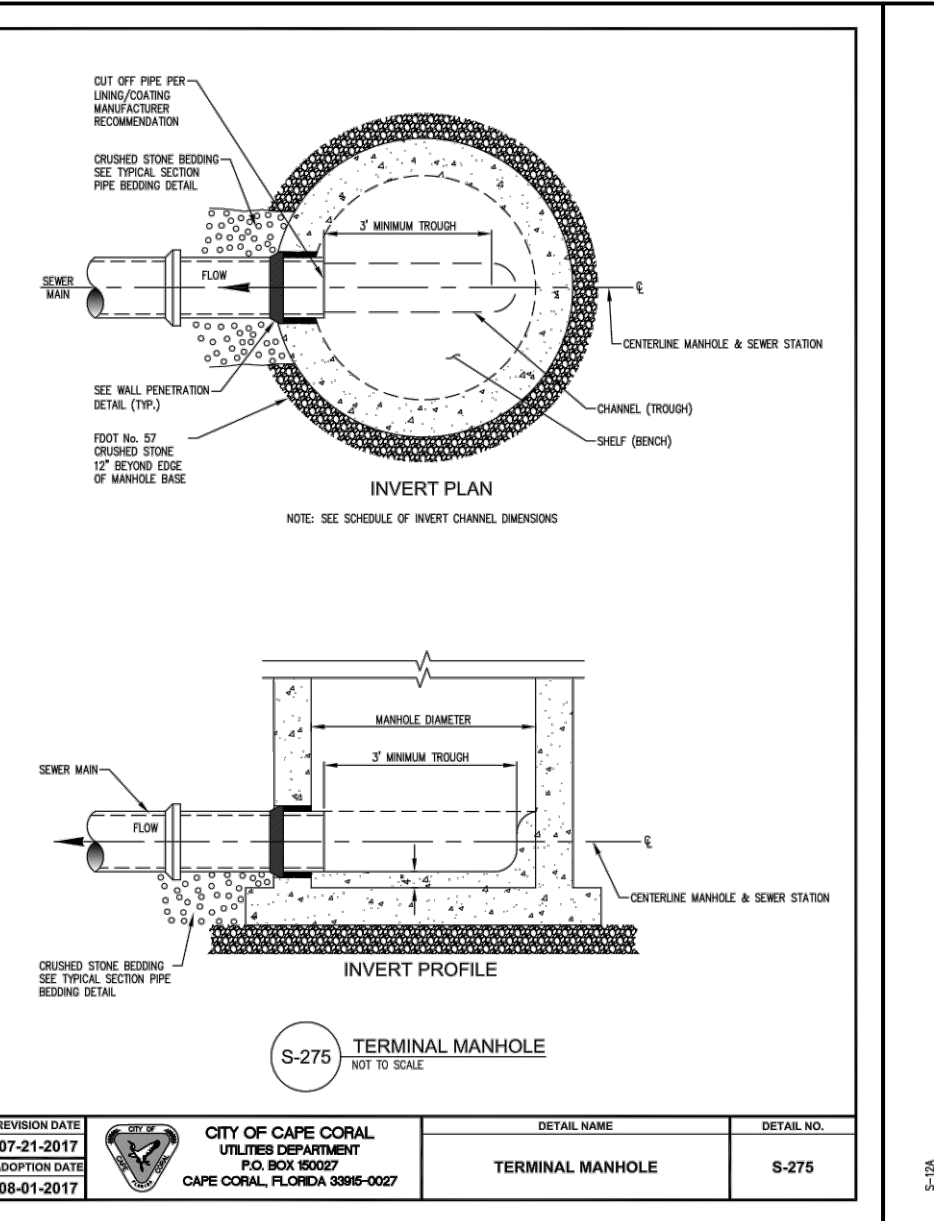
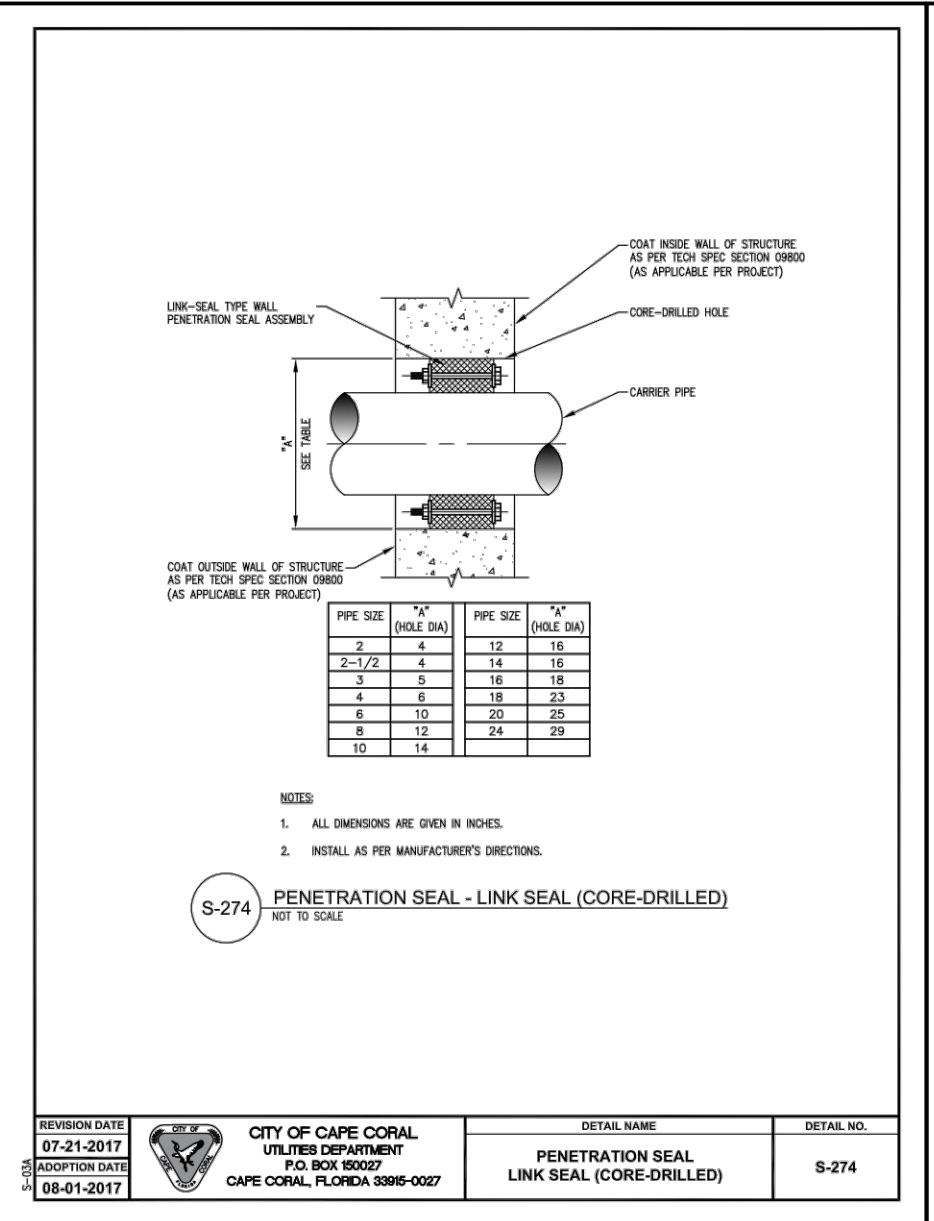
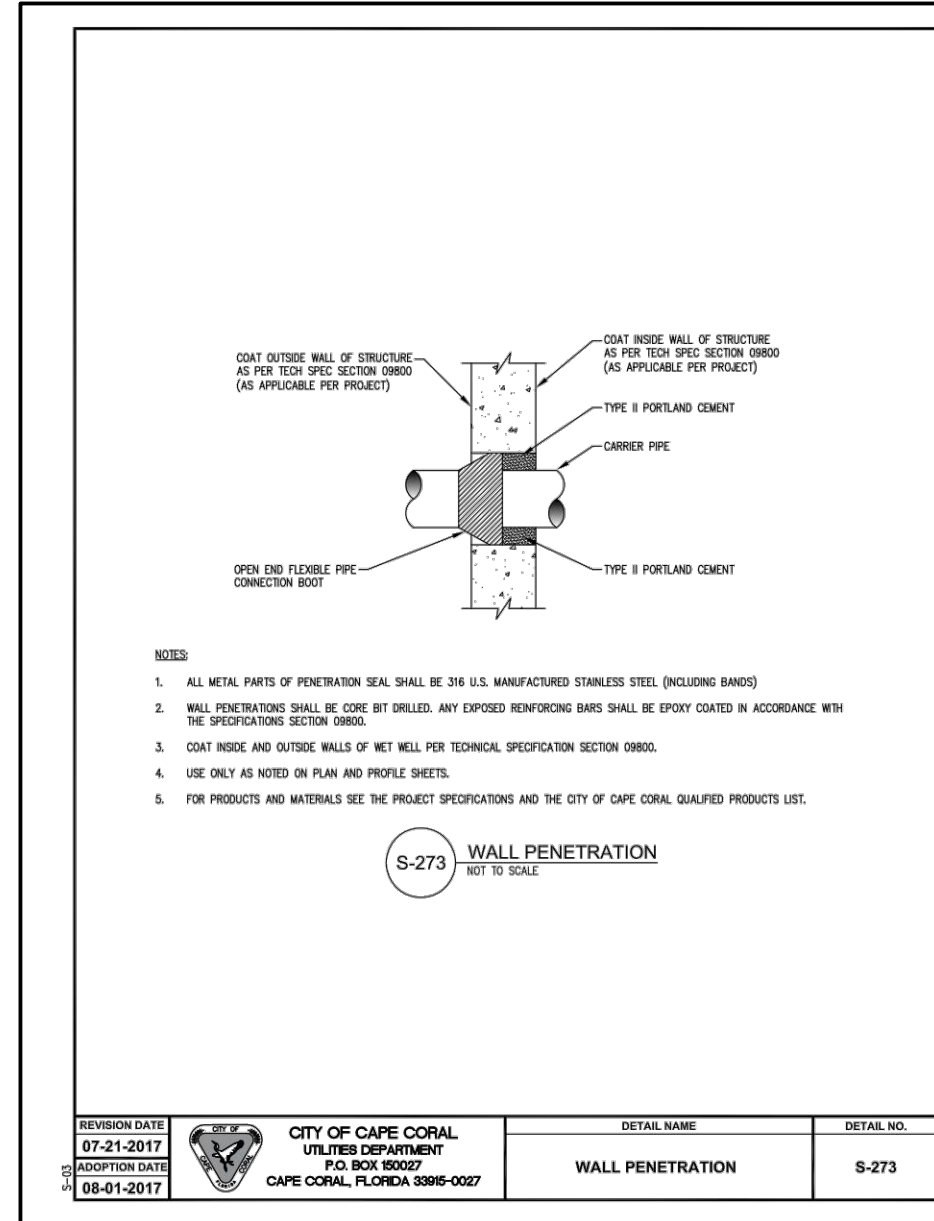




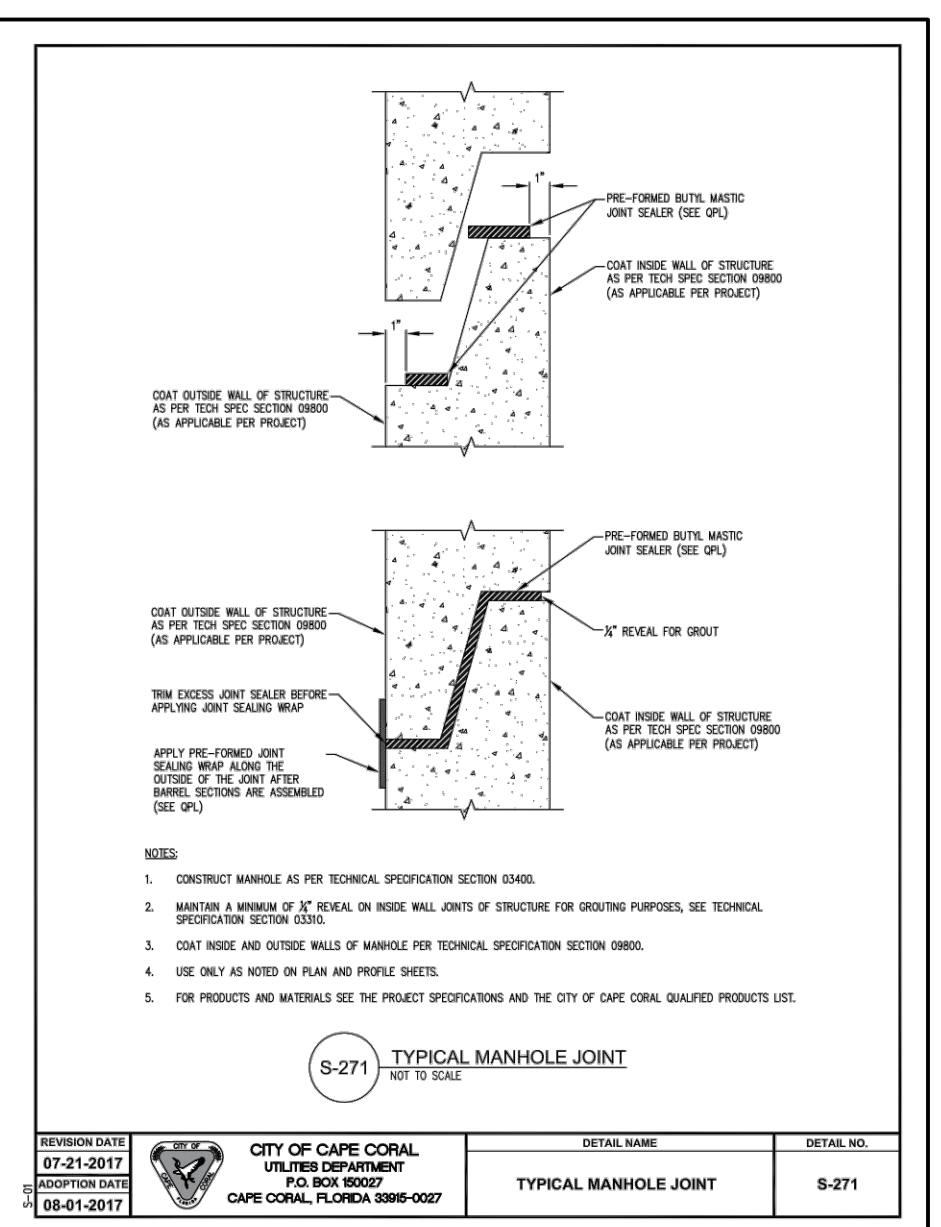
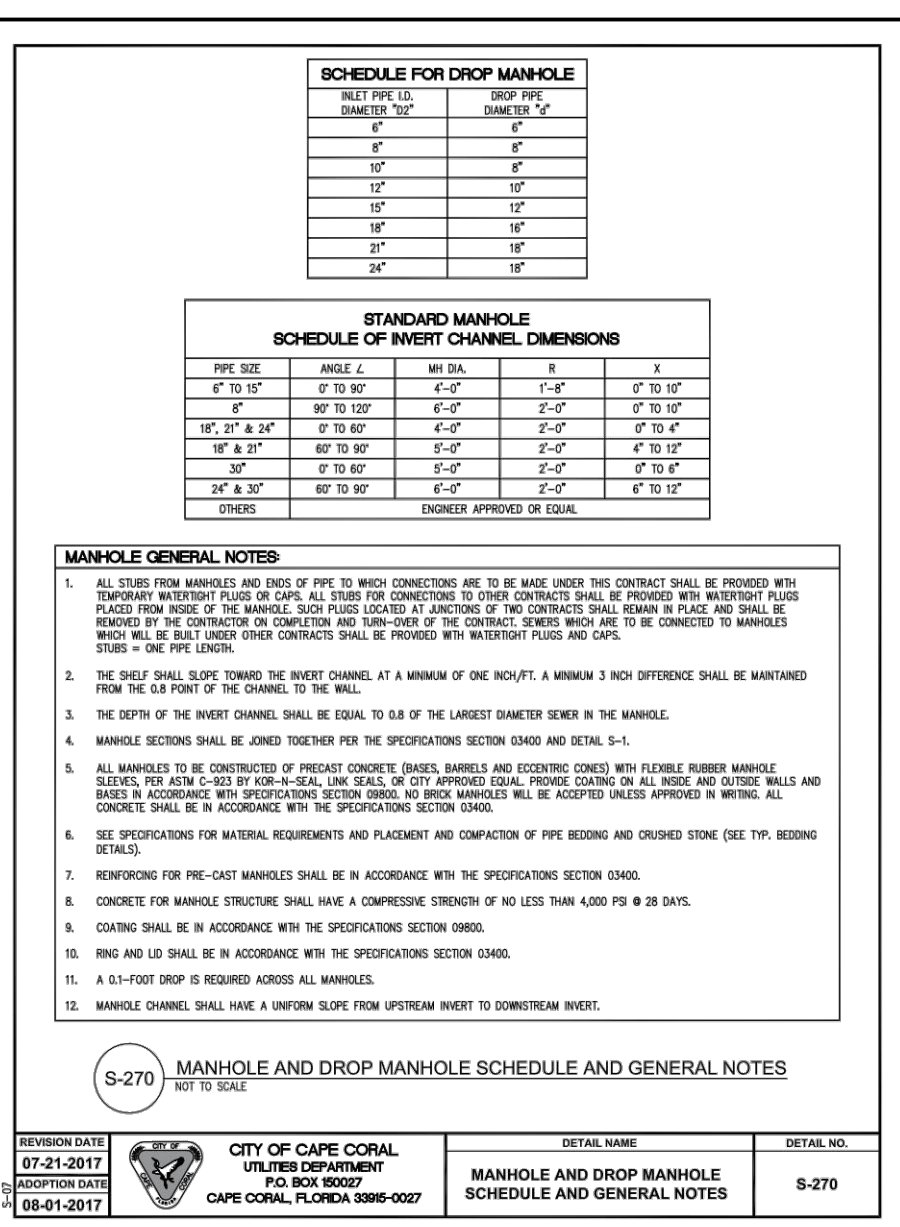
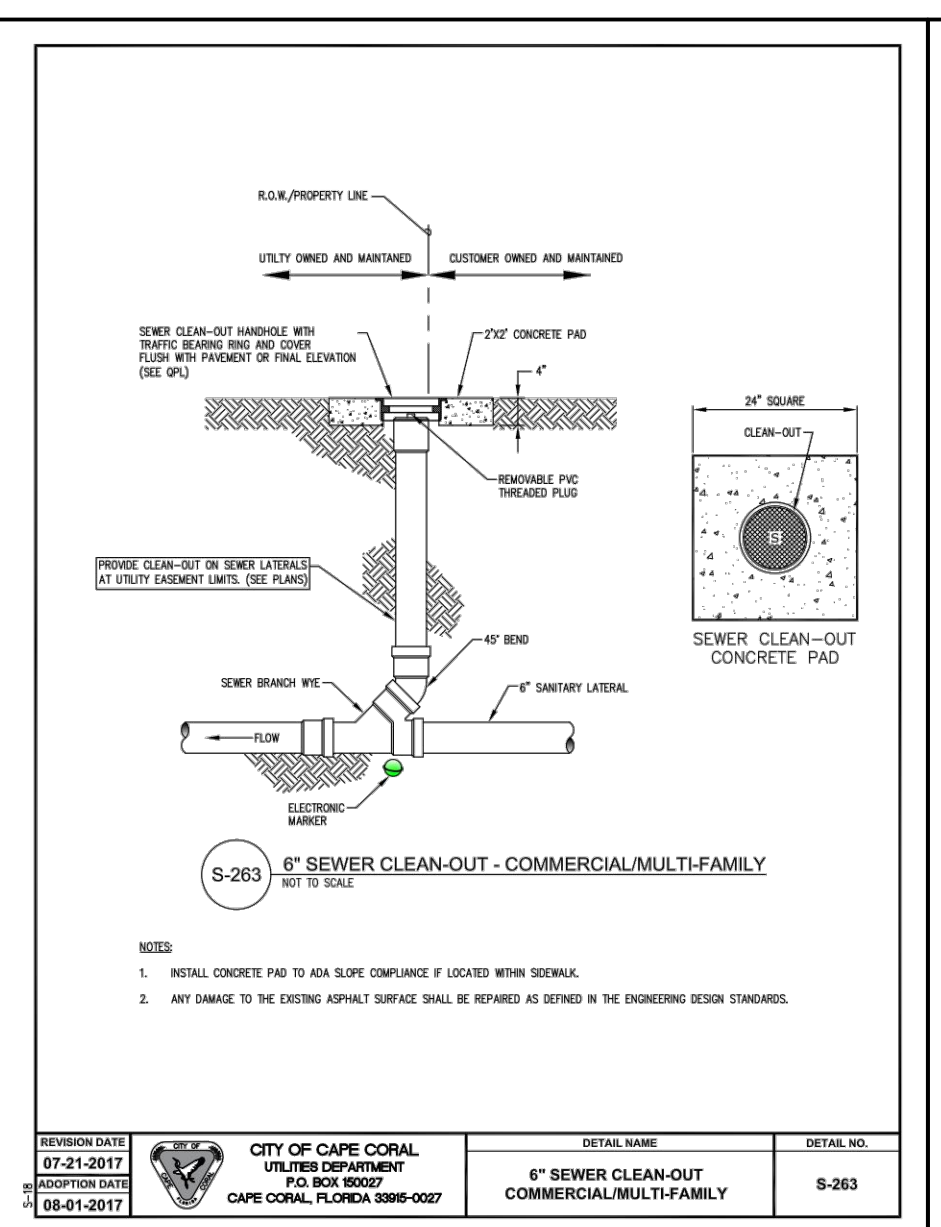
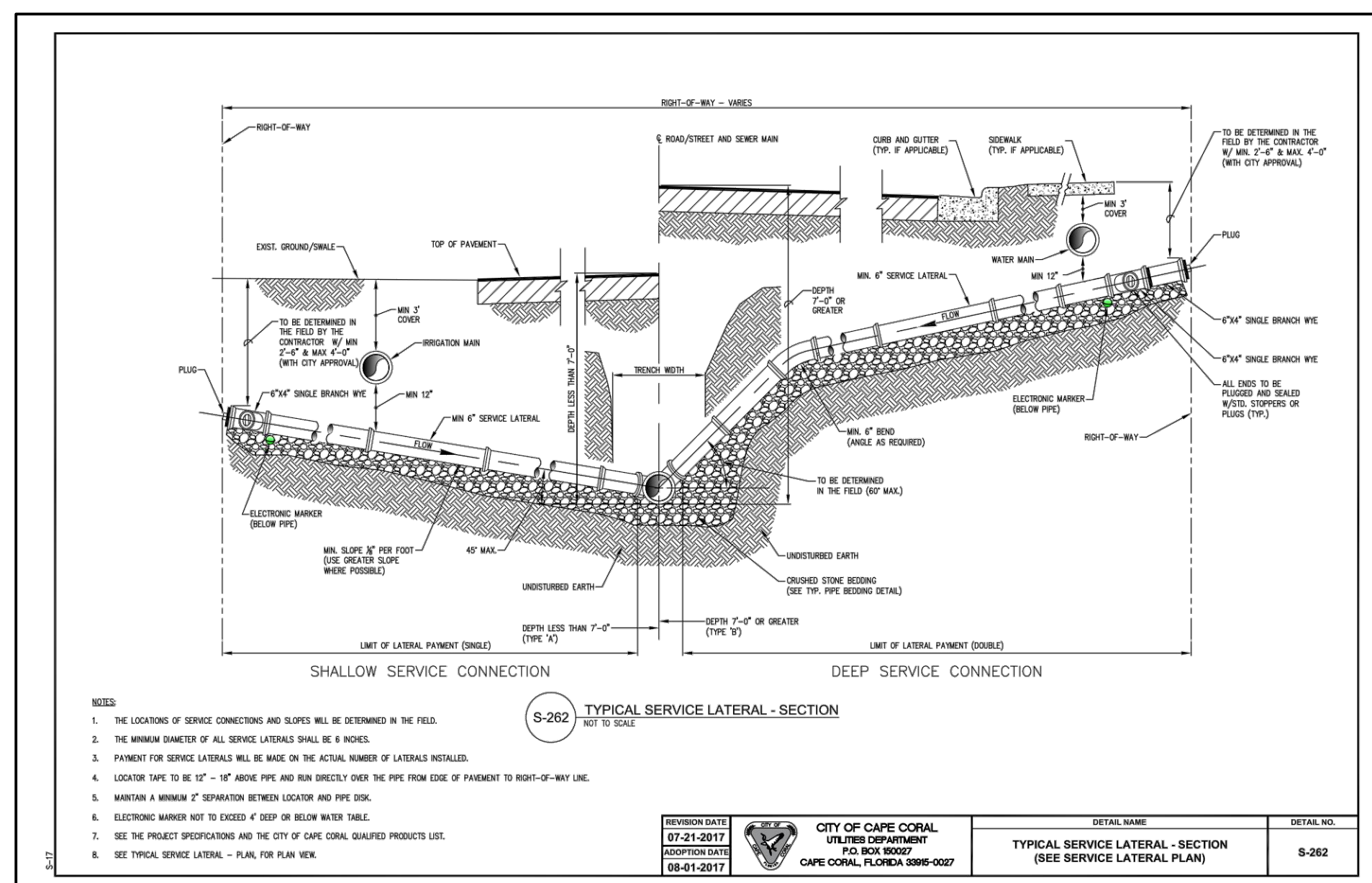
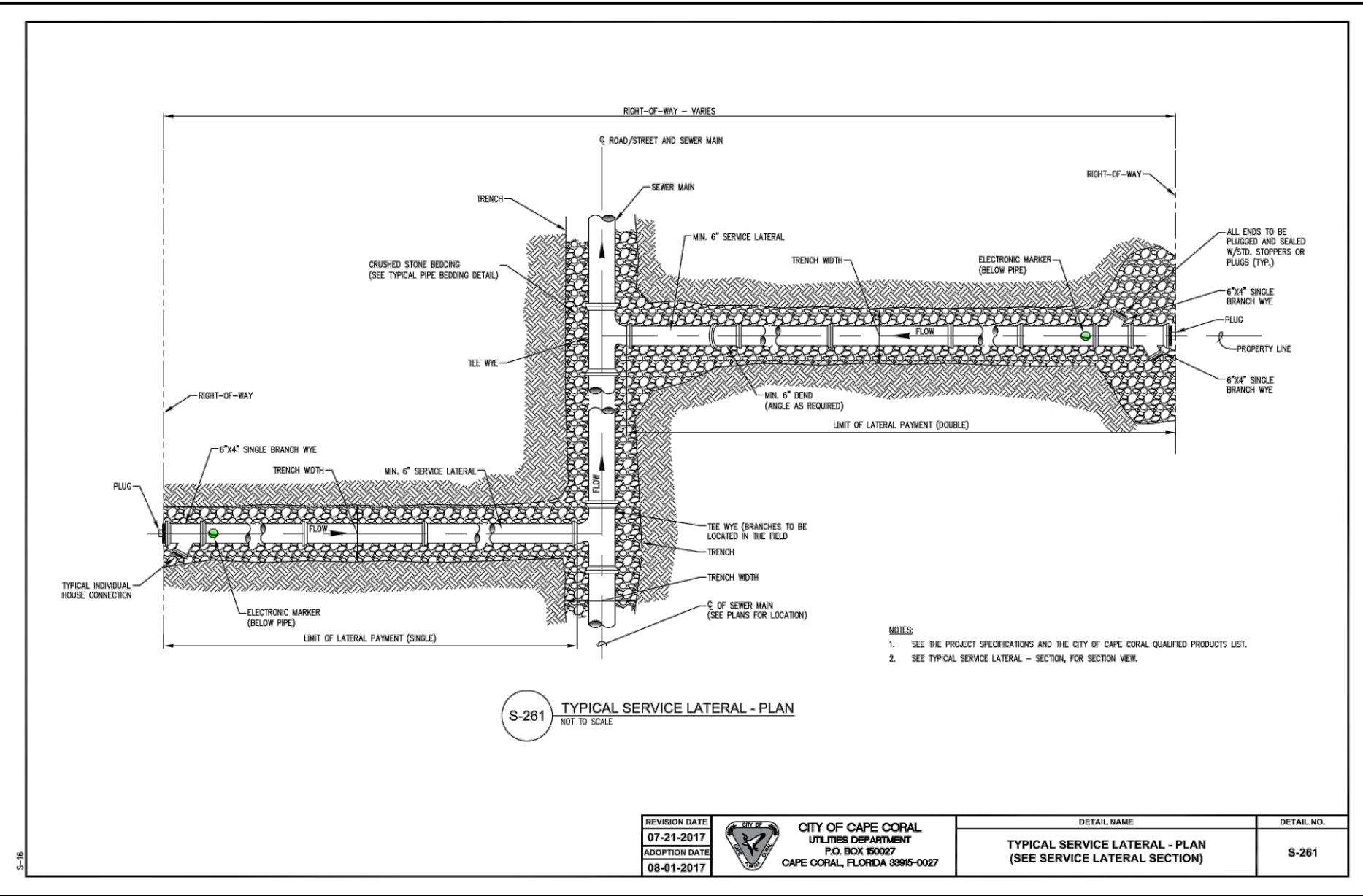
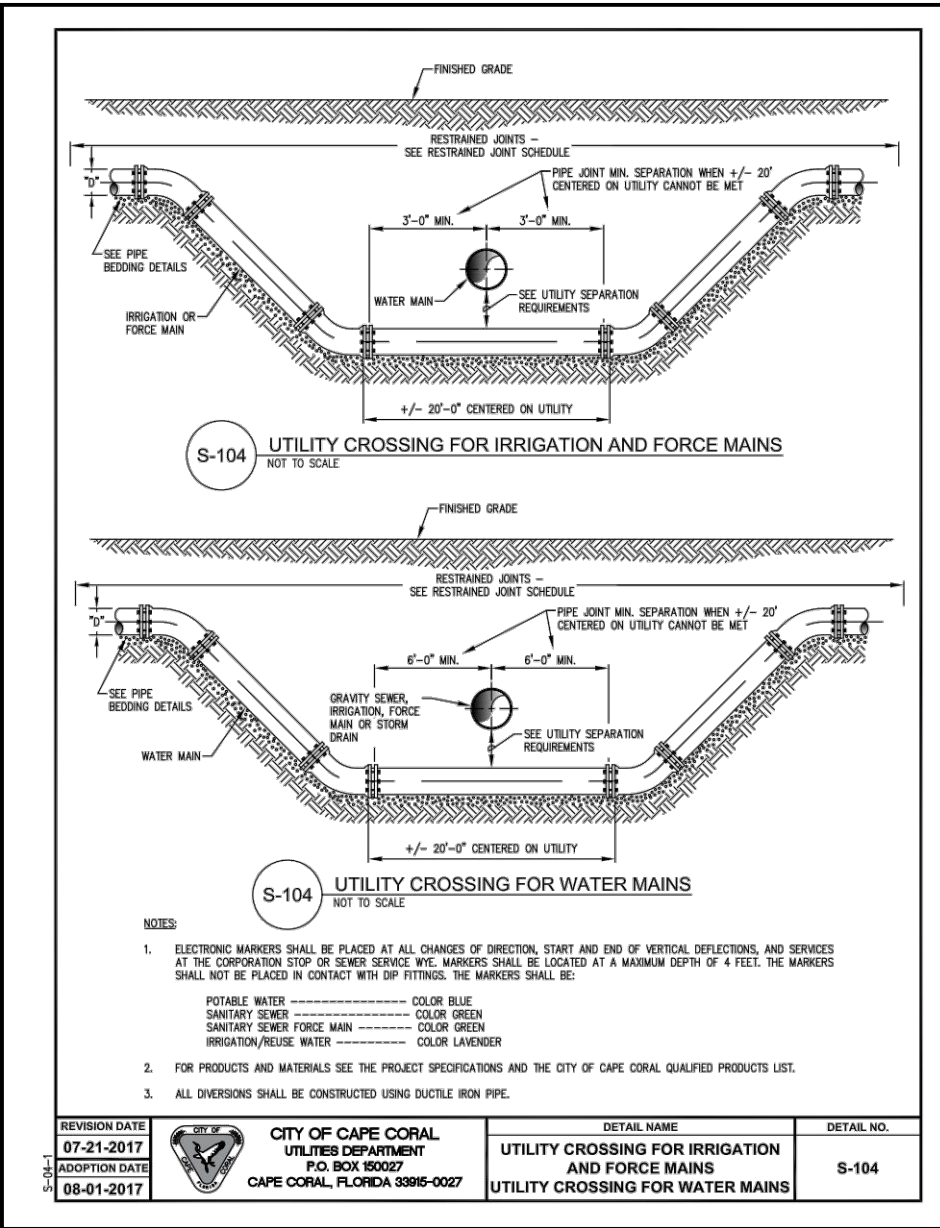
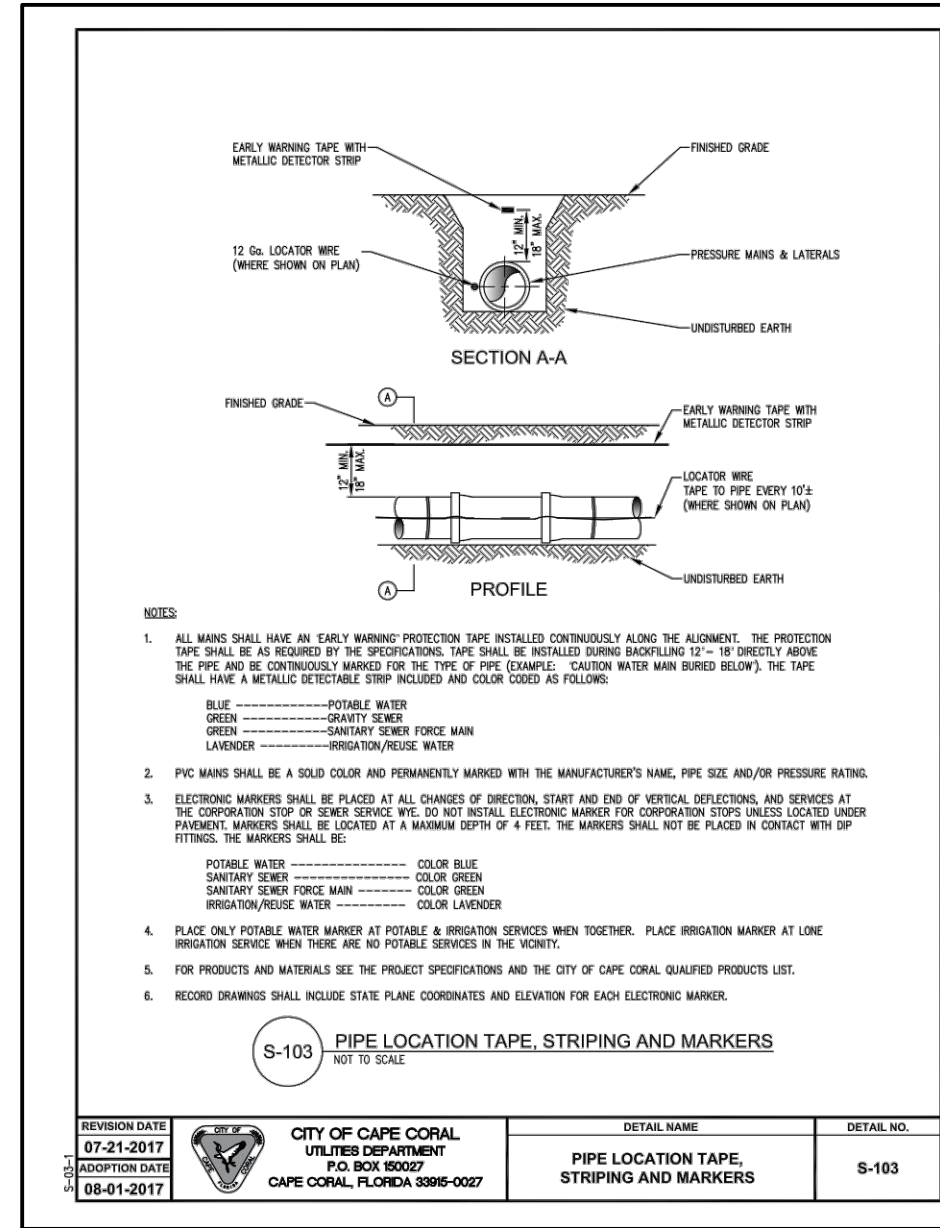
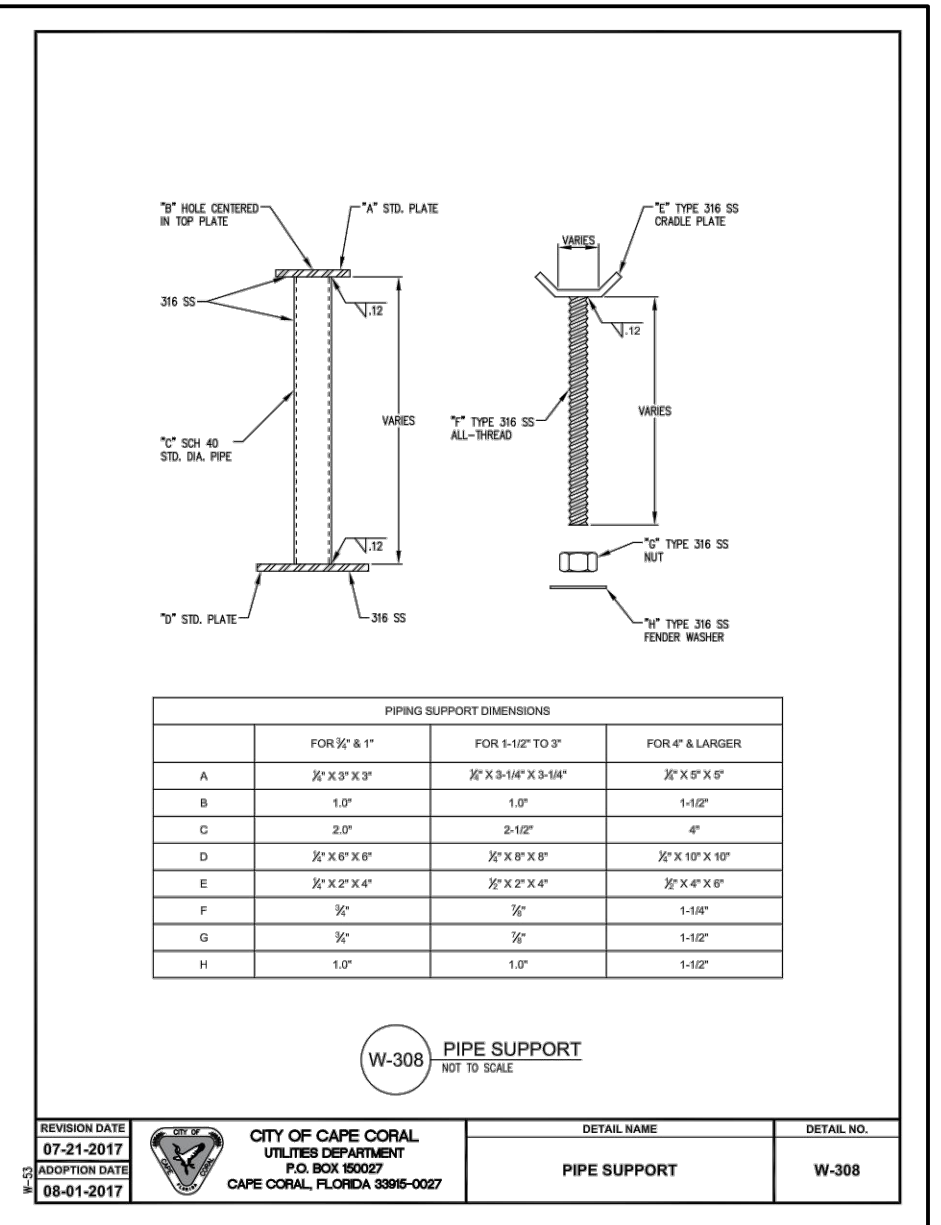
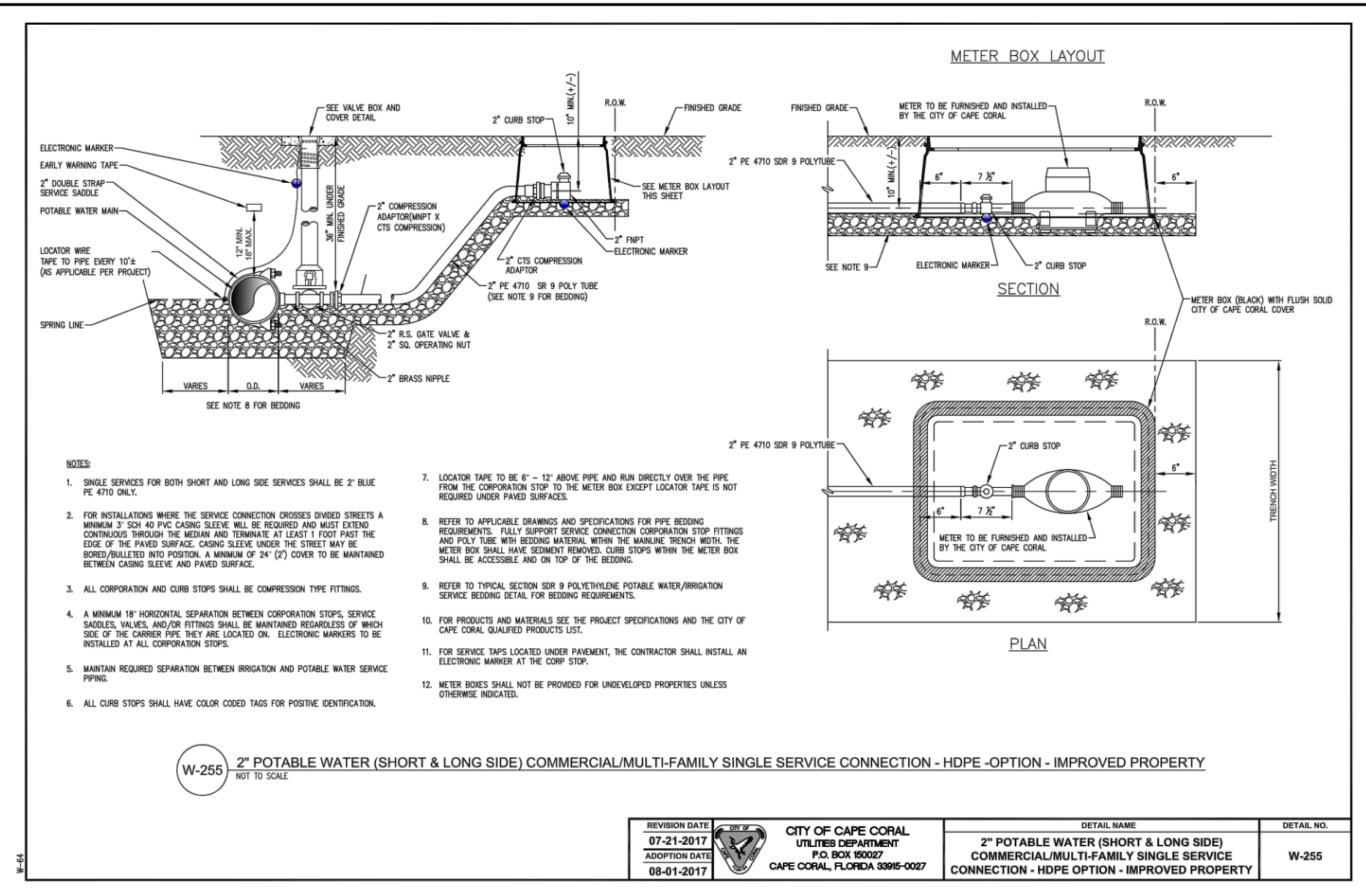
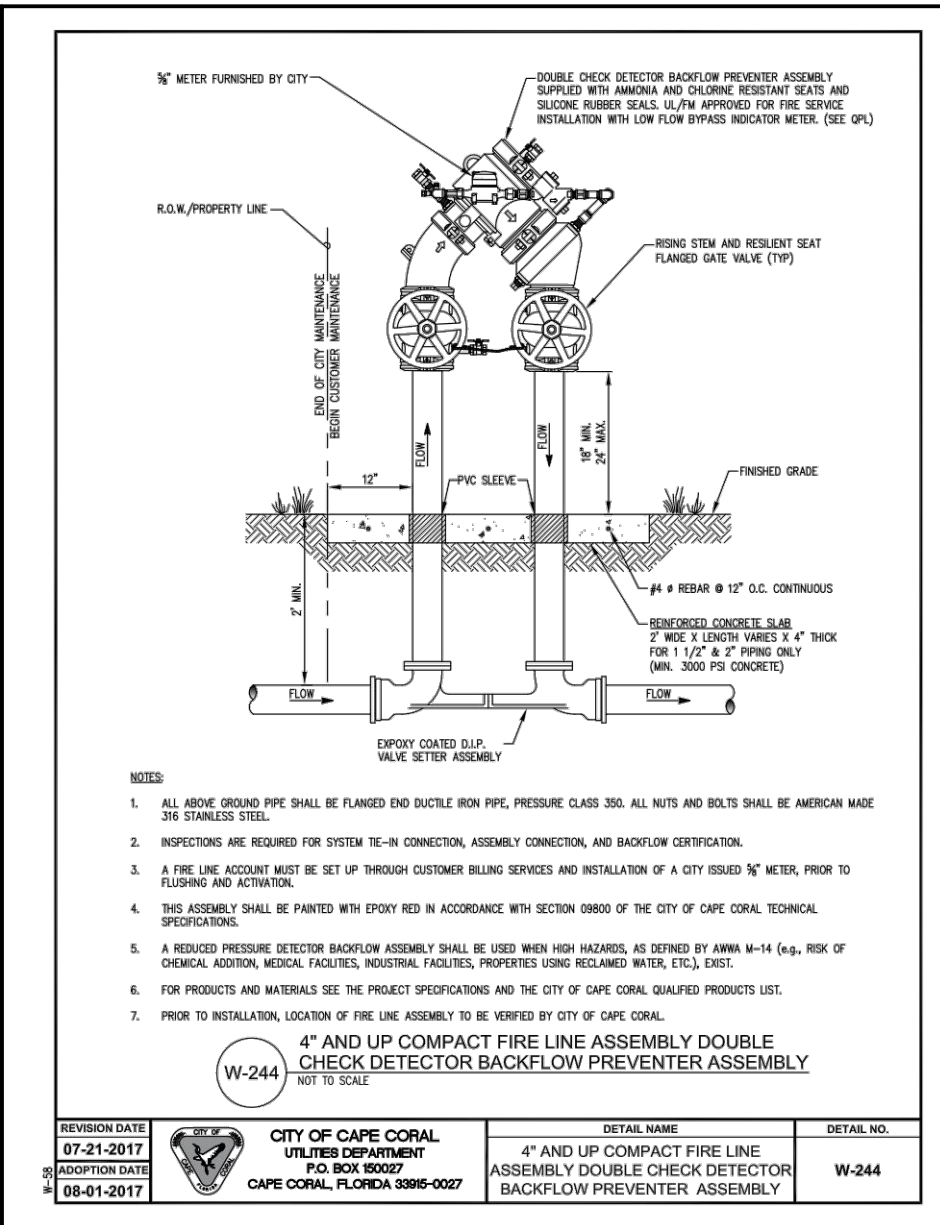
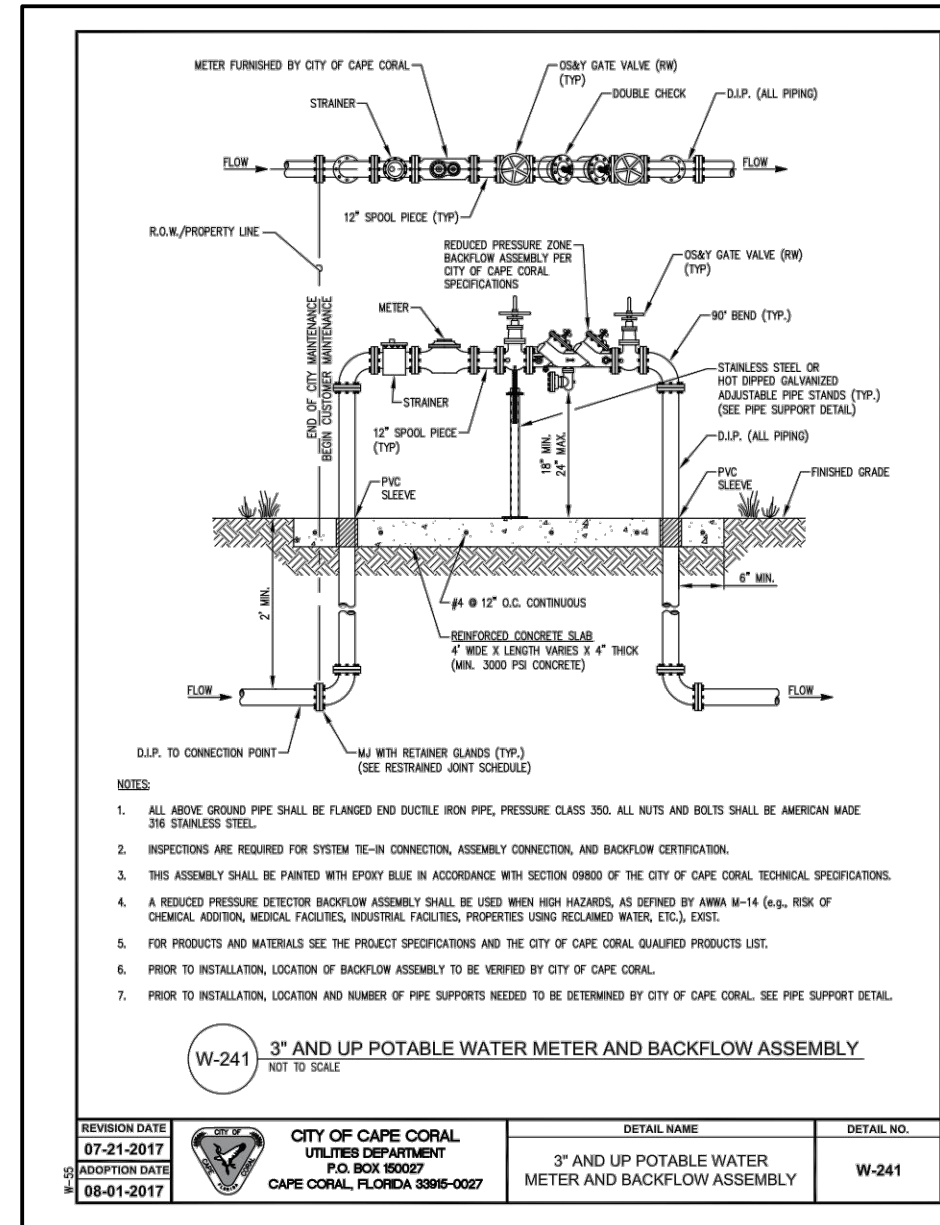
NO.	DATE	DESCRIPTION
R1	10-28-21	PER CITY COMMENTS
R2	11-30-21	PER CITY COMMENTS
R3	2-23-22	PER CITY COMMENTS
R4	4-15-22	PER CITY COMMENTS

DATE:	8-20-21
PROJECT NO.:	1364-03
FILE NO.:	1364-03 UTIL.dwg
SCALE:	AS SHOWN

UTILITY DETAILS

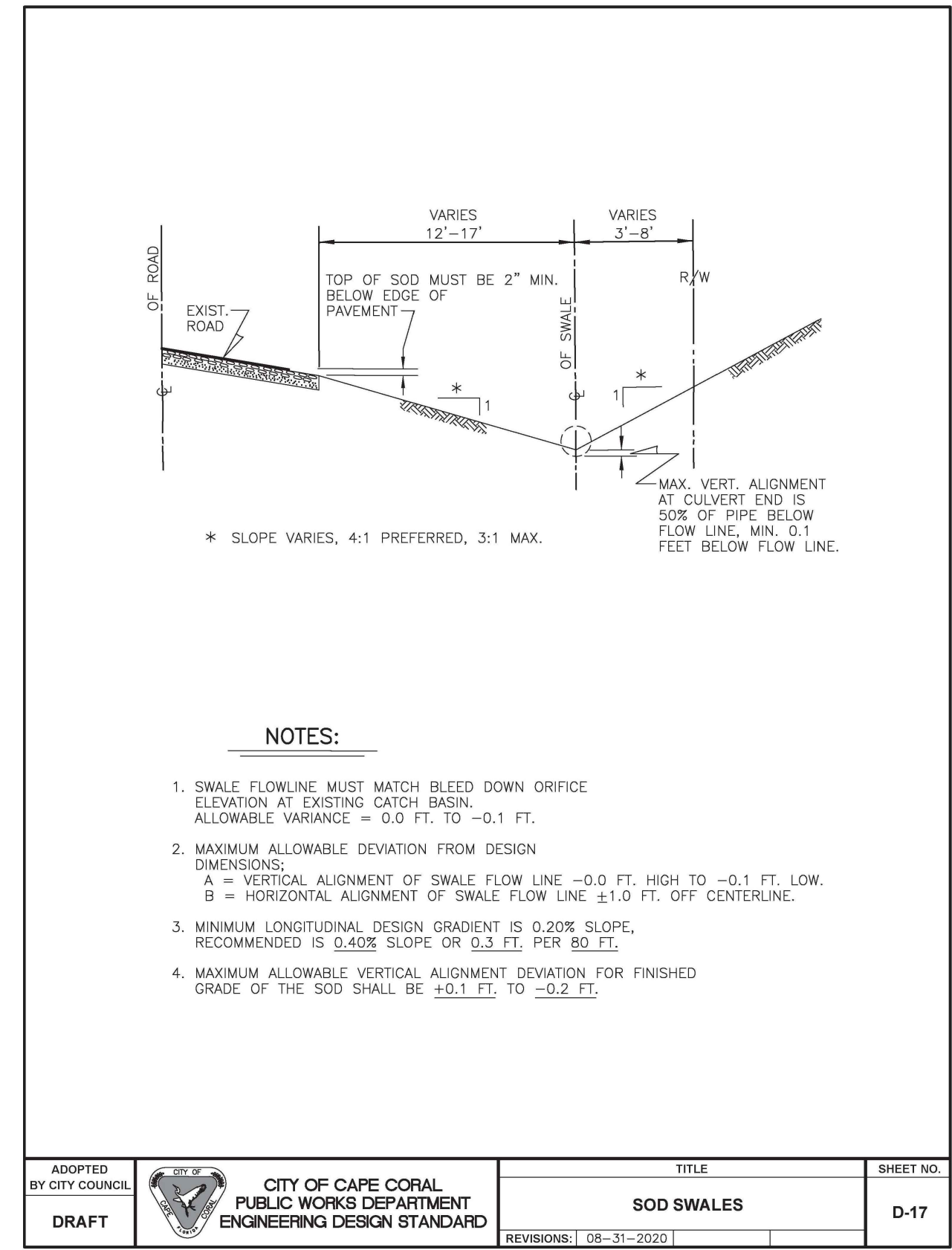
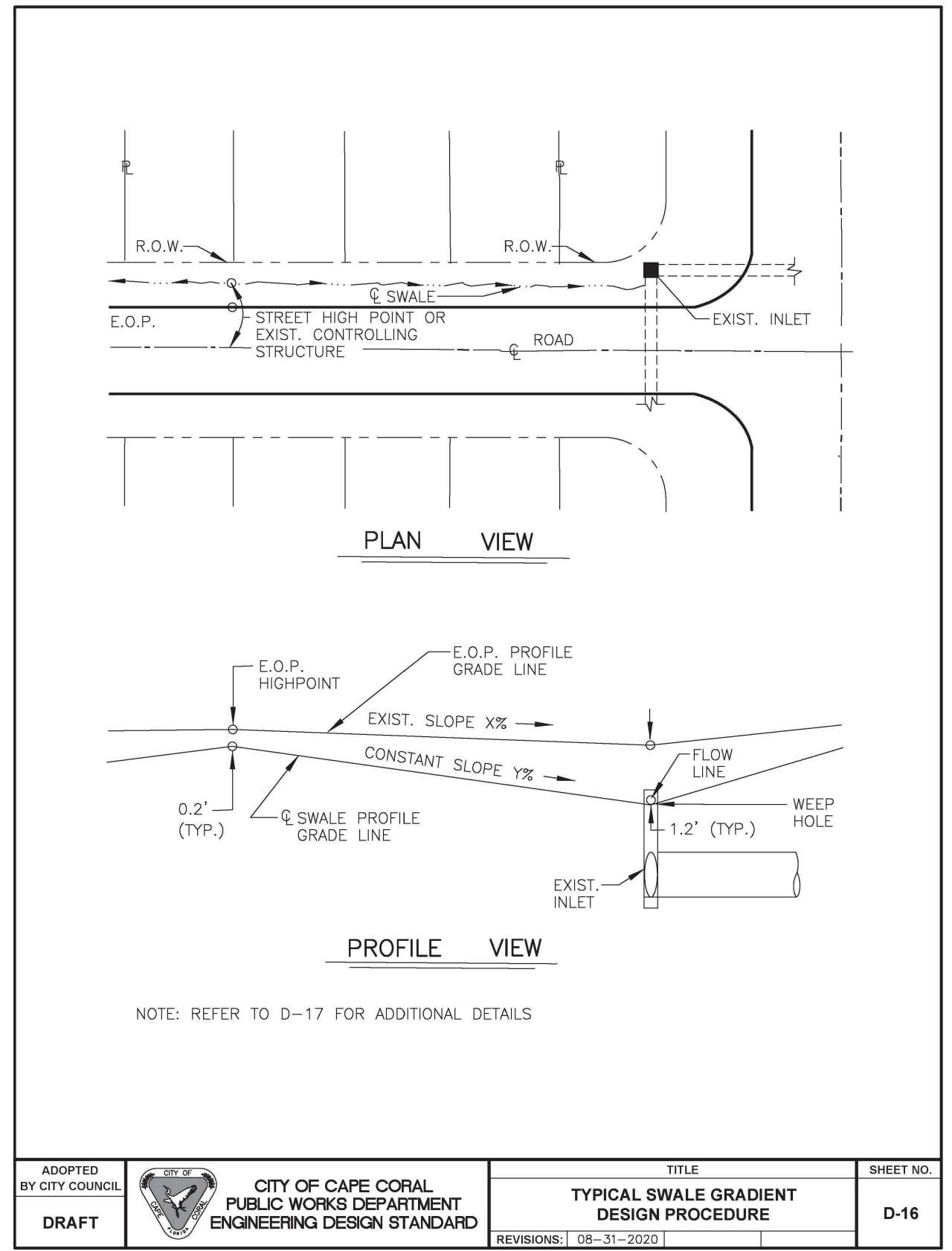
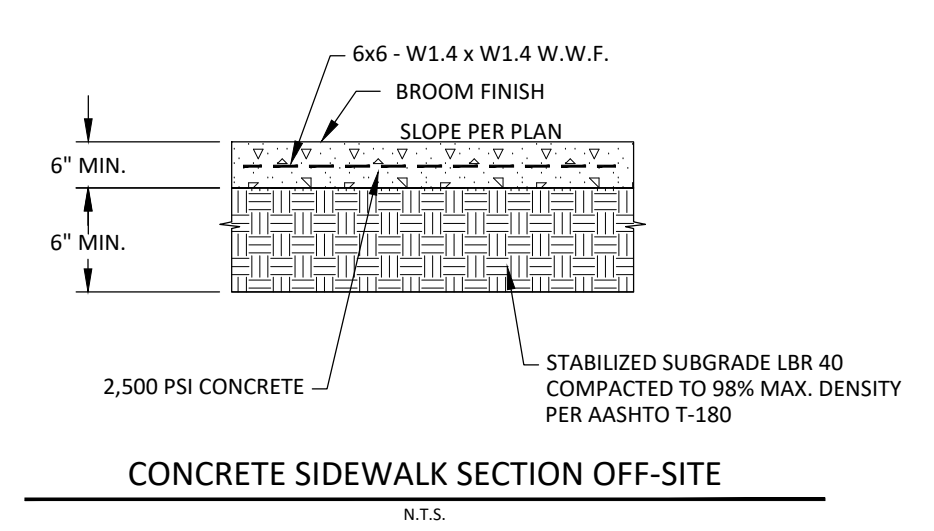
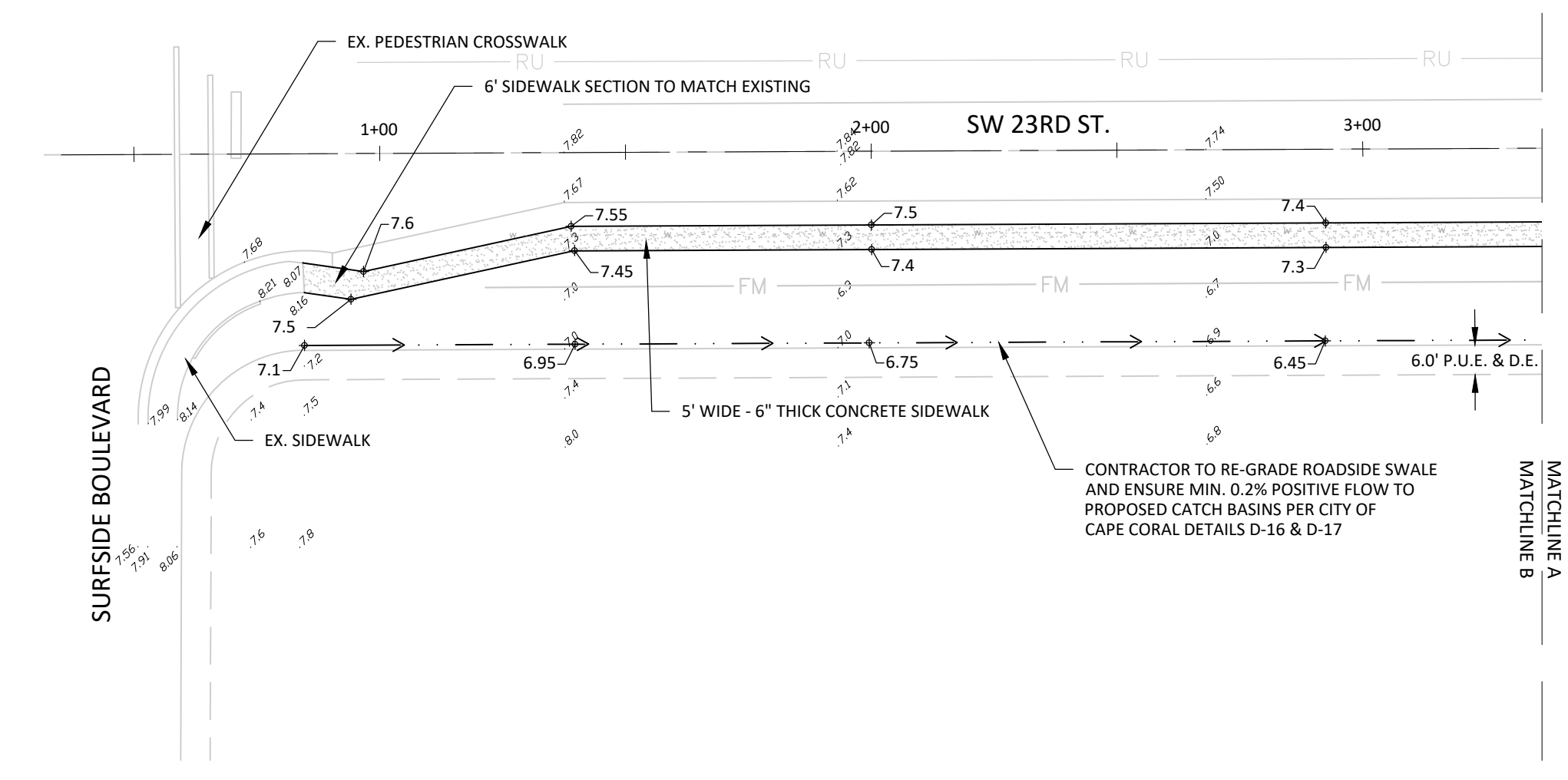
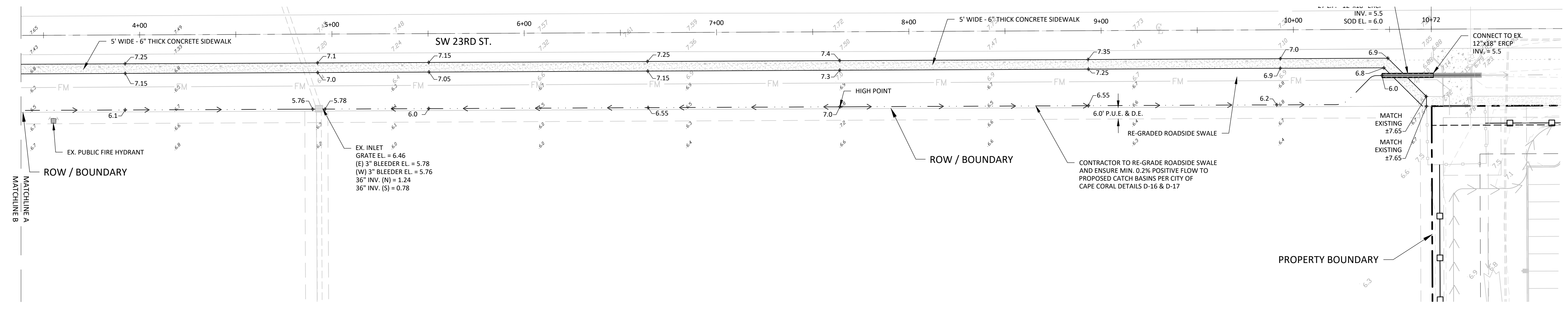
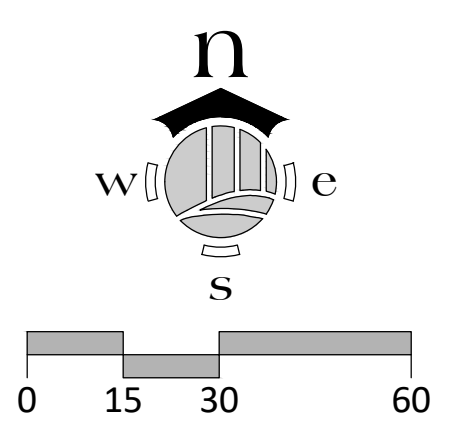


NO.	REVISION	DATE
R1	PER CITY COMMENTS	10-28-21
R2	PER CITY COMMENTS	11-30-21
R3	PER CITY COMMENTS	2-23-22
R4	PER CITY COMMENTS	4-15-22



NO.	REVISION	DATE
R1	PER CITY COMMENTS	10-28-21
R2	PER CITY COMMENTS	11-30-21
R3	PER CITY COMMENTS	2-23-22
R4	PER CITY COMMENTS	4-15-22

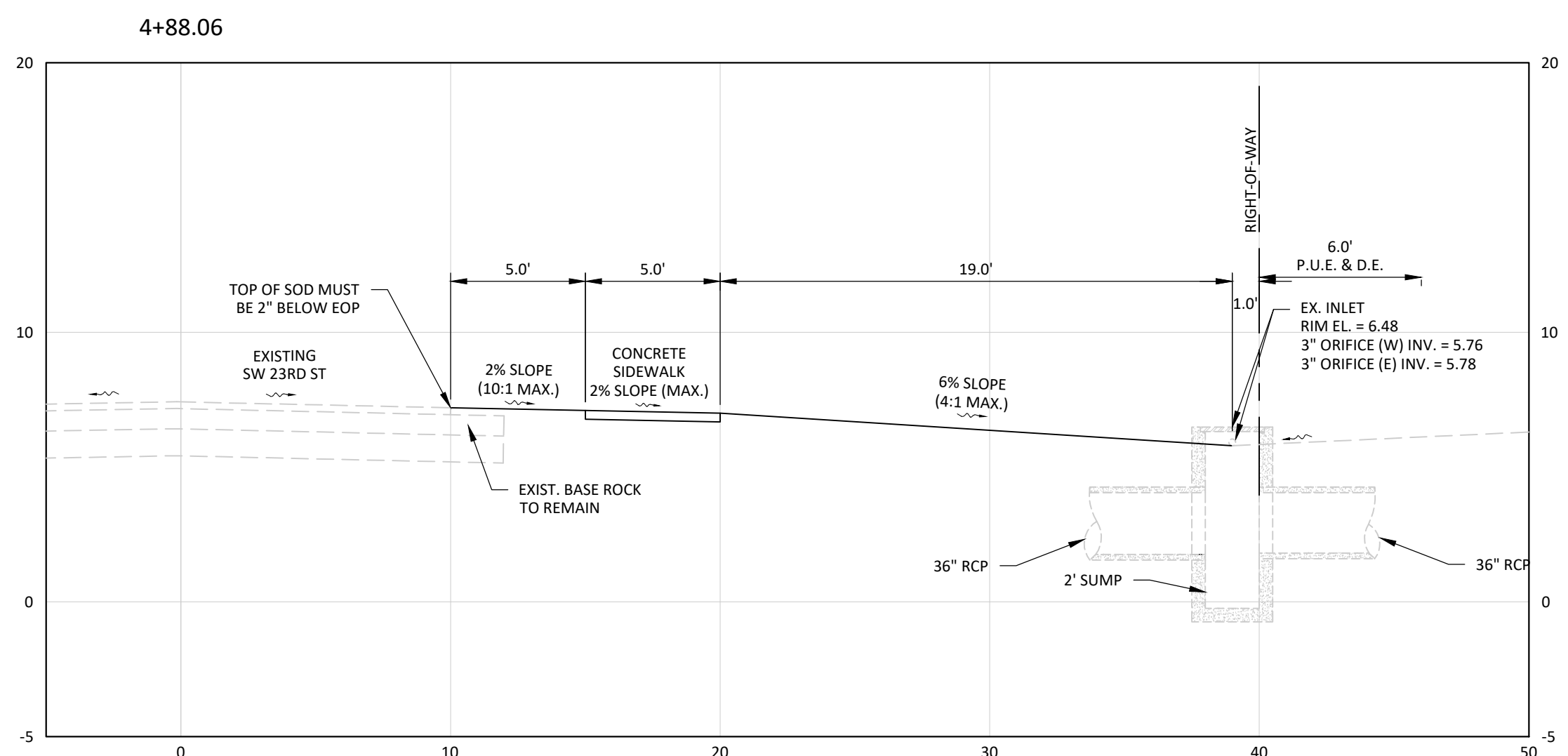
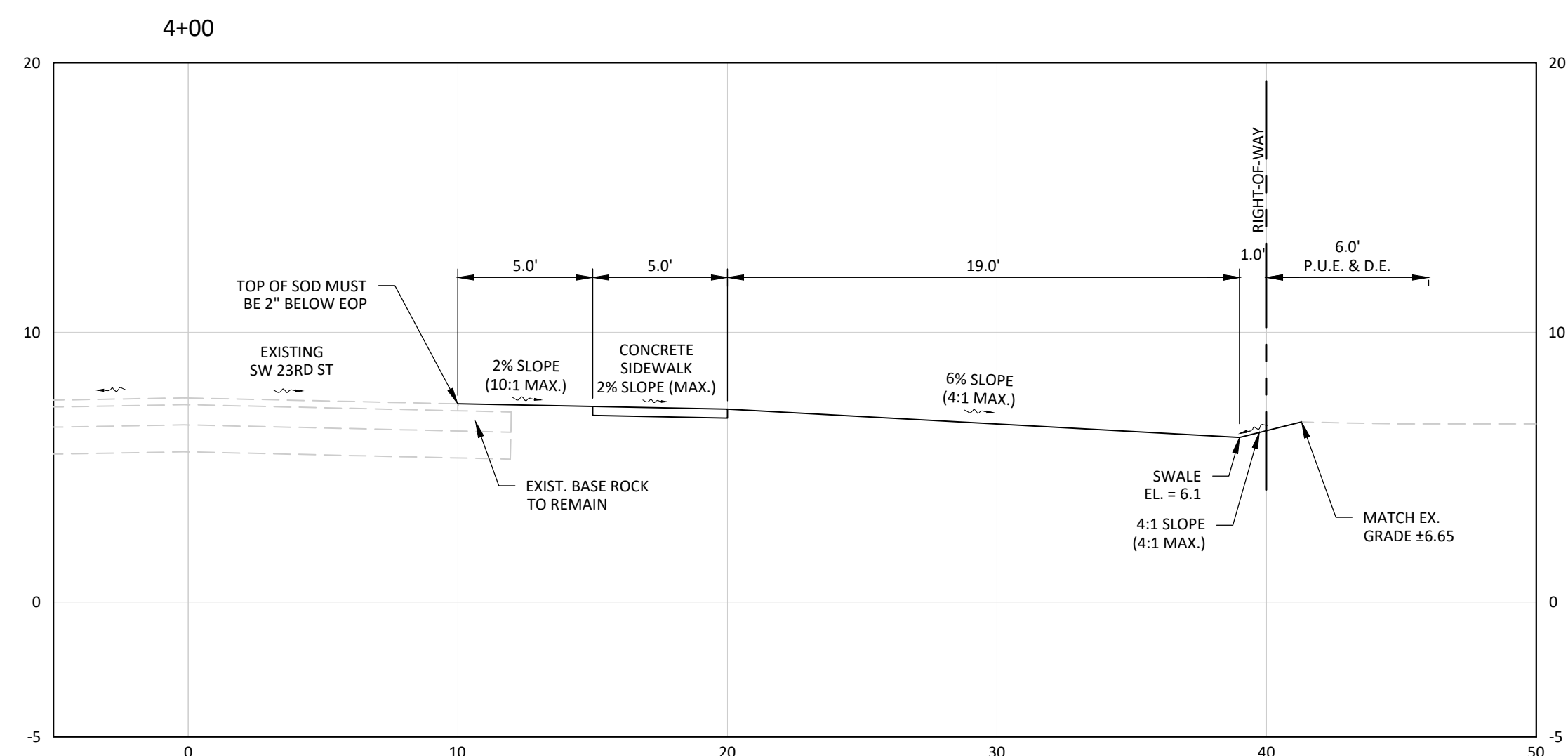
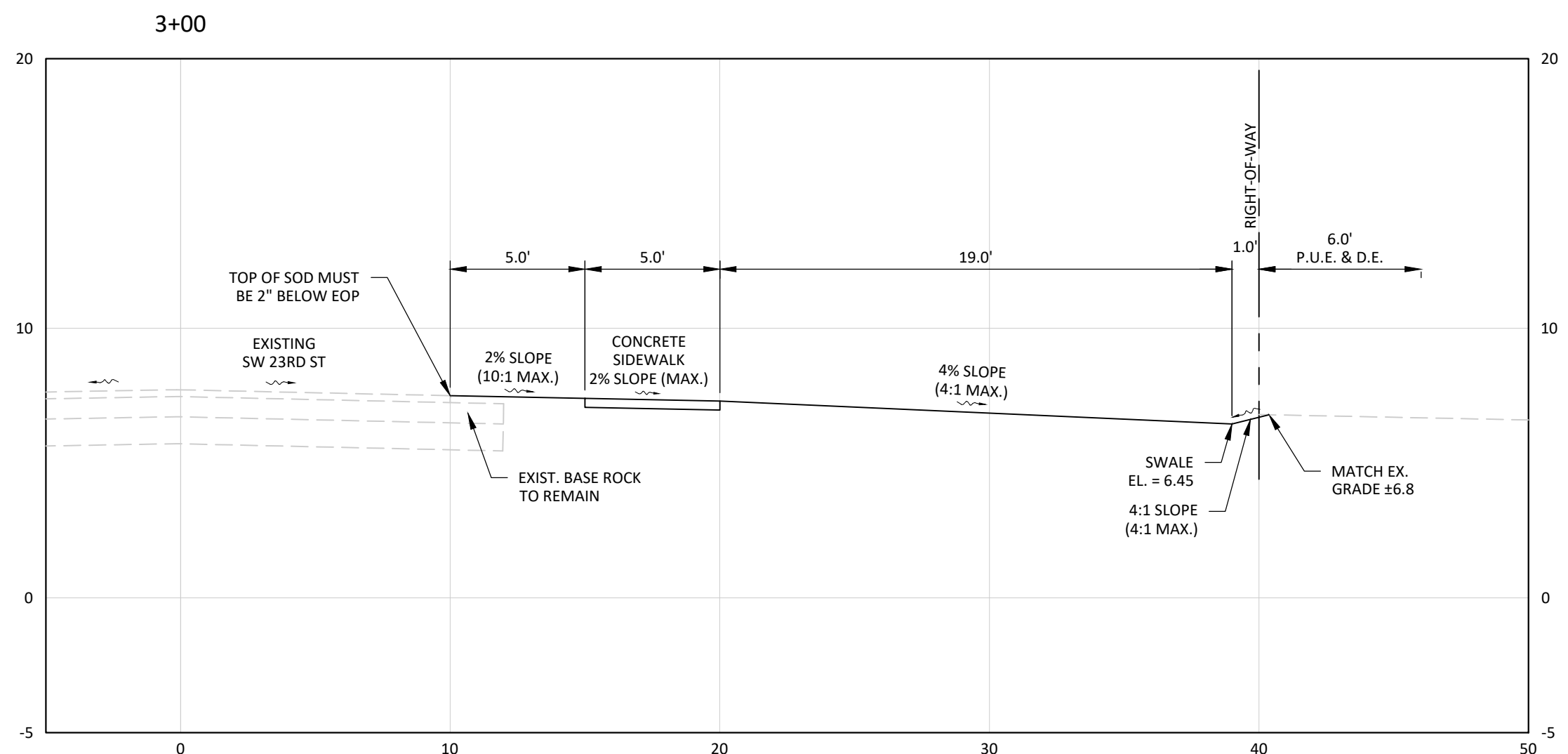
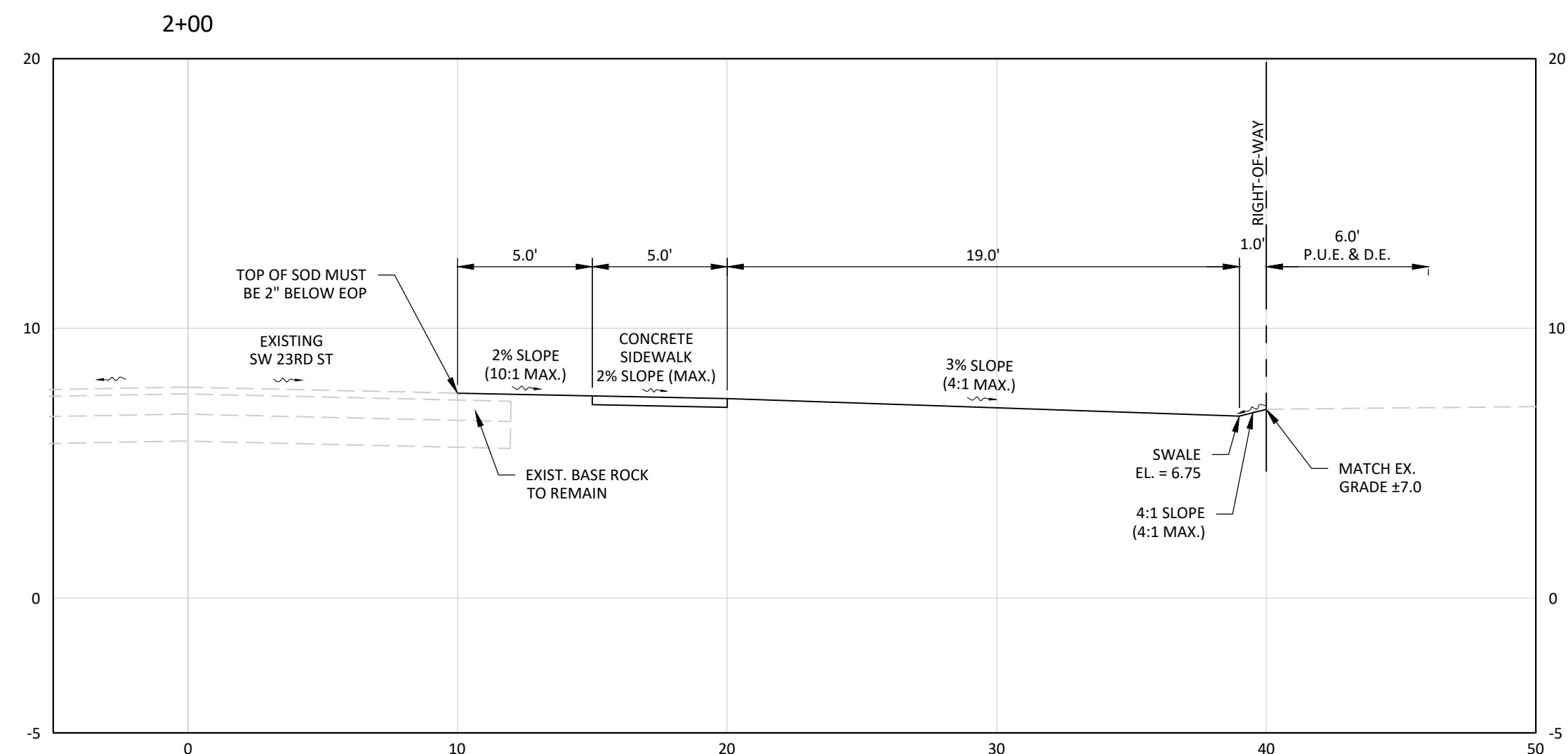
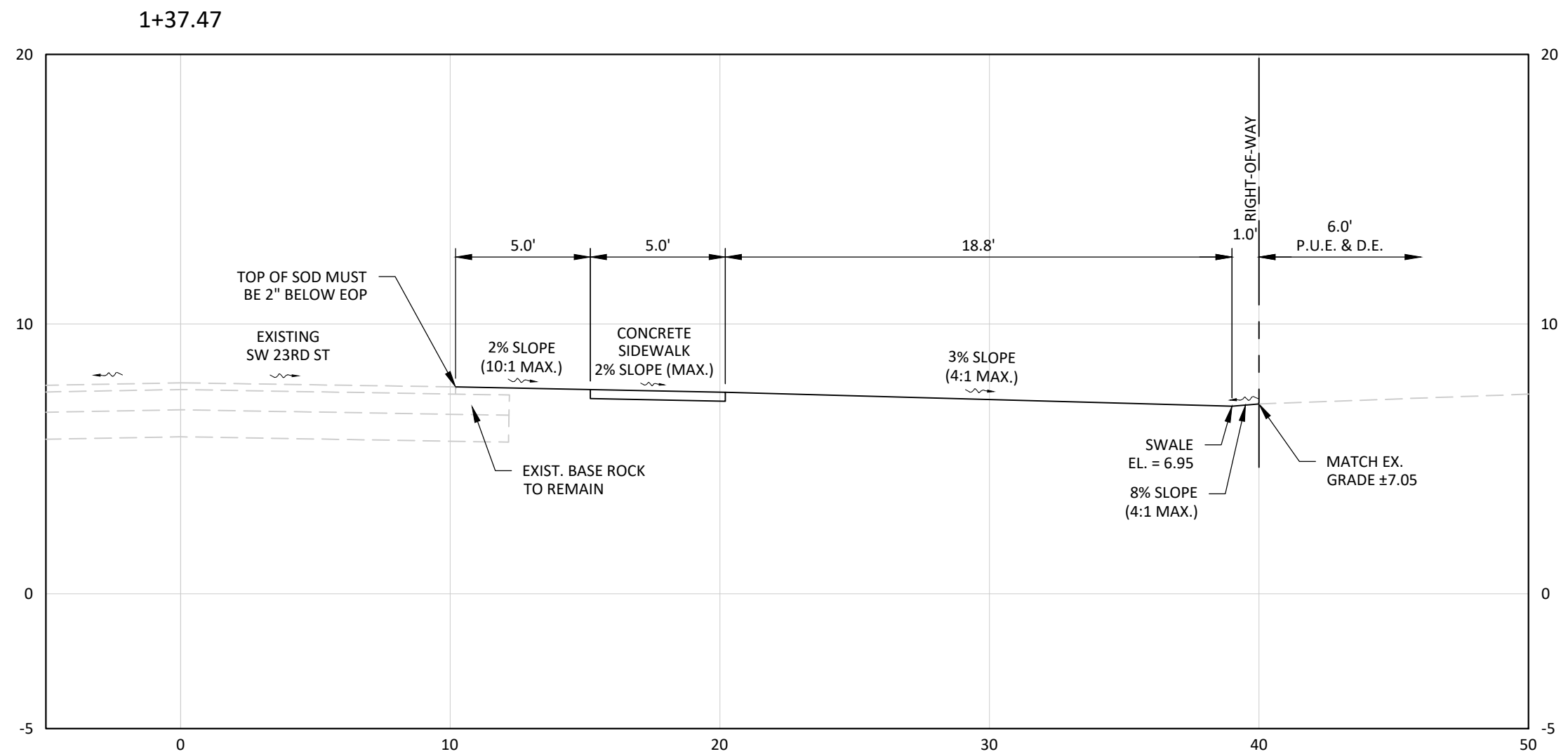
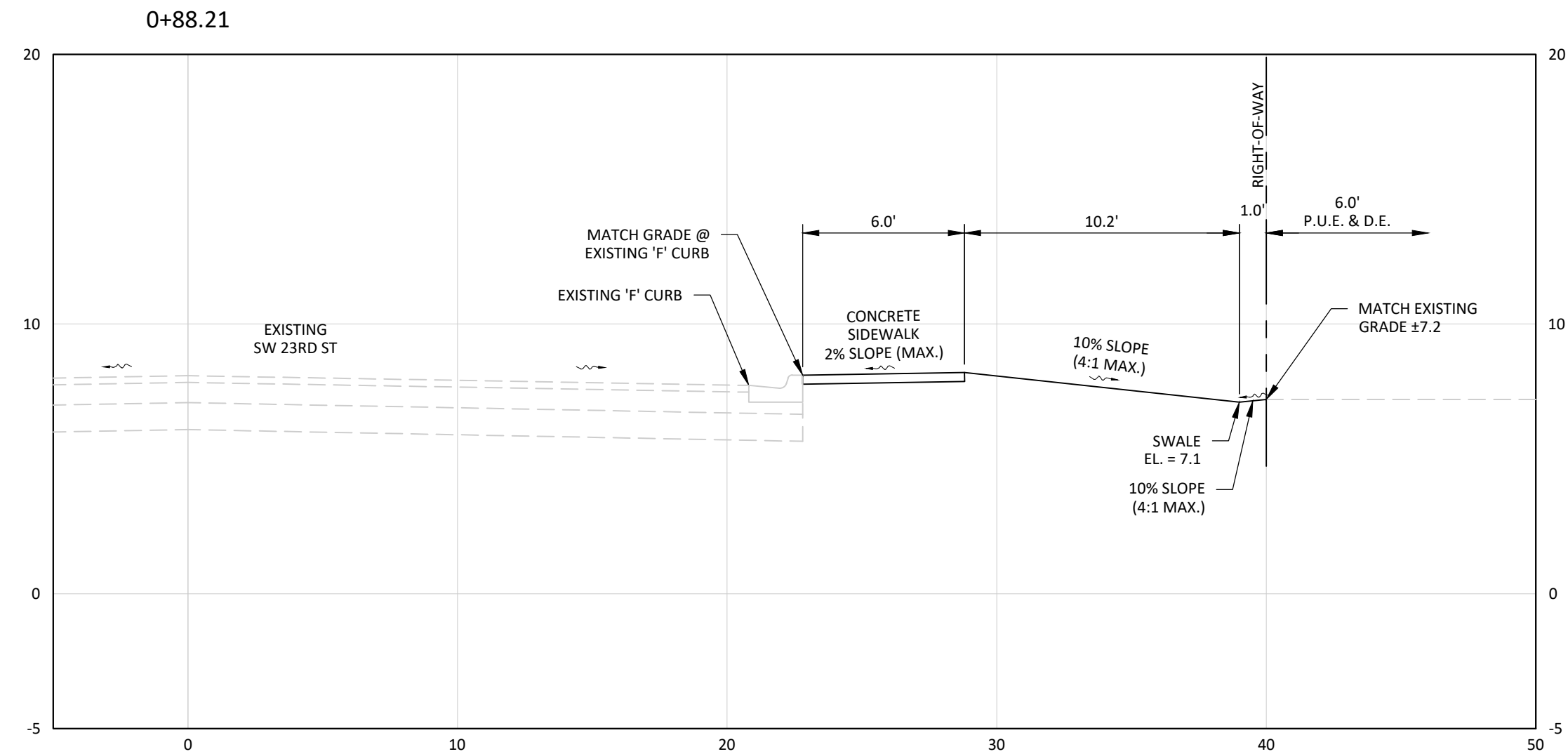
DATE:	8-20-21
PROJECT NO.:	1364-03
FILE NO.:	1364-03 UTIL.dwg
SCALE:	AS SHOWN



JASON E. TOMASSETTI, PE
 FL License No. 66263

NO.	REVISION	DATE	DESCRIPTION
R1	PER CITY COMMENTS	10-28-21	
R2	PER CITY COMMENTS	11-30-21	
R3	PER CITY COMMENTS	2-23-22	
R4	PER CITY COMMENTS	4-15-22	

DATE: 8-20-21
 PROJECT NO. 1364-03
 FILE NO. 1364-03-OFFSITE.dwg
 SCALE: AS SHOWN



NO.	REVISION	DATE	REVISIONS DESCRIPTION
R1	PER CITY COMMENTS	10-28-21	
R2	PER CITY COMMENTS	11-30-21	
R3	PER CITY COMMENTS	2-23-22	
R4	PER CITY COMMENTS	4-15-22	

DATE:	8-20-21
PROJECT NO.	1364-03
FILE NO.	1364-03-OFFSITE.dwg
SCALE:	AS SHOWN

OFFSITE IMPROVEMENTS CROSS SECTIONS
 SHEET TITLE



2401 FIRST STREET, SUITE 201
FORT MYERS, FLORIDA 33901
PH: (239)-226-0024
EB-26544 CA-LC26000374

ZIMMER
DEVELOPMENT COMPANY

CLIENT NAME AND ADDRESS

OASIS @ CAPE CORAL PHASE 2
CITY OF CAPE CORAL, FLORIDA

PROJECT NAME AND LOCATION

JASON E. TOMASSETTI, PE
FL License No. 66263

NO.	REVISION	DATE
R1	PER CITY COMMENTS	10-28-21
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DATE: 8-20-21
PROJECT NO. 1364-03
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SCALE: AS SHOWN

OFFSITE
IMPROVEMENTS
CROSS SECTIONS

SHEET TITLE

C-24

SHEET NUMBER

