GENERAL PLUMBING NOTES

GENERAL REQUIREMENTS:

- PLUMBING CONTRACTOR IS TO FURNISH & PAY FOR ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, & FEES REQUIRED FOR THE COMPLETE INSTALLATION OF ALL SYSTEMS IN THIS SECTION OF WORK.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE W/ 2020 FLPC & ALL OTHER APPLICABLE CODES. P.C. IS TO COORDINATE W/ G.C. IN REGARDS TO PROJECT TIMELINE, WORK HOURS, AS WELL AS ANY BONDING OR INSURANCE
- ALL PLUMBING FIXTURES & PLUMBING SYSTEM EQUIPMENT SHALL BE PROVIDED COMPLETE W/ ALL ACCESSORIES, HANGERS, VALVES, STOPS, TAILPIECES, TRAPS, FAUCETS, STRAINERS, ETC. REGARDLESS OF PRESENCE ON PLANS. SEE FIXTURE
- ALL EQUIPMENT, MATERIALS, & INSTALLATION SHALL BE GUARANTEED TO BE FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE OF WORK OR IN ACCORDANCE W/ THE MFG'S STANDARD GUARANTEE, IF LONGER. EXISTING EQUIPMENT IS EXCLUDED FROM WARRANTY REQUIREMENT.
- THESE DRAWINGS ARE DIAGRAMMATIC & SHOW GENERAL LOCATION & ARRANGEMENT OF ALL MATERIALS & EQUIPMENT. THE DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS BUILDING CONSTRUCTION & ALL OTHER WORK WILL
- DO NOT SCALE DRAWINGS FOR MEASUREMENT.
- INFORMATION GIVEN IN SCHEDULES INCLUDES BOTH DESCRIPTION OF PRODUCT & MFG'S MODEL NUMBER. IF CONFLICT IS PRESENT BETWEEN DESCRIPTION & MODEL NUMBER, EQUIPMENT DESCRIPTION SHALL TAKE PRECEDENT. IN CASE OF CONFLICT BETWEEN THE PLANS & NOTES/ SPECIFICATIONS OR CONFLICT BETWEEN INFORMATION PRESENTED ON THE PLANS OR IN THE NOTES/SPECIFICATIONS, THEN THE MOST RESTRICTIVE SHALL TAKE PRECEDENT.
- BEFORE BID P.C. IS RESPONSIBLE FOR CLARIFYING W/ G.C. ANY CONFUSION IN REGARDS TO RESPONSIBILITY OF WORK TO BE PERFORMED OR MATERIALS TO BE PROVIDED. THE SUBMITTAL OF THE BID BY THE CONTRACTOR WILL BE HELD AS PROOF THAT THE CONTRACTOR UNDERSTANDS THOROUGHLY & COMPLETELY THE SCOPE OF THE WORK INVOLVED, & HAS INCLUDED ON THE BID ALL THE NECESSARY ITEMS TO CARRY OUT THIS SECTION OF WORK.
- AS SOON AS POSSIBLE (& NOT MORE THAN 30 DAYS) AFTER CONTRACT IS SIGNED, THE P.C. SHALL PROVIDE SUBMITTALS OF PLUMBING EQUIPMENT HE/SHE INTENDS TO PURCHASE FOR REVIEW & COMMENT BY THE ENGINEER. ENGINEER IS TO APPROVE SUBMITTALS BEFORE EQUIPMENT IS ORDERED.
- ALL QUESTIONS MUST BE SUBMITTED IN RFI FORMAT TO THE ARCHITECT & MUST BE ADDRESSED BY THE APPROPRIATE DESIGNER OF RECORD PRIOR TO BECOMING A PROPOSED CHANGE ORDER.
- P.C. IS TO REVIEW COMPLETE DRAWING SET. P.C. IS RESPONSIBLE FOR WORK EXPLICITLY SHOWN & WORK IMPLIED. UNLESS OTHERWISE NOTED, FINAL PLUMBING CONNECTION TO ALL EQUIPMENT, FIXTURES, ETC. IS THE RESPONSIBILITY OF THE

DIVISION OF WORK:

- ALL ROOF PENETRATIONS, FLASHING, ETC. ARE TO BE PERFORMED BY ROOFING CONTRACTOR.
- ALL LOW VOLTAGE WIRING RELATED TO PLUMBING EQUIPMENT & SYSTEMS IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR. ALL HIGH VOLTAGE CONNECTIONS TO PLUMBING EQUIPMENT, INCLUDING DISCONNECTS, TO BE PROVIDED & INSTALLED BY E.C.
- G.C. TO BE RESPONSIBLE FOR PROVIDING & INSTALLING ANY ACCESS DOORS RELATED TO PLUMBING SYSTEM (W/ EXCEPTION OF CLEANOUT COVERS, BY P.C.). P.C. RESPONSIBLE FOR COMMUNICATING TO G.C. SIZE & LOCATION OF REQUIRED ACCESS DOOR(S).
- PLUMBING CONTRACTOR IS TO EMPLOY THE SERVICES OF THE G.C. FOR CUTTING & PATCHING OF WALLS, FLOORS, & CEILINGS RELATED TO THE INSTALLATION OF PLUMBING EQUIPMENT & SYSTEMS.
- G.C. TO BE RESPONSIBLE FOR PROVIDING & INSTALLING ANY WATER HEATER PLATFORMS, EITHER FLOOR/WALL MOUNTED OR SUSPENDED. P.C. TO COMMUNICATE REQUIREMENTS TO G.C.

III. MATERIALS:

- ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE SHOWN OR SPECIFIED.
- 2. ALL MATERIALS INSTALLED IN RETURN PLENUM ARE TO BE PLENUM RATED.
- ALL EXTERIOR EQUIPMENT, DEVICES, & MATERIALS SHALL BE RATED FOR USED IN A APPLIANCE, OR MECHANICAL EQUIPMENT. 160 MPH WIND ZONE.
- PIPING MATERIALS & FITTINGS SHALL BE AS FOLLOWS: WASTE & VENT (ABOVE & BELOW SLAB):
 - PVC PIPE, PVC SOCKET FITTINGS, & SOLVENT-CEMENTED FITTINGS. PROVIDE CAST IRON, PLENUM WRAPPED PVC OR OTHER APPROVED MATERIALS IN RETURN PLENUM. DOMESTIC WATER (BELOW SLAB):

TYPE 'K' COPPER.

CONTINUOUS PEX DOMESTIC WATER (ABOVE SLAB):

- TYPE 'L' COPPER W/ SWEATED SOCKET FITTINGS. THREADED FITTINGS MAY BE USED AT VALVES, FIXTURES, & SIMILAR.
- CPVC PIPING W/ SOLVENT-CEMENTED FITTINGS. THREADED FITTINGS MAY BE USED AT VALVES, FIXTURES, & SIMILAR. PROVIDE PLENUM-RATED CPVC OR PLENUM WRAP IF USED IN RETURN
- PEX PIPING W/ FLARED OR MECHANICAL JOINTS/FITTINGS. DO NOT USE IN EXPOSED AREAS. DO NOT USE IN RETURN PLENUMS. STORM PIPING (ABOVE & BELOW SLAB):
 - PVC PIPE, PVC SOCKET FITTINGS, & SOLVENT-CEMENTED
- FOR AUTOMATIC-CIRCULATING HOT WATER SYSTEMS, PIPING SHALL BE INSULATED W/ 1" OF INSULATION HAVING A CONDUCTIVITY NOT EXCEEDING 0.27 BTU .IN/HR x FT² x °F. THE FIRST 8' OF PIPING IN NON- CIRCULATING SYSTEMS SERVED BY EQUIPMENT W/OUT INTEGRAL HEAT TRAPS SHALL BE INSULATED W/ 0.5" OF MATERIAL HAVING A CONDUCTIVITY NOT EXCEEDING 0.27 BTU •IN/HR x FT2 x °F. (2020 FLECC C404.4)
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATING HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. (2020 FLECC R403.5)
- INSULATION IS REQUIRED ON ALL ROOF DRAIN BODIES & PIPING (ABOVE SLAB). 1/2" THICK RIGID MOLDED FIBERGLASS W/ FITTINGS INSERTS, PVC COVERS, & VAPOR BARRIER JACKET.
- PROVIDE HANGERS & SUPPORTS APPROVED FOR USE PER FLPC.
- ANY PLUMBING FIXTURES W/ A COMMON SHUT-OFF VALVE (I.E. PRE-RINSE, KITCHEN SINK, MOP SINK) ARE TO INCLUDE A CHECK VALVE ON THE HOT & COLD WATER VALVES TO PREVENT INTERCONNECTION OF HOT & COLD WATER LINES.

V. COORDINATION:

- BEFORE BEGINNING WORK, INVERT ELEVATIONS SHALL BE ESTABLISHED. P.C. IS TO ENSURE PROPER SLOPES OF ALL WASTE & STORM PIPING CAN BE MAINTAINED. CONTACT ENGINEER IMMEDIATELY IF PROBLEM/ISSUE IS DISCOVERED.
- P.C. TO COORDINATE LOCATION OF ALL ROOF PENETRATIONS W/ ROOFING CONTRACTOR & MECHANICAL CONTRACTOR. P.C. & M.C. TO COORDINATE TO ENSURE NO PLUMBING VENTS ARE LOCATED WITHIN 10' OF ANY OUTSIDE AIR
- P.C. TO COORDINATE W/ G.C. & ARCH PLANS TO ENSURE NECESSARY BACKING/SUPPORTS ARE INSTALLED TO ALLOW INSTALLATION OF PLUMBING
- THE PLUMBING CONTRACTOR SHALL COORDINATE CLOSELY W/ ALL OTHER TRADES TO AVOID CONFLICT & ENSURE OTHER TRADES PROVIDE MEASURES TO ACCOMMODATE PLUMBING WORK (I.E. ACCESS DOORS, SLAB/WALL/ROOF OPENINGS, ELECTRICAL CONNECTIONS, ETC.)
- PIPING SHOULD BE COORDINATED W/ ALL STRUCTURAL FOOTINGS & FOUNDATIONS. PIPE SHOULD BE OFFSET TO AVOID CONTACT W/ FOOTINGS & FOUNDATION WALLS. IF PIPING MUST RUN UNDER A FOOTING OR THROUGH A FOUNDATION WALL, THE PIPE MUST BE INSTALLED W/ A RELIEVING ARCH OR IN A PIPE SLEEVE PER FLPC 305.3.
- P.C. TO REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS OF PLUMBING FIXTURES.

V. EXECUTION:

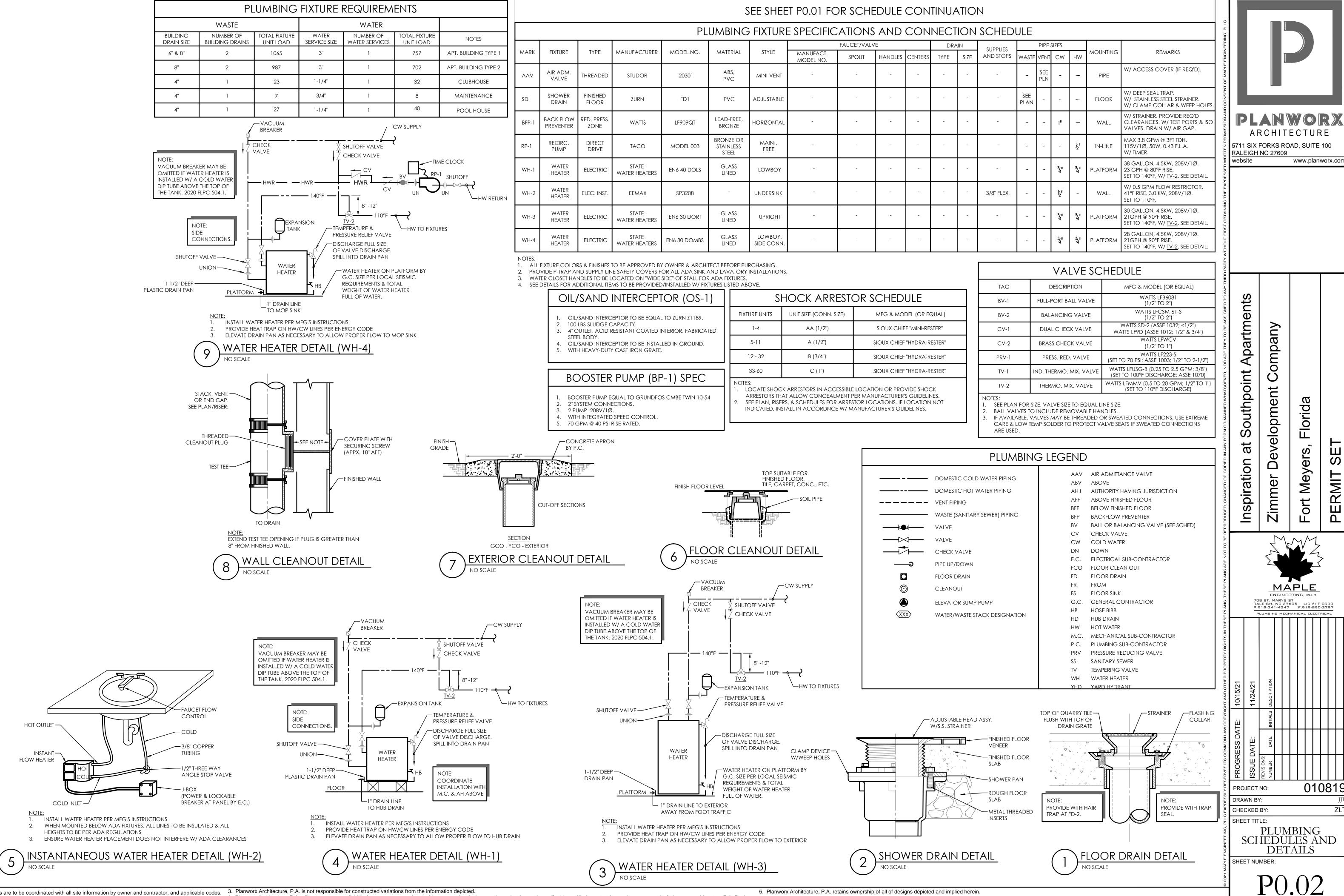
- P.C. TO FOLLOW MFG'S INSTRUCTIONS WHEN INSTALLING PLUMBING EQUIPMENT. ENSURE REQUIRED MAINTENANCE ACCESS & CLEARANCES ARE MAINTAINED. IF CONFLICT EXISTS BETWEEN THESE PLANS & MFG'S INSTRUCTIONS, CONTACT
- P.C. RESPONSIBLE FOR EXECUTING ALL CODE REQUIRED TESTS & INSPECTIONS, INCLUDING BUT NOT LIMITED TO, LEAK & PRESSURE TESTING OF WASTE, VENT, & WATER PIPING, & SANITIZING OF WATER PIPING.
- WATER SERVICE & BUILDING SEWER PIPING MUST BE SEPARATED PER FLPC 603.2.
- ENSURE PIPING LOCATED ON EXTERIOR WALLS (OR OTHER WALLS EXPOSED TO FREEZING CONDITIONS) IS INSTALLED ON WARM-SIDE OF WALL INSULATION PER
- ALL WATER PIPING INSTALLED BELOW GRADE TO BE PROTECTED AGAINST FREEZING BY BURYING NOT LESS THAN 6" BELOW THE FROST LINE OR NOT LESS THAN 12" BELOW FINISHED GRADE, WHICHEVER IS GREATER PER FLPC 305.4.
- A 14 AWG INSULATED COPPER WIRE IS TO BE PROVIDED ON ALL PLASTIC PIPE FROM THE CLEANOUT AT THE BUILDING DRAIN/BUILDING SEWER CONNECTION TO ALL POINTS **DOWNSTREAM** PER FLPC 306.2.4.
- ALL EXPOSED WASTE P-TRAPS TO BE PROVIDED W/ INSULATION. INSULATION TO BE PROTECTED BY WEATHER-RESISTANT COATING, EQUAL TO ARMACELL "ARMAFLEX WB FINISH."
- ANY NOTCHING, DRILLING, BORING, OR OTHER ALTERATION TO BUILDING STRUCTURE SHALL BE PERFORMED IN A CODE APPROVED METHOD & NOT THREATEN THE INTEGRITY OF THE BUILDING STRUCTURE.
- SUPPORT ALL PIPING IN ACCORDANCE W/ FLPC. ANY SUSPENDED MATERIALS SHALL BE DIRECTLY SUPPORTED BY THE BUILDING STRUCTURE. DO NOT ATTACH ANYTHING TO THE ROOF DECK.
-). PROVIDE A U.L. LISTED ASSEMBLY FOR ALL PENETRATIONS THRU FIRE RATED WALLS, FLOORS, & CEILINGS.
- . PENETRATIONS OF ALL EXTERIOR WALLS, FLOORS, & CEILINGS SHALL BE SEALED IN AN AIR TIGHT MANNER & IN ACCORDANCE W/ 2020 FLECC.
- 12. CLEANOUT PLUGS SHALL BE INSTALLED IN ACCORDANCE W/ PLUMBING CODE REQUIREMENTS. PROVIDE CLEANOUTS AS PLANS INDICATED & AT THE BASE OF ALL WASTE STACKS, AT EVERY FOUR 45 DEGREE TURNS IN SERIES (W/ ONE 90° ELBOW COUNTING AS TWO 45° BENDS), AT EVERY 100 FEET, & AT THE BASE OF ALL ROOF LEADERS. CLEANOUTS SHALL BE PLACED IN READILY ACCESSIBLE LOCATIONS.
- 13. SUPPLY BRANCH LINES SERVING MORE THAN ONE (1) FIXTURE SHALL INCLUDE SHUT-OFF VALVE. LABEL VALVE & LOCATE AS CLOSE TO RISER/MAIN AS POSSIBLE. (FLPC 606.2.1)
- 4. VALVES NOT DIRECTLY AT EQUIPMENT SHALL BE LABELED INDICATING THE FIXTURE OR AREA SERVED. (FLPC 606.4)
- 5. PROVIDE SHUT-OFF VALVES ON THE FIXTURE SUPPLY TO EACH PLUMBING FIXTURE,
- 6. WATER HEATER SHALL BE FILLED W/ WATER & PURGED AS SOON AS INSTALLED OR IN NO EVENT LATER THAN GAS/ELECTRIC HOOK-UP.
- 7. COPPER PIPING SHALL BE PROTECTED AGAINST CONTACT W/ MASONRY OR DISSIMILAR METALS. ALL HANGERS, SUPPORTS, ANCHORS, & CLIPS SHALL BE COPPER OR COPPER PLATED. WHERE COPPER PIPING IS CARRIED ON IRON TRAPEZE HANGERS W/ OTHER PIPING, SATISFACTORY & PERMANENT ELECTROLYTIC ISOLATION MATERIAL SHALL PROTECT THE COPPER AGAINST CONTACT W/ OTHER
- 8. WHERE COPPER PIPING IS SLEEVED THROUGH MASONRY, SLEEVES SHALL BE COPPER OR RED BRASS. WHERE COPPER MUST BE CONCEALED IN A MASONRY PARTITION OR AGAINST MASONRY, CONTACT SHALL BE PREVENTED BY COATING THE COPPER HEAVILY W/ ASPHALTIC ENAMEL & PROVIDING 15# ASPHALT SATURATED FELT BETWEEN THE PIPE & MASONRY.
- 9. ALL PIPE INSULATION SHALL RUN CONTINUOUSLY THROUGH FLOORS, WALLS, & PARTITIONS. PIPE INSULATION SHALL BE MITERED AT ELBOWS & TEES TO ENSURE COMPLETE COVERAGE OF PIPING.
- 20. VACUUM BREAKERS SHALL BE PROVIDED FOR ALL FIXTURES TO WHICH HOSES MAY BE ATTACHED. VACUUM BREAKERS SHALL BE PERMANENTLY ATTACHED.
- 11. THE PLUMBING CONTRACTOR SHALL PROVIDE WATER HAMMER PROTECTION ON ALL WATER DISTRIBUTION PIPING SERVING EQUIPMENT W/ QUICK CLOSING VALVES (ICE MAKERS, DISHWASHERS, FLUSH VALVES, WASHING MACHINES, WATER COOLERS, ETC.) SEE SHOCK ARRESTOR SCHEDULE.
- 22. ACCESS DOORS TO BE PROVIDED FOR ALL VALVES & DEVICES REQUIRING ACCESS WHEN LOCATED IN WALLS OR ABOVE INACCESSIBLE CEILING CONSTRUCTION. ACCESS DOORS TO BE RATED WHERE INSTALLED IN RATED
- 23. P.C. IS TO ENSURE THAT THEIR INSTALLATION OF NEW CONDUITS, PIPES, DUCTWORK, & SIMILAR DOES NOT BLOCK ACCESS TO NEW OR EXISTING AREA EQUIPMENT & THAT THE FORE MENTIONED DOES NOT INTERFERE W/ THE REQUIRED SERVICE CLEARANCE OF NEW OR EXISTING EQUIPMENT. COORDINATE W/ OTHER TRADE CONTRACTORS & CONTACT ENGINEER IF UNCERTAINTY EXISTS REGARDING EQUIPMENT SERVICE CLEARANCE REQUIREMENTS.
- 4. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLUMBING EQUIPMENT FROM FOREIGN MATERIAL DURING CONSTRUCTION (PAINT SPACKLE, ETC.). UPON COMPLETION OF WORK, THE PLUMBING CONTRACTOR SHALL CLEAN, WASH, ETC. ALL ITEMS & EQUIPMENT WITHIN HIS SCOPE OF WORK & LEAVE ALL ITEMS BRIGHT & CLEAN.
- 25. NO INSULATION PERMITTED ON BACKFLOW PREVENTER ASSEMBLY.
- 29. PROVIDE PRESSURE REDUCING VALVE IF INCOMING WATER PRESSURE EXCEEDS 80
- 30. ALL EXTERIOR EQUIPMENT, DEVICES, & MATERIALS SHALL BE INSTALLED & BRACED TO WITHSTAND A 160 MPH WIND.

				PL	UMBING	FIXIUKE	SPECIFIC	AHONS	AND	CON	NECI	ION	2CHED	ULE										_
MARK	FIXTURE	TYPE	MANUFACTURER	MODEL NO.	MATERIAL	STYLE	MANUFACT. MODEL NO.	FAUCET/VALV SPOUT	E HANDLES	CENTERS	DRA TYPE	IN SIZE	SUPPLIES AND STOPS	WASTE	PIPE S VENT		HW	MOUNTING	remarks	IG, PLLC.				
P-1	WATER CLOSET	FLUSH TANK	STERLING	403081	VITREOUS CHINA	STANDARD ELONGATED	-	-	-	-	-	-	BRASSCRAFT OCR1912DL	3"	2"	½ "	-	FLOOR	PROVIDE CLOSED FRONT SEAT WITH LID. RIM HEIGHT = 15"	ENGINEERIN	L			
P-1A	WATER CLOSET	FLUSH TANK	american Standard	238AA.114	vitreous China	ADA ELONGATED	-	-	-	-	-	-	BRASSCRAFT OCR1912DL	3"	2"	h п 2	-	FLOOR	PROVIDE CLOSED FRONT SEAT WITH LID. RIM HEIGHT = 16.5"	OF MAPLE				
P-1B	WATER CLOSET	flush Tank	KOHLER	K-5172	VITREOUS CHINA	ADA ELONGATED	-	-	-	-	-	-	BRASSCRAFT OCR1912DL	3"	2"	<u>}2</u> "	-	FLOOR	PROVIDE OPEN FRONT SEAT WITH NO LID. RIM HEIGHT = 16.5"	CONSENT				-
P-1C	WATER CLOSET	FLUSH TANK	american Standard	270AA.101	VITREOUS CHINA	ADA ELONGATED	-	-	-	-	-	-	BRASSCRAFT OCR1912DL	3"	2"	<i>1</i> / ₂ "	-	FLOOR	PROVIDE OPEN FRONT SEAT WITH NO LID. RIM HEIGHT = 16.5"	MISSION AND			W O	
P-2	LAVATORY	UNDER MOUNT	MR	U1812	VITREOUS CHINA	STANDARD COUNTER TOP	OLYMPIA L-6050	CENTER	LEVER	SINGLE HOLE	POP-UP	1½"	BRASSCRAFT OCR1912A	2ª	1½"	<u>k</u> "	ķ"	COUNTER	1.2 GPM.		5711 SIX		OAD, SUIT	
P-2A	LAVATORY	UNDER MOUNT	MR	U1812	VITREOUS CHINA	ADA COUNTER TOP	OLYMPIA L-6050	CENTER	LEVER	SINGLE HOLE	POP-UP	1½"	BRASSCRAFT OCR1912A	2"	15"	<u>k</u> "	ķ,"	COUNTER	1.2 GPM. BARRIER FREE.	RESSED WR	vebsite		www.pla	anworx.co
P-2B	LAVATORY	VESSEL	SIGNATURE HARDWARE	SKU: 930337	MARBLE	ADA	VIGO VG03009	CENTER	AUTO	SINGLE HOLE	GRID	1½"	BRASSCRAFT OCR1912A	2"	1½"	<i>\f</i> ₂ "	½"	COUNTER	W/ 0.5GPM AERATOR BARRIER FREE.	G THE EXPE				
P-2C	LAVATORY	WALL MOUNT	AMERICAN STANDARD	0355.012	VITREOUS CHINA	ADA D-SHAPE	CFG 40717	CENTER	LEVER	4" 3-HOLE	GRID	1½"	BRASSCRAFT OCR1912A	2"	1½"	<i>\frac{\frac{1}{2}}</i> "	½"	WALL	W/ WALL BRACKET. 0.5 GPM. MOUNT AT ADA HEIGHT.	T OBTAININ				
P-2D	LAVATORY	DROP IN	american Standard	0476.028	VITREOUS CHINA	ADA COUNTER TOP	CFG 40717	CENTER	LEVER	4" 3-HOLE	GRID	1½"	BRASSCRAFT OCR1912A	2"	1½"	<u>у</u> "	ا _ل ا"	COUNTER	0.5 GPM. BARRIER FREE.	THOUT FIRS				
P-4	SHOWER/TUB (60 x 36)	FOUR PIECE	STERLING	71101120	VIKRELL	Standard	OLYMPIA T-2370	-	LEVER	-	RIGHT HAND	2"	-	2"	15"	½"	½ "	-	W/ 1.75 GPM FLOW RESTRICTOR. W/ TUB SPOUT. TILE WALLS BY G.C SHOWER VALVE LIMITED TO 120°F.	D PARTY WIT				
P-4A	SHOWER/TUB (60 x 36)	ADA	AQUATIC	2603SMTE	GELCOATED	ONE-PIECE	DELTA T17438	-	LEVER	-	POP-UP	2"	-	2"	1½"	<u>/</u> 2"	½"	-	HANDHELD SHOWER. W/ TUB SPOUT. TILE WALLS BY G.C SHOWER VALVE LIMITED TO 120°F.	O ANY THIRE	S			
P-5	SHOWER (60 x 34)	SHOWER BASE	STERLING	72131100	VIKRELL	Standard	Olympia T-2370	-	LEVER	-	FLOOR (AFR)	2 ¹¹	-	2"	1½"	<u>у</u> "	½"	-	W/ 1.75 GPM SHOWER HEAD. TILE WALLS BY G.C SHOWER VALVE LIMITED TO 120°F.	SSIGNED TO	ent			
P-5B	SHOWER HEAD	-	-	-	-	ADA	SYMMONS S-4702	-	LEVER	-	FLOOR	2 ¹¹	-	2"	1½"	<u>у</u> п	ly 11	FLOOR	TILED SHOWER BY G.C. W/ HAND SHOWER & SLIDE BAR. COORD. SEAT & BARS W/ ARCH. 2.5GPM	EY TO BE AS	partme	any		
P-6	SINK (26" x 16")	UNDER MOUNT	MR	29208	STAINLESS STEEL	SINGLE BOWL	OLYMPIA K-5020	CENTER	LEVER	SINGLE HOLE	CRUMB CUP	1½"	BRASSCRAFT OCR1912A	2"	1½"	½ "	ķ."	COUNTER	BOWL DEPTH = 9-3/8" W/ PULL DOWN SPRAYER. 1.8 GPM	OR ARE THE	Apa	mp		
P-6A	SINK (27" x 16")	UNDER MOUNT	MR	2905\$	STAINLESS STEEL	ADA 1-BOWL	OLYMPIA K-5020	CENTER	LEVER	SINGLE HOLE	CRUMB CUP	1½"	BRASSCRAFT OCR1912A	2"	1½"	½ "	½"	COUNTER	BOWL DEPTH = 5-5/8" W/ PULL DOWN SPRAYER. 1.8 GPM	SOEVER, N	oint	t Co		
P-6B	SINK (36" x 25")	UNDER MOUNT	KOHLER	K-6536-3-0	STAINLESS STEEL	SINGLE BOWL	ELKAY K-7548-4-VS	CENTER	LEVER	4" O.C. 2-HOLE	CRUMB CUP	1½"	BRASSCRAFT OCR1912A	2"	1½"	<u>}2</u> "	ly "	COUNTER	W/ OFFSET DRAIN, REAR CENTER. BOWL DEPTH = 6-7/8" W/ SPRAYER. 1.5 GPM	NNER WHAT	Southpoint	men	da	
P-6D	SINK (33" x 22")	DROP-IN	ELKAY	DLR332210	STAINLESS STEEL	DOUBLE BOWL	CFG 40513	CENTER	LEVER	4" O.C. 4-HOLE	CRUMB CUP	1½"	BRASSCRAFT OCR1912A	2"	1½"	<u>½</u> "	½"	COUNTER	BOWL DEPTH = 10-1/8" W/ SPRAYER. 1.5GPM	ORM OR MAI	Sou	do	Flori	
P-7	WASHER BOX	SUPPLY BOX	OATEY	-	PVC	PLASTIC, RECESSED	-	-	-	-	-	-	-	2" V 3" H	1½"	<i>y</i> ₂ "	½"	WALL	MATCH PIPING MATERIALS. W/ QTR TURN VALVE & SHOCK ARRESTORS. W/ FACEPLATE. W/ TAIL PIECE.	D IN ANY FC	at	evel	\S.	 SET
P-8	VALVE BOX	SUPPLY BOX	OATEY	-	POLYSTYRENE	PLASTIC, RECESSED	-	-	-	-	-	-	-	-	-	½"	-	WALL	MATCH PIPING MATERIALS. W/ QTR TURN VALVE & SHOCK ARRESTOR, W/ FACEPLATE.	OR COPIE	tior	er D	eye	
P-9	GARBAGE DISPOSAL	under Sink	Insinkerator	BADGER 1	-	-	-	-	-	-	-	1½"	-	2"	-	-	- (Jnder Sink	TO BE PROVIDED AT SINK, P-6 & P-6A.	D, CHANGEI	spiration	mm	T Z	R
P-10	WATER COOLER	HI-LO	ELKAY	LZWS-LRPBM28K	STAINLESS, VINYL	ADA	-	-	-	-	-	-	BRASSCRAFT G2CR19	1½"	1½"	<u>у</u> "	-	WALL	115V, 1.0 AMPS. HFC-134A. MOUNT AT ADA HEIGHT. W/ HANGER BRACKET. W/ EZH20 BOTTLE FILLER.	EPRODUCE	<u>lus</u>	Zir	Fo	- BE
P-10B	WATER COOLER	HI-LO	HALSEY TAYLOR	HVR-BL-WF LR	STAINLESS STEEL	EXTERIOR, ADA	-	-	-	-	-	-	COORD. W/ MFG.	1½"	1½"	½"	-	WALL	MOUNT AT ADA HEIGHT. W/ HANGER BRACKET.	OT TO BE RE				1
P-11	URINAL	WALL HUNG	KOHLER	K-4904-ET	VITREOUS CHINA	ADA TOP-SPUD	KOHLER K-10668	-	-	-	-	-	-	2"	1½"	3/4"	-	WALL	SEE ARCH PLAN FOR MTG. HEIGHT. 0.125 GPF. AUTO VALVE (BATTERY POWERED).	ANS ARE NO				<i>\\</i>
P-11B	URINAL	WALL HUNG	american Standard	6590.001	VITREOUS CHINA	ADA TOP-SPUD	AMER. STD. 6045.101	-	-	-	-	-	-	2"	1½"	3/11	-	WALL	SEE ARCH PLAN FOR MTG. HEIGHT. 1.0 GPF.	THESE PL	7.	ENGIN	APLE EERING, PLLI	3
P-12	SERVICE SINK	FLOOR MOUNT	ADVANCED TABCO	9-OP-40DF	STAINLESS STEEL	ONE-PIECE 18.5x25	FIAT 830AA (W/ CHECK VALVES)	CENTER	2	8" 2-HOLE	DOME	3"	-	3"	1½"	l ₂ "	<u>у</u> "	FLOOR	W/ WALL BRACKET. W/ MOP HANG. W/ HOSE & HOSE BRACKET. W/ VACUUM BREAKER.	IESE PLANS	P:	:919-341-424	S ST 17605 LIC.# 47 F:919-E CHANICAL ELE	90-3797
P-13	DOG WASH	FREE- STANDING	NEW BREED	LT101	-	-	MOEN POSI-TEMP	-	2	2-HOLE	-	-	-	2"	1½"	ا _ر ا 2	ly "	FLOOR	INCLUDES DRAIN, HOSE & VACUUM BREAKER PROVIDE W/ HAIR TRAP.	GHTS IN TH				
FD-1	FLOOR DRAIN	FINISHED FLOOR	ZURN	FD1	PVC	ADJUSTABLE	-	-	-	-	-	-	-	SEE PLAN	-	-	-	FLOOR	W/ DEEP SEAL TRAP. W/ TRAP SEAL, ZURN 1072.	ROPERTY RI				
FD-2	FLOOR DRAIN	FINISHED FLOOR	ZURN	FD1	PVC	ADJUSTABLE	-	-	-	-	-	-	-	SEE PLAN	-	-	-	FLOOR	W/ DEEP SEAL TRAP. W/ TRAP SEAL, ZURN 1072. W/ HAIR TRAP.	D OTHER PR	'15/21 '24/21	RIPTION		
WCO	WALL CLEANOUT	TEE	CHARLOTTE PIPE	PVC-445	PVC	FLUSH PLUG	-	-	-	-	-	-	-	SEE PLAN	-	-	-	WALL	W/ ZURN CO-2530 WALL COVER. W/ PVC PLUG W/ THREADED TAP.	YRIGHT AN	10/15/2			
GCO	GRADE CLEANOUT	ADJUSTABLE	ZURN	CO-2450	PVC BODY, NICKEL CVR.	-	-	-	-	-	-	-	-	SEE PLAN	-	-	-	GRADE	W/ CONCRETE PAD.	N LAW COP	DATE	P. INITIA		
FCO	FLOOR CLEANOUT	ADJUSTABLE	ZURN	CO-2450	PVC BODY, NICKEL CVR.	FINISHED FLOOR	-	-	-	-	-	-	-	SEE PLAN	-	-	-	FLOOR		TS COMMO	OGRESS UE DATE	DNS:		
HB-1	HOSE BIB	exposed, anti-siphon	ZURN	Z1341-BFP	BRONZE	-	-	-	-	-	-	-	-	-	-	l ₂ "	-	WALL	W/ VACUUM BREAKER.	ESERVE	P.R. SS	REVISIO		1001
HB-2	HOSE BIB	EXPOSED, ANTI-SIPHON	ZURN	Z1341-BFP	BRONZE	-	-	-	-	-	-	-	-	-	-	<i>l</i> ₂ "	-	WALL	W/ VACUUM BREAKER. LOOSE KEY TYPE.	PRESSLY	PROJECT DRAWN B CHECKED	BY:	<u> </u>	10819 ZL
FPHB	HOSE BIB	EXPOSED, ANTI-SIPHON	WOODFORD	MODEL 24	BRONZE	-	-	-	-	-	-	-	-	-	-	<u>у</u> "	-	WALL	VERIFY WALL DEPTH. W/ VACUUM BREAKER.	<u> ب</u>	SHEET TIT	TLE:	MBIN(
		<u> </u>		l	<u> </u>	I HEE	T P0.02 FC	JR SCHE	:DIII E	L CON	LLLLI TINII I A		l NI						LOOSE KEY TYPE.	AGINEERII		SCHE	DULE Noti	ES

PLUMBING FIXTURE SPECIFICATIONS AND CONNECTION SCHEDULE

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SHEET NUMBER:



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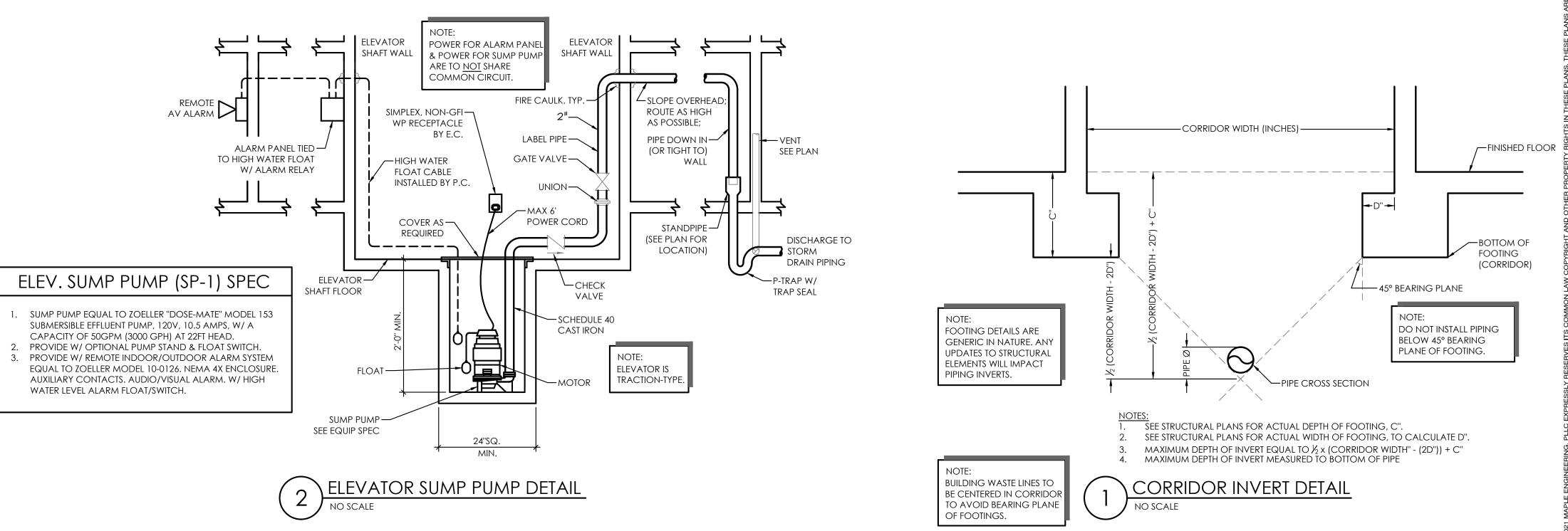
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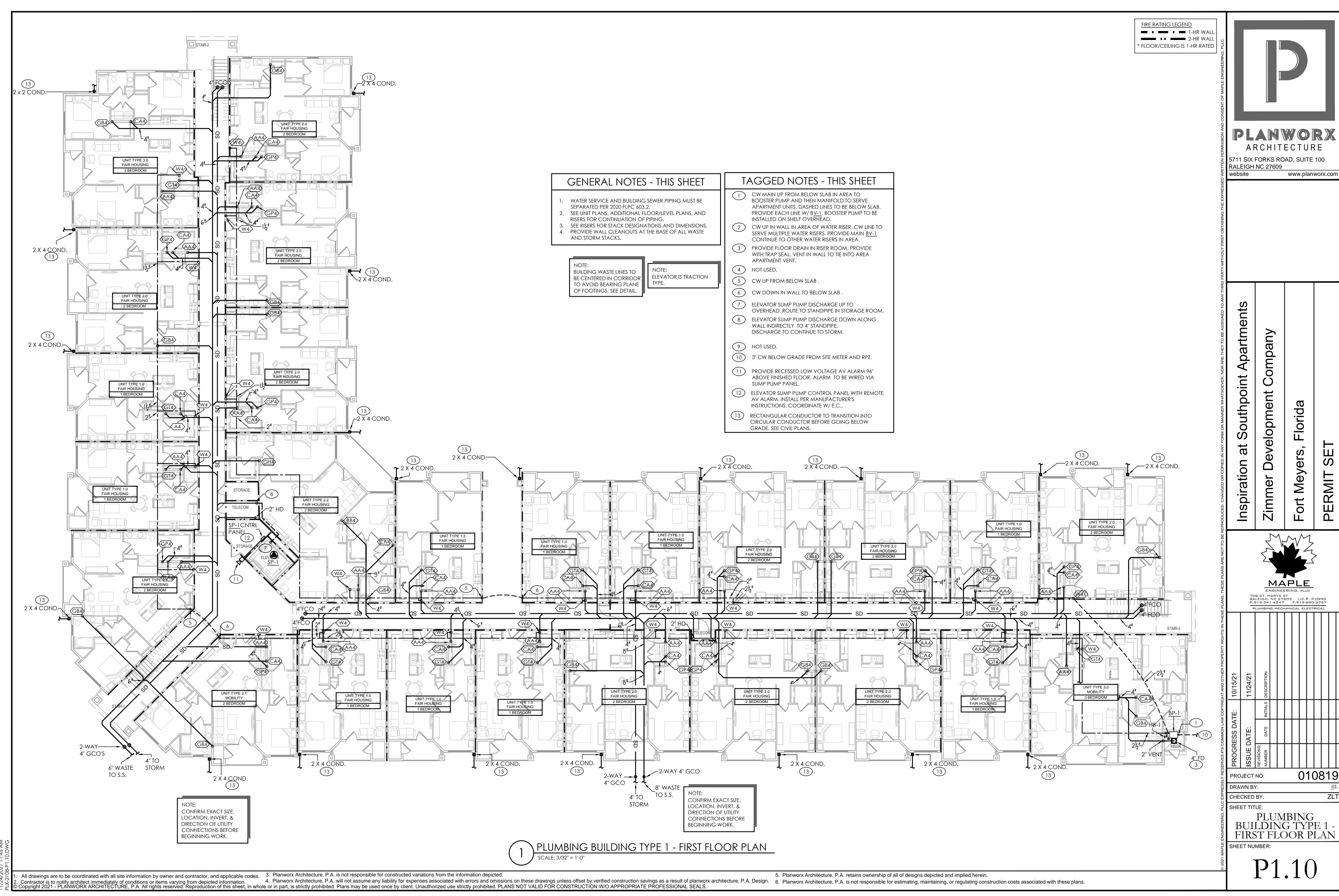
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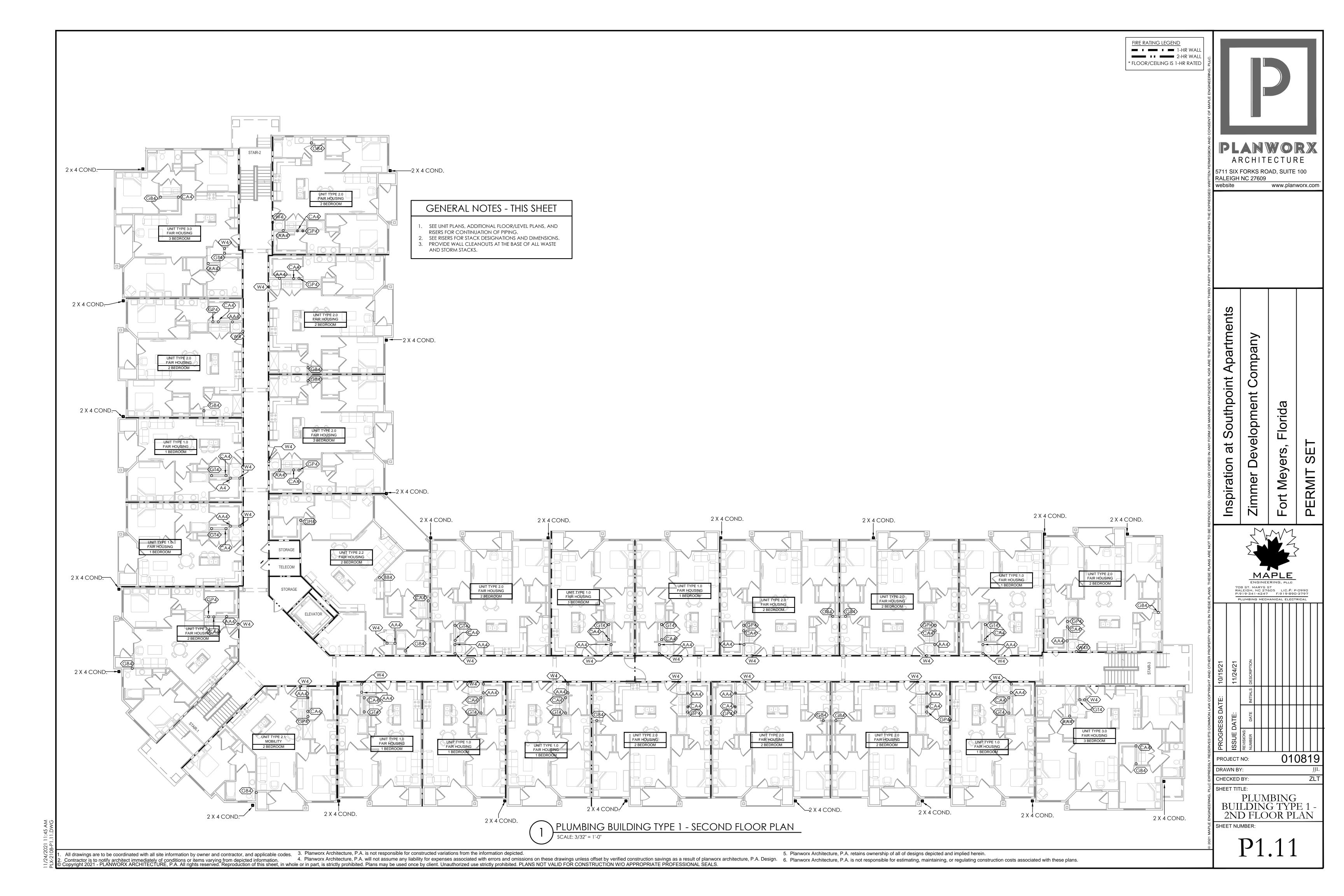
ARCHITECTURE 5711 SIX FORKS ROAD, SUITE 100 RALEIGH NC 27609 www.planworx.com Company Southpoint **Development** Florida SET at ers, Inspiration Fort Mey Zimmer 708 ST. MARYS ST RALEIGH, NC 27605 LIC.#: P-0990 P:919-341-4247 F:919-890-3797 PLUMBING MECHANICAL ELECTRICAL FINISHED FLOOR -BOTTOM OF FOOTING (CORRIDOR) 45° BEARING PLANE DO NOT INSTALL PIPING BELOW 45° BEARING PLANE OF FOOTING. 010819 PROJECT NO: →PIPE CROSS SECTION DRAWN BY: CHECKED BY: SHEET TITLE: PLUMBING DETAILS SHEET NUMBER:

NOTE: SEE PME SHEETS FOR U.L. DETAILS.





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FIRE RATING LEGEND 2-HR WALL * FLOOR/CEILING IS 1-HR RATED ARCHITECTURE 2 x 4 COND. 2 X 4 COND. 5711 SIX FORKS ROAD, SUITE 100 RALEIGH NC 27609 GENERAL NOTES - THIS SHEET UNIT TYPE 2.0 FAIR HOUSING 2 BEDROOM www.planworx.com SEE UNIT PLANS, ADDITIONAL FLOOR/LEVEL PLANS, AND RISERS FOR CONTINUATION OF PIPING. SEE RISERS FOR STACK DESIGNATIONS AND DIMENSIONS. UNIT TYPE 3.0 FAIR HOUSING 3 BEDROOM 3. PROVIDE WALL CLEANOUTS AT THE BASE OF ALL WASTE AND STORM STACKS. 2 X 4 COND. UNIT TYPE 2.0 FAIR HOUSING 2 BEDROOM Apartments Company **□** 2 X 4 COND. FAIR HOUSING Southpoint **Development** Florida 2 X 4 COND. UNIT TYPE 2.0 FAIR HOUSING 2 BEDROOM at ers, SE Mey Zimmer 2 X 4 COND. ort 2 X 4 COND. UNIT TYPE 2.2 FAIR HOUSING 2 BEDROOM TELECOM UNIT TYPE 2.0 FAIR HOUSING UNIT TYPE 1.0 FAIR HOUSING 2 X 4 COND. - - 2 BEDROOM UNIT TYPE 1.0 FAIR HOUSING UNIT TYPE 2.0 FAIR HOUSING 2 BEDROOM UNIT TYPE 1.0 FAIR HOUSING STORAGE 708 ST. MARYS ST RALEIGH, NC 27605 LIC.#: P-0990 P:919-341-4247 F:919-890-3797 UNIT TYPE 2.0 FAIR HOUSING 1 BEDROOM $\langle W4 \rangle$ 2 X 4 COND. UNIT TYPE 3.0 FAIR HOUSING UNIT TYPE 2.0 FAIR HOUSING UNIT TYPE 2.0 FAIR HOUSING 2 BEDROOM UNIT TYPE 2.0 FAIR HOUSING UNIT TYPE 2.1 FAIR HOUSING 2 BEDROOM UNIT TYPE 1.0 FAIR HOUSING 1 BEDROOM 3 BEDROOM UNIT TYPE 1.0 FAIR HOUSING UNIT TYPE 1.0 FAIR HOUSING 2 BEDROOM UNIT TYPE 1.0 FAIR HOUSING 010819 PROJECT NO: DRAWN BY: CHECKED BY: SHEET TITLE: PLUMBING BUILDING TYPE 1 2 X 4 COND? 2 X 4 COND. 2 X 4 COND. 2 X 4 COND. THIRD FLOOR PLAN 2 X 4 COND. 2 X 4 COND. PLUMBING BUILDING TYPE 1 - THIRD FLOOR PLAN SHEET NUMBER: SCALE: 3/32" = 1'-0" 1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes.

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FIRE RATING LEGEND ■ I ■ I-HR WALL 2-HR WALL * FLOOR/CEILING IS 1-HR RATED ARCHITECTURE 5711 SIX FORKS ROAD, SUITE 100 2 x 4 COND. 2 X 4 COND. RALEIGH NC 27609 www.planworx.com UNIT TYPE 2.0 FAIR HOUSING GENERAL NOTES - THIS SHEET I. SEE UNIT PLANS, ADDITIONAL FLOOR/LEVEL PLANS, AND UNIT TYPE 3.0 FAIR HOUSING RISERS FOR CONTINUATION OF PIPING. SEE RISERS FOR STACK DESIGNATIONS AND DIMENSIONS.
PROVIDE WALL CLEANOUTS AT THE BASE OF ALL WASTE AND STORM STACKS. 2 X 4 COND. Apartments UNIT TYPE 2.0 FAIR HOUSING 2 BEDROOM Company 2 X 4 COND. Southpoint **Development** Florida 2 X 4 COND. UNIT TYPE 2.0 FAIR HOUSING SET at ers, Mey PERMIT ort 2 X 4 COND. TELECOM 2 X 4 COND. UNIT TYPE 2.0 FAIR HOUSING 708 ST. MARYS ST RALEIGH, NC 27605 LIC.#: P-0990 P:919-341-4247 F:919-890-3797 UNIT TYPE 2.0 FAIR HOUSING 2 BEDROOM UNIT TYPE 1.0 FAIR HOUSING 1 BEDROOM STORAGE UNIT TYPE 1.0 FAIR HOUSING UNIT TYPE 2.0 FAIR HOUSING UNIT TYPE 2.0 FAIR HOUSING 2 BEDROOM 2 X 4 COND. -UNIT TYPE 3.0 FAIR HOUSING UNIT TYPE 2.1 FAIR HOUSING 2 BEDROOM UNIT TYPE 2.0 FAIR HOUSING UNIT TYPE 2.0 FAIR HOUSING UNIT TYPE 2.0 FAIR HOUSING UNIT TYPE 1.0 FAIR HOUSING 1 BEDROOM UNIT TYPE 1.0 FAIR HOUSING 1 BEDROOM UNIT TYPE 1.0 FAIR HOUSING 010819 PROJECT NO: DRAWN BY: CHECKED BY: SHEET TITLE: PLUMBING BUILDING TYPE 1 4TH FLOOR PLAN 2 X 4 COND. \PLUMBING BUILDING TYPE 1 - FOURTH FLOOR PLAN 2 X 4 COND. SHEET NUMBER: SCALE: 3/32" = 1'-0" 1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes.

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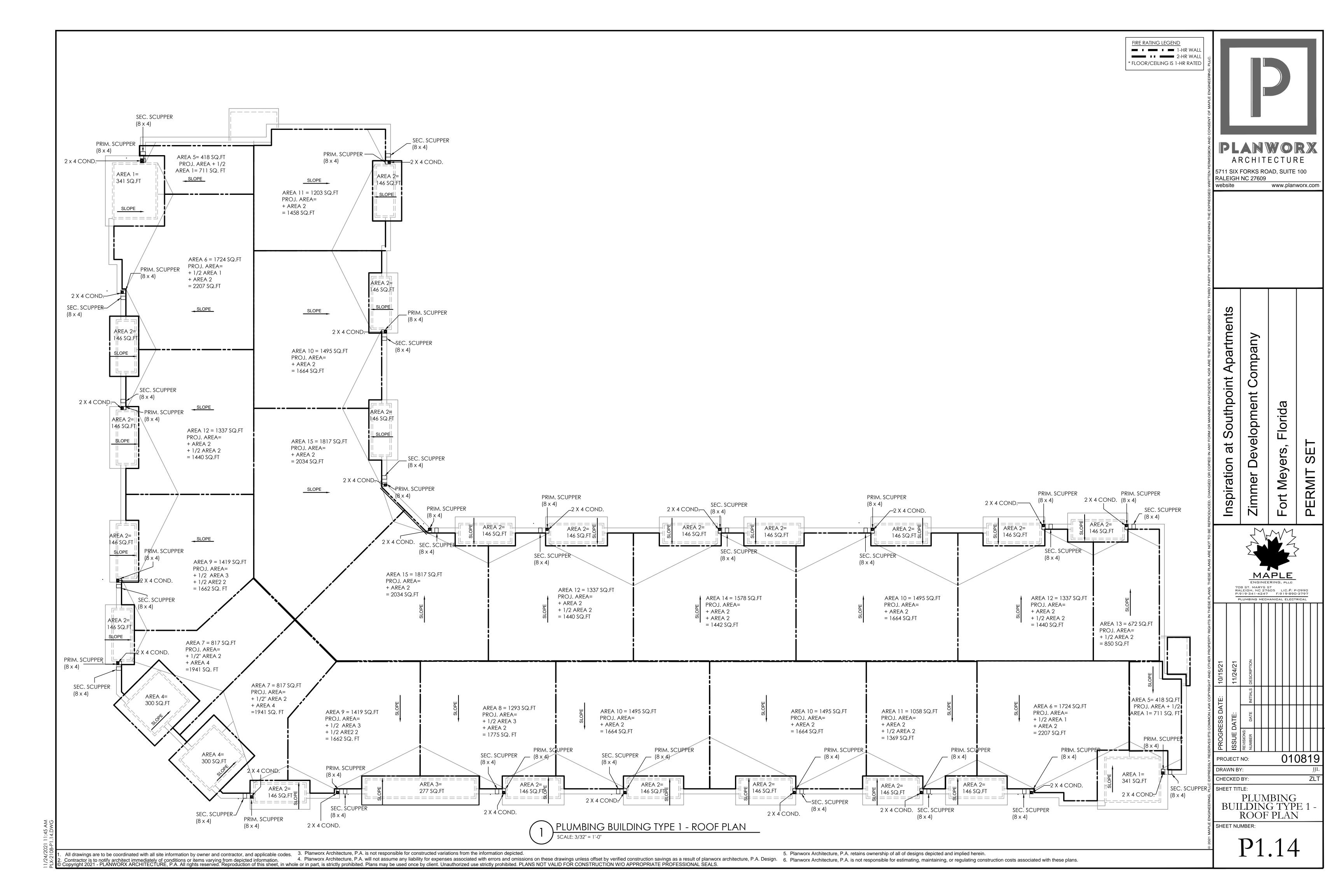
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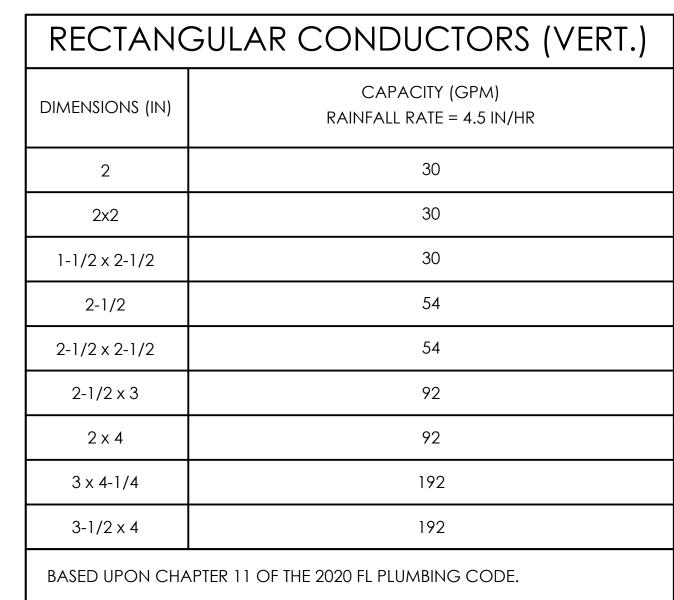
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SCUPPER CALCs (AREA 15)						
BASED ON 2020 FLPC SEC 1106							
ROOF AREA (SQFT)	1817						
PARAPET 1 (OR SIMILAR) LENGTH (FT)	17.0						
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0						
PARAPET 2 (OR SIMILAR) LENGTH (FT)	18.0						
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0						
ROOF AREA + ½ VERT. AREAS (SQFT)	1888						
PROJ AREA + UPPER ROOF AREA (SQFT)	2034						
60 MIN. RAINFALL RATE (IN/HR)	4.5						
60 MIN. RAINFALL RATE (GPM)	88						
# OF SCUPPERS	1						
REQ'D GPM PER SCUPPER	88						
SCUPPER DIMENSIONS (WxH, IN)	8 x 4						
SELECTED HEAD (IN)	3						

SCUPPER CALCs (AREA 14)

BASED ON 2020 FLPC SEC	C 1106
ROOF AREA (SQFT)	1578
PARAPET 1 (OR SIMILAR) LENGTH (FT)	14.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	43.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + ½ VERT. AREAS (SQFT)	1707
PROJ AREA + UPPER ROOF AREA (SQFT)	1780
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	80
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	80
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	3

SCUPPER CALCs (AREA 13)

C 1106
672
47.0
3.0
14.0
5.0
778
850
4.5
36
1
36
8 x 4
2

SCUPPER CALCs (AREA 12)

BASED ON 2020 FLPC SEC 1106					
ROOF AREA (SQFT)	1337				
PARAPET 1 (OR SIMILAR) LENGTH (FT)	7.0				
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0				
PARAPET 2 (OR SIMILAR) LENGTH (FT)	37.0				
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0				
ROOF AREA + $\frac{1}{2}$ VERT. AREAS (SQFT)	1440				
PROJ AREA + UPPER ROOF AREA (SQFT)	1659				
60 MIN. RAINFALL RATE (IN/HR)	4.5				
60 MIN. RAINFALL RATE (GPM)	67				
# OF SCUPPERS	1				
REQ'D GPM PER SCUPPER	67				
SCUPPER DIMENSIONS (WxH, IN)	8 x 4				
SELECTED HEAD (IN)	3				
	•				

SCUPPER CALCs (AREA 11)

BASED ON 2020 FLPC SEC 1106						
ROOF AREA (SQFT)	1058					
PARAPET 1 (OR SIMILAR) LENGTH (FT)	6.0					
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0					
PARAPET 2 (OR SIMILAR) LENGTH (FT)	33.0					
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0					
ROOF AREA + ½ VERT. AREAS (SQFT)	1150					
PROJ AREA + UPPER ROOF AREA (SQFT)	1442					
60 MIN. RAINFALL RATE (IN/HR)	4.5					
60 MIN. RAINFALL RATE (GPM)	54					
# OF SCUPPERS	1					
REQ'D GPM PER SCUPPER	54					
SCUPPER DIMENSIONS (WxH, IN)	8 x 4					
SELECTED HEAD (IN)	2					

SCUPPER CALCs (AREA 10)

: 1106	BASED ON 2020 FLPC SEC
1268	ROOF AREA (SQFT)
34.0	PARAPET 1 (OR SIMILAR) LENGTH (FT)
3.0	PARAPET 1 (OR SIMILAR) HEIGHT (FT)
21.0	PARAPET 2 (OR SIMILAR) LENGTH (FT)
5.0	PARAPET 2 (OR SIMILAR) HEIGHT (FT)
1372	ROOF AREA + ½ VERT. AREAS (SQFT)
1664	PROJ AREA + UPPER ROOF AREA (SQFT)
4.5	60 MIN. RAINFALL RATE (IN/HR)
64	60 MIN. RAINFALL RATE (GPM)
1	# OF SCUPPERS
64	REQ'D GPM PER SCUPPER
8 x 4	SCUPPER DIMENSIONS (WxH, IN)
2	SELECTED HEAD (IN)

SCUPPER CALCs (AREA 9)

BASED ON 2020 FLPC SEC	C 1106
ROOF AREA (SQFT)	1419
PARAPET 1 (OR SIMILAR) LENGTH (FT)	16.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	29.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
Roof Area + ½ Vert. Areas (SQFT)	1516
PROJ AREA + UPPER ROOF AREA (SQFT)	1662
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	71
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	71
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	3
	•

SCUPPER CALCs (AREA 8)

BASED ON 2020 FLPC SEC 1106					
roof area (sqft)	1293				
PARAPET 1 (OR SIMILAR) LENGTH (FT)	6.0				
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0				
PARAPET 2 (OR SIMILAR) LENGTH (FT)	40.0				
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0				
ROOF AREA + ½ VERT. AREAS (SQFT)	1402				
PROJ AREA + UPPER ROOF AREA (SQFT)	1775				
60 MIN. RAINFALL RATE (IN/HR)	4.5				
60 MIN. RAINFALL RATE (GPM)	66				
# OF SCUPPERS	1				
REQ'D GPM PER SCUPPER	66				
SCUPPER DIMENSIONS (WxH, IN)	8 x 4				
SELECTED HEAD (IN)	3				

SCUPPER CALCs (AREA 7)

BASED ON 2020 FLPC SEC 1106						
roof area (SQFT)	1419					
Parapet 1 (Or Similar) Length (ft)	9.0					
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0					
PARAPET 2 (OR SIMILAR) LENGTH (FT)	54.0					
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0					
ROOF AREA + ½ VERT. AREAS (SQFT)	1568					
PROJ AREA + UPPER ROOF AREA (SQFT)	1941					
60 MIN. RAINFALL RATE (IN/HR)	4.5					
60 MIN. RAINFALL RATE (GPM)	73					
# OF SCUPPERS	1					
REQ'D GPM PER SCUPPER	73					
SCUPPER DIMENSIONS (WxH, IN)	8 x 4					
SELECTED HEAD (IN)	3					

SCUPPER CALCs (AREA 6)

BASED ON 2020 FLPC SE	C 1106
ROOF AREA (SQFT)	1724
PARAPET 1 (OR SIMILAR) LENGTH (FT)	24.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	52.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + ½ VERT. AREAS (SQFT)	1890
PROJ AREA + UPPER ROOF AREA (SQFT)	2207
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	88
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	88
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	3

SCUPPER CALCs (AREA 5)

BASED ON 2020 FLPC SEC	C 1106
ROOF AREA (SQFT)	418
PARAPET 1 (OR SIMILAR) LENGTH (FT)	35.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	28.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + ½ VERT. AREAS (SQFT)	541
PROJ AREA + UPPER ROOF AREA (SQFT)	711
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	25
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	25
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	3

PLANWORX ARCHITECTURE 5711 SIX FORKS ROAD, SUITE 100 RALEIGH NC 27609

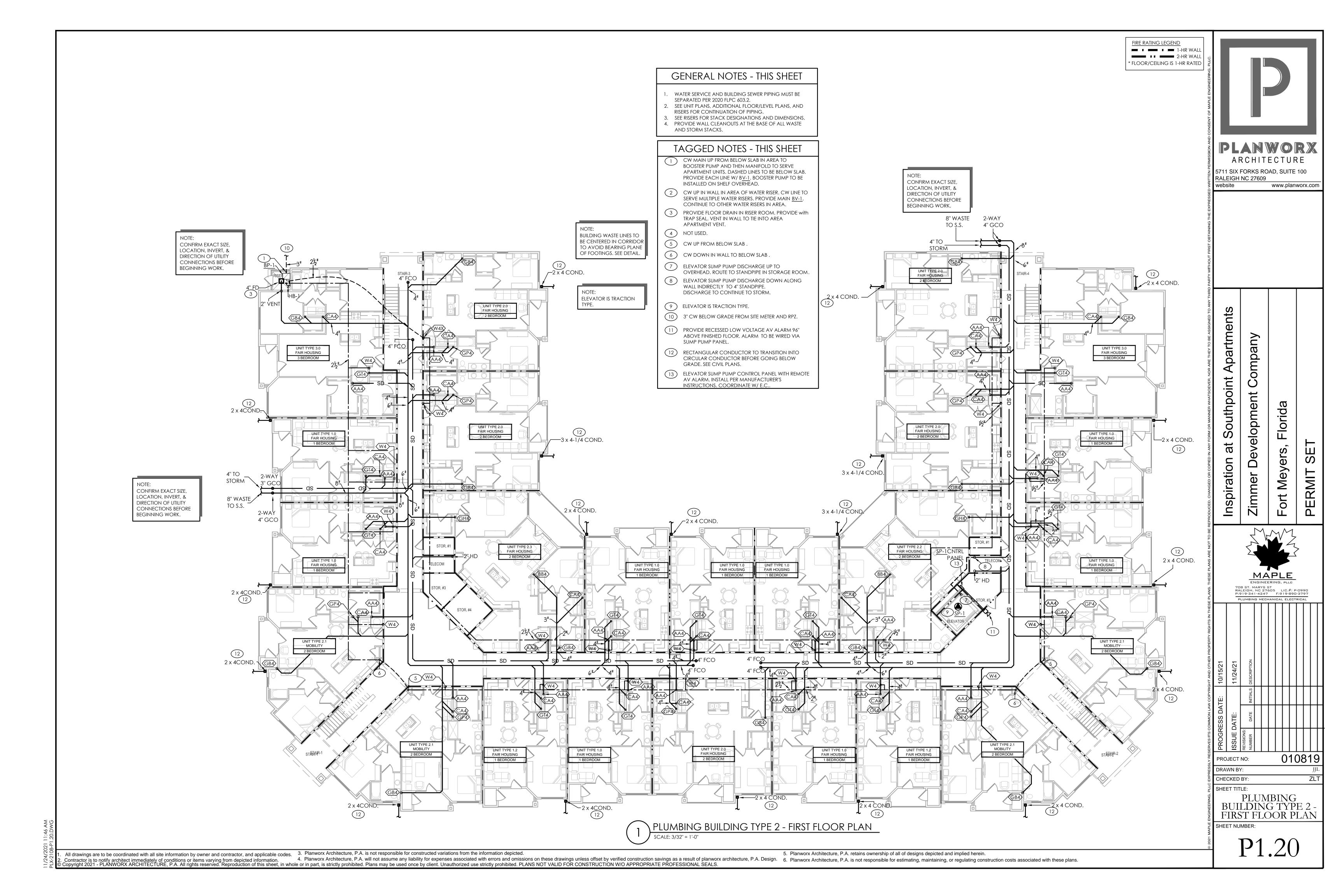
> Inspiration at Southpoint Apartments Development Company Fort Meyers, Florida

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PLUMBING ROOF CALCS - BUILDING TYPE 1

P1.15



FIRE RATING LEGEND 2-HR WALL * FLOOR/CEILING IS 1-HR RATED ARCHITECTURE 5711 SIX FORKS ROAD, SUITE 100 RALEIGH NC 27609 www.planworx.com _2 x 4 COND. GENERAL NOTES - THIS SHEET _2 x 4 COND. 2 x 4 COND.— 2 x 4 COND. — SEE UNIT PLANS, ADDITIONAL FLOOR/LEVEL PLANS, AND RISERS FOR CONTINUATION OF PIPING. Apartments UNIT TYPE 2.0 FAIR HOUSING 2 BEDROOM SEE RISERS FOR STACK DESIGNATIONS AND DIMENSIONS. . PROVIDE WALL CLEANOUTS AT THE BASE OF ALL WASTE AND STORM STACKS. Company UNIT TYPE 3.0 FAIR HOUSING 3 BEDROOM UNIT TYPE 3.0 FAIR HOUSING 3 BEDROOM Southpoint **Development** Florida 2 x 4COND. UNIT TYPE 2.0 FAIR HOUSING 2 BEDROOM UNIT TYPE 2.0 FAIR HOUSING UNIT TYPE 1.0 FAIR HOUSING UNIT TYPE 1.0 FAIR HOUSING SET 2 BEDROOM at ers, $3 \times 4-1/4$ COND. —2 x 4 COND. 1 BEDROOM Mey Inspiratic Zimmer 3 x 4-1/4 COND. ort 2 x 4 COND. 3 x 4-1/4 COND. STOR. #1 STOR.#1 UNIT TYPE 2.3 FAIR HOUSING 2 BEDROOM UNIT TYPE 1.0 FAIR HOUSING 2 x 4 COND. STOR. #2 STOR. #2 UNIT TYPE 1.0 FAIR HOUSING 1 BEDROOM UNIT TYPE 1.0
FAIR HOUSING
1 BEDROOM 708 ST. MARYS ST RALEIGH, NC 27605 LIC.#: P-0990 P:919-341-4247 F:919-890-3797 STOR.#3 2 x 4COND. 2 x 4COND. \GB4 2 x 4 COND. UNIT TYPE 2.1 MOBILITY 2 BEDROOM UNIT TYPE 2.1 MOBILITY 2 BEDROOM UNIT TYPE 2.0 FAIR HOUSING 010819 UNIT TYPE 1.2 FAIR HOUSING UNIT TYPE 1.0 FAIR HOUSING 1 BEDROOM UNIT TYPE 1.2 FAIR HOUSING UNIT TYPE 1.0 FAIR HOUSING PROJECT NO: DRAWN BY: CHECKED BY: PLUMBING BUILDING TYPE 2 -2ND FLOOR PLAN PLUMBING BUILDING TYPE 2 - SECOND FLOOR PLAN SHEET NUMBER: . All drawings are to be coordinated with all site information by owner and contractor, and applicable codes.

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FIRE RATING LEGEND 2-HR WALL * FLOOR/CEILING IS 1-HR RATED ARCHITECTURE 5711 SIX FORKS ROAD, SUITE 100 RALEIGH NC 27609 www.planworx.com _2 x 4 COND. GENERAL NOTES - THIS SHEET √2 x 4 COND. 2 x 4 COND. 2 x 4 COND. -SEE UNIT PLANS, ADDITIONAL FLOOR/LEVEL PLANS, AND RISERS FOR CONTINUATION OF PIPING. Apartments UNIT TYPE 2.0 FAIR HOUSING SEE RISERS FOR STACK DESIGNATIONS AND DIMENSIONS. PROVIDE WALL CLEANOUTS AT THE BASE OF ALL WASTE AND STORM STACKS. Company UNIT TYPE 3.0 FAIR HOUSING 3 BEDROOM UNIT TYPE 3.0 FAIR HOUSING 3 BEDROOM Southpoint **Development** Florida 2 x 4COND. UNIT TYPE 2.0 FAIR HOUSING UNIT TYPE 1.0 FAIR HOUSING UNIT TYPE 1.0 FAIR HOUSING 1 BEDROOM SET 2 BEDROOM at ers, √-3 x 4-1/4 COND. **−**2 x 4 COND. Inspiration Mey Zimmer 3 x 4-1/4 COND Fort 2 x 4 COND. 3 x 4-1/4 COND. _2 x 4 COND. UNIT TYPE 2.3 FAIR HOUSING 2 BEDROOM UNIT TYPE 2.2 FAIR HOUSING 2 BEDROOM ROOF ACCESS UNIT TYPE 1.0 FAIR HOUSING 1 BEDROOM 2 x 4 COND. UNIT TYPE 1.0 FAIR HOUSING 1 BEDROOM UNIT TYPE 1.0 FAIR HOUSING UNIT TYPE 1.0 FAIR HOUSING STOR. #2 708 ST. MARYS ST RALEIGH, NC 27605 LIC.#: P-0990 P:919-341-4247 F:919-890-3797 2 x 4COND.~ 2 x 4COND. (GB4) UNIT TYPE 2.1 MOBILITY 2 BEDROOM UNIT TYPE 2.1 MOBILITY 2 BEDROOM UNIT TYPE 2.0 FAIR HOUSING 010819 UNIT TYPE 1.2 FAIR HOUSING UNIT TYPE 1.0 FAIR HOUSING UNIT TYPE 1.0 FAIR HOUSING UNIT TYPE 1.2 FAIR HOUSING PROJECT NO: DRAWN BY: CHECKED BY: PLUMBING BUILDING TYPE 2 -2 x 4COND. 4TH FLOOR PLAN \PLUMBING BUILDING TYPE 2 - FOURTH FLOOR PLAN SHEET NUMBER: SCALE: 3/32" = 1'-0" . All drawings are to be coordinated with all site information by owner and contractor, and applicable codes.

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FIRE RATING LEGEND ■ I ■ I-HR WALL 2-HR WALL * FLOOR/CEILING IS 1-HR RATED ARCHITECTURE 5711 SIX FORKS ROAD, SUITE 100 RALEIGH NC 27609 www.planworx.com PRIM. SCUPPER SEC. SCUPPER (8×4) (8×4) SEC. SCUPPER SEC. SCUPPER - (8 x 4) PRIM. SCUPPER SEC. SCUPPER-PRIM. SCUPPER - (8×4) (8×4) (8×4) (8 x 4) AREA 5= 418 SQ.FT AREA 5= 418 SQ.FT -2 x 4 COND. PROJ. AREA + 1/2 PROJ. AREA + 1/2 2 x 4 COND. AREA 1= 711 SQ. FT AREA 1= 711 SQ. FT x 4 COND. 2 x 4 COND. AREA 1= AREA 2 SLOPE SLOPE 341 SQ.FT 341 SQ.FT 146 SQ.F 146 SQ.FT Apartments AREA 11 = 1203 SQ.FT AREA 11 = 1203 SQ.FT PROJ. AREA= PROJ. AREA= + AREA 2 + AREA 2 SLOPE SLOPE = 1458 SQ.FT = 1458 SQ.FT Company **4====** 느==== SLOPE Southpoint AREA 6 = 1724 SQ.FT AREA 6 = 1724 SQ.FT SEC. SCUPPER PROJ. AREA= PROJ. AREA= (8×4) SEC. SCUPPER— **Development** + 1/2 AREA 1 + 1/2 AREA 1 (8×4) Florida + AREA 2 + AREA 2 PRIM. SCUPPER AREA 2= AREA 2= = 2207 SQ.FT = 2207 SQ.FT 146 SQ.F 146 SQ.FT SLOPE SLOPE 2 x 4COND.— AREA 2= 2 x 4 COND. l 146 SQLFT 146 SQ.F1 SLOPE AREA 12 = 2531 SQ.FT AREA 12 = 2531 SQ.FT 3 x 4-1/4 COND.— —3 x 4-1/4 COND. PROJ. AREA= PROJ. AREA= at ers, SE + AREA 2 + AREA 2 = 2781 SQ.FT = 2781 SQ.FT PRIM. SCUPPER SEC. SCUPPER—— Inspiration (8×4) ort Mey SEC. SCUPPER PERMIT (8×4) Zimmer (8×4) 2 x 4 COND. SEC. SCUPPER SEC. SCUPPER SEC. SCUPPER (8×4) 2 x 4 COND. (8×4) SLOPE AREA 7 = 1268 SQ.FT PROJ. AREA= AREA 3= AREA 2= = = = + 1/2 AREA 2 146 SQ.FT 277 SQ.FT + AREA 2 AREA 2= = 1565 SQ.FT 146 SQ.F1 PRIM. SCUPPI 146 SQ.FT SLOPE AREA 7 = 1268 SQ.FT PRIM. SCUPPER 2 x 4 COND. PRIM. SCUPPER PROJ. AREA= (8×4) (8×4) + 1/2 AREA 2 PRIM. SCUPPER 2 x 4COND. + AREA 2 = 1565 SQ.FT AREA 10= 1,932 SQ. FT 708 ST. MARYS ST RALEIGH, NC 27605 LIC.#: P-0990 P:919-341-4247 F:919-890-3797 PROJ. AREA + 1/2 AREA 14= 1,171 SQ. FT AREA $2 = 2,055 \, \text{SQ. FT}$ (8×4) PROJ. AREA + 1/2 AREA 2 AND AREA 3 = 1,491 SQ. FT AREA 15= 2,137 SQ. FT PROJ. AREA + 1/2 AREA 2= AREA 3 = 2,387 SQ. FT AREA 2= 146 SQ.FT AREA 8 = 620 SQ.FT 2 x 4 COND. PROJ. AREA= AREA 8 = 620 SQ.FT + 1/2 AREA 2 PROJ. AREA= PRIM. SCUPPER-+ AREA 4 + 1/2 AREA 2 (8×4) PRIM. SCUPPER = 1008 SQ.FT + AREA 4 = 1008 SQ.FT SEC. SCUPPE (8 x 4) AREA 9 = 1658 SQ.FT AREA 10 = 1495 SQ.FT AREA 9 = 1658 SQ.FT AREA 8 = 620 SQ.FT AREA 8 = 620 SQ.FT PROJ. AREA= PROJ. AREA= PROJ. AREA= AREA 4= PROJ. AREA= PROJ. AREA= + AREA 2 + AREA 2 300 SQ.FT + AREA 2 300 SQ.FT + 1/2 AREA 2 + 1/2 AREA 2 + AREA 2 + AREA 2 = 1664 SQ.FT + AREA 4 + AREA 4 = 2101 SQ.FT = 2101 SQ.FT = 1008 SQ.FT = 1008 SQ.FT PRIM. SCUPPER 010819 AREA 4= AREA 4= PROJECT NO: SEC. SCUPPER (8×4) 300 SQ.FT PRIM. SCUPPER 300 SQ.FT (8×4) DRAWN BY: SEC. SCUPPER 2 x 4 COND. -2 x 400ND. (8 x 4) CHECKED BY: AREA 2= SHEET TITLE: AREA 2= 146 SQ.FT 146 SQ.FT 146 SQ.FT AREA 2= AREA 2= 146 SQ.FT 146 SQ.FT PLUMBING BUILDING TYPE 2 -===== ===== 146 SQ.FT 146 SQ.FT - 2 x 4 COND. ===== 2 x 4COND. ROOF PLAN SEC. SCUPPER L PRIM. SCUPPER (8×4) SEC. SCUPPER PLUMBING BUILDING TYPE 2 - ROOF PLAN PRIM. SCUPPER (8 x 4) (8×4) SHEET NUMBER: (8×4) (8×4) SCALE: 3/32" = 1'-0" All drawings are to be coordinated with all site information by owner and contractor, and applicable codes.

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RECTANGULAR CONDUCTORS (VERT.)			
DIMENSIONS (IN)	CAPACITY (GPM) RAINFALL RATE = 4.5 IN/HR		
2	30		
2x2	30		
1-1/2 x 2-1/2	30		
2-1/2	54		
2-1/2 x 2-1/2	54		
2-1/2 x 3	92		
2 x 4	92		
3 x 4-1/4	192		
3-1/2 x 4	192		

BASED ON 2020 FLPC SEC 1106 ROOF AREA (SQFT) 2137 PARAPET 1 (OR SIMILAR) LENGTH (FT) 16.0 PARAPET 1 (OR SIMILAR) HEIGHT (FT) 3.0 PARAPET 2 (OR SIMILAR) LENGTH (FT) 29.0 PARAPET 2 (OR SIMILAR) HEIGHT (FT) 6.0 ROOF AREA + ½ VERT. AREAS (SQFT) 2248 PROJ AREA + UPPER ROOF AREA (SQFT) 2387 60 MIN. RAINFALL RATE (IN/HR) 4.5 60 MIN. RAINFALL RATE (GPM) 105 # OF SCUPPERS 1 REQ'D GPM PER SCUPPER 105	SCUPPER CALCs (AREA 15)
PARAPET 1 (OR SIMILAR) LENGTH (FT) PARAPET 1 (OR SIMILAR) HEIGHT (FT) PARAPET 2 (OR SIMILAR) LENGTH (FT) PARAPET 2 (OR SIMILAR) HEIGHT (FT) PARAPET 2 (OR SIMILAR) HEIGHT (FT) ROOF AREA + ½ VERT. AREAS (SQFT) PROJ AREA + UPPER ROOF AREA (SQFT) 60 MIN. RAINFALL RATE (IN/HR) 60 MIN. RAINFALL RATE (GPM) # OF SCUPPERS 1 REQ'D GPM PER SCUPPER 105	BASED ON 2020 FLPC SEC	C 1106
PARAPET 1 (OR SIMILAR) HEIGHT (FT) PARAPET 2 (OR SIMILAR) LENGTH (FT) PARAPET 2 (OR SIMILAR) HEIGHT (FT) ROOF AREA + ½ VERT. AREAS (SQFT) PROJ AREA + UPPER ROOF AREA (SQFT) 60 MIN. RAINFALL RATE (IN/HR) 4.5 60 MIN. RAINFALL RATE (GPM) 105 # OF SCUPPERS 1 REQ'D GPM PER SCUPPER 105	ROOF AREA (SQFT)	2137
PARAPET 2 (OR SIMILAR) LENGTH (FT) PARAPET 2 (OR SIMILAR) HEIGHT (FT) ROOF AREA + ½ VERT. AREAS (SQFT) PROJ AREA + UPPER ROOF AREA (SQFT) 60 MIN. RAINFALL RATE (IN/HR) 4.5 60 MIN. RAINFALL RATE (GPM) 105 # OF SCUPPERS 1 REQ'D GPM PER SCUPPER 105	PARAPET 1 (OR SIMILAR) LENGTH (FT)	16.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT) 6.0 ROOF AREA + ½ VERT. AREAS (SQFT) 2248 PROJ AREA + UPPER ROOF AREA (SQFT) 2387 60 MIN. RAINFALL RATE (IN/HR) 4.5 60 MIN. RAINFALL RATE (GPM) 105 # OF SCUPPERS 1 REQ'D GPM PER SCUPPER 105	Parapet 1 (Or Similar) Height (ft)	3.0
ROOF AREA + ½ VERT. AREAS (SQFT) PROJ AREA + UPPER ROOF AREA (SQFT) 60 MIN. RAINFALL RATE (IN/HR) 4.5 60 MIN. RAINFALL RATE (GPM) 105 # OF SCUPPERS 1 REQ'D GPM PER SCUPPER 105	PARAPET 2 (OR SIMILAR) LENGTH (FT)	29.0
PROJ AREA + UPPER ROOF AREA (SQFT) 60 MIN. RAINFALL RATE (IN/HR) 4.5 60 MIN. RAINFALL RATE (GPM) 105 # OF SCUPPERS 1 REQ'D GPM PER SCUPPER 105	PARAPET 2 (OR SIMILAR) HEIGHT (FT)	6.0
60 MIN. RAINFALL RATE (IN/HR) 4.5 60 MIN. RAINFALL RATE (GPM) 105 # OF SCUPPERS 1 REQ'D GPM PER SCUPPER 105	Roof Area + ½ Vert. Areas (SQFT)	2248
60 MIN. RAINFALL RATE (GPM) 105 # OF SCUPPERS 1 REQ'D GPM PER SCUPPER 105	PROJ AREA + UPPER ROOF AREA (SQFT)	2387
# OF SCUPPERS 1 REQ'D GPM PER SCUPPER 105	60 MIN. RAINFALL RATE (IN/HR)	4.5
REQ'D GPM PER SCUPPER 105	60 MIN. RAINFALL RATE (GPM)	105
·	# OF SCUPPERS	1
SCHEPER DIMENSIONS (WVH INI)	REQ'D GPM PER SCUPPER	105
3COLLEK DIIVILIASIONAS (VVXIII, IIA) 8 X 4	SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN) 3	SELECTED HEAD (IN)	3

SCUPPER CALCs (AREA 14)				
BASED ON 2020 FLPC SEC 1106				
ROOF AREA (SQFT)	1171			
PARAPET 1 (OR SIMILAR) LENGTH (FT)	6.0			
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0			
PARAPET 2 (OR SIMILAR) LENGTH (FT)	33.0			
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	6.0			
ROOF AREA + ½ VERT. AREAS (SQFT)	1279			
PROJ AREA + UPPER ROOF AREA (SQFT)	1491			
60 MIN. RAINFALL RATE (IN/HR)	4.5			
60 MIN. RAINFALL RATE (GPM)	60			
# OF SCUPPERS	1			
REQ'D GPM PER SCUPPER	60			
SCUPPER DIMENSIONS (WxH, IN)	8 x 4			
SELECTED HEAD (IN)	2			

SCUPPER CALCs (AREA 13)				
BASED ON 2020 FLPC SEC 1106				
ROOF AREA (SQFT)	1932			
PARAPET 1 (OR SIMILAR) LENGTH (FT)	19.0			
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0			
PARAPET 2 (OR SIMILAR) LENGTH (FT)	12.0			
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	6.0			
ROOF AREA + ½ VERT. AREAS (SQFT)	1997			
PROJ AREA + UPPER ROOF AREA (SQFT)	2070			
60 MIN. RAINFALL RATE (IN/HR)	4.5			
60 MIN. RAINFALL RATE (GPM)	93			
# OF SCUPPERS	1			
REQ'D GPM PER SCUPPER	93			
SCUPPER DIMENSIONS (WxH, IN)	8 x 4			
SELECTED HEAD (IN)	3			

SCUPPER CALCs (AREA 12)				
BASED ON 2020 FLPC SEC	C 1106			
ROOF AREA (SQFT)	2531			
PARAPET 1 (OR SIMILAR) LENGTH (FT)	26.0			
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0			
PARAPET 2 (OR SIMILAR) LENGTH (FT)	26.0			
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0			
ROOF AREA + ½ VERT. AREAS (SQFT)	2635			
PROJ AREA + UPPER ROOF AREA (SQFT)	2781			
60 MIN. RAINFALL RATE (IN/HR)	4.5			
60 MIN. RAINFALL RATE (GPM)	123			
# OF SCUPPERS	1			
REQ'D GPM PER SCUPPER	123			
SCUPPER DIMENSIONS (WxH, IN)	8 x 4			
SELECTED HEAD (IN)	2			

	SCUPPER CALCs
	BASED ON 2020 FLPC SE
	ROOF AREA (SQFT)
	PARAPET 1 (OR SIMILAR) LENGTH (FT)
	PARAPET 1 (OR SIMILAR) HEIGHT (FT)
	Parapet 2 (Or Similar) length (ft)
	PARAPET 2 (OR SIMILAR) HEIGHT (FT)
	ROOF AREA + ½ VERT. AREAS (SQFT)
	PROJ AREA + UPPER ROOF AREA (SQFT)
	60 MIN. RAINFALL RATE (IN/HR)
	60 MIN. RAINFALL RATE (GPM)
	# OF SCUPPERS
	REQ'D GPM PER SCUPPER
	SCUPPER DIMENSIONS (WxH, IN)
	SELECTED HEAD (IN)

(.	, ,	,	
)20 FLPC SEC	1106	BASED ON 2020 FLPC SEC	1106
REA (SQFT)	1203	ROOF AREA (SQFT)	1268
ENGTH (FT)	16.0	PARAPET 1 (OR SIMILAR) LENGTH (FT)	34.0
HEIGHT (FT)	3.0	PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
ENGTH (FT)	34.0	PARAPET 2 (OR SIMILAR) LENGTH (FT)	21.0
HEIGHT (FT)	5.0	PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
REAS (SQFT)	1312	ROOF AREA + ½ VERT. AREAS (SQFT)	1372
REA (SQFT)	1458	PROJ AREA + UPPER ROOF AREA (SQFT)	1664
ATE (IN/HR)	4.5	60 MIN. RAINFALL RATE (IN/HR)	4.5
RATE (GPM)	61	60 MIN. RAINFALL RATE (GPM)	64
SCUPPERS	1	# OF SCUPPERS	1
R SCUPPER	61	REQ'D GPM PER SCUPPER	64
IS (WxH, IN)	8 x 4	SCUPPER DIMENSIONS (WxH, IN)	8 x 4
HEAD (IN)	2	SELECTED HEAD (IN)	2

SCUPPER CALCs (AREA 10)			SCUPPER CALCs	(AREA 9)	
BASED ON 2020 FLPC SEC 1106			BASED ON 2020 FLPC SEC 1106		
ROOF AREA (SQFT)	1268	1	ROOF AREA (SQFT)	1658	
PARAPET 1 (OR SIMILAR) LENGTH (FT)	34.0		PARAPET 1 (OR SIMILAR) LENGTH (FT)	14.0	
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0		PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0	
PARAPET 2 (OR SIMILAR) LENGTH (FT)	21.0		PARAPET 2 (OR SIMILAR) LENGTH (FT)	52.0	
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0		PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0	
ROOF AREA + ½ VERT. AREAS (SQFT)	1372		ROOF AREA + ½ VERT. AREAS (SQFT)	1809	
ROJ AREA + UPPER ROOF AREA (SQFT)	1664		PROJ AREA + UPPER ROOF AREA (SQFT)	2101	
60 MIN. RAINFALL RATE (IN/HR)	4.5		60 MIN. RAINFALL RATE (IN/HR)	4.5	
60 MIN. RAINFALL RATE (GPM)	64		60 MIN. RAINFALL RATE (GPM)	85	
# OF SCUPPERS	1		# OF SCUPPERS	1	
REQ'D GPM PER SCUPPER	64	1	REQ'D GPM PER SCUPPER	85	
SCUPPER DIMENSIONS (WxH, IN)	8 x 4	1	SCUPPER DIMENSIONS (WxH, IN)	8 x 4	
SELECTED HEAD (IN)	2		SELECTED HEAD (IN)	3	
		-			

SCUPPER CALCs (AREA 8)			
BASED ON 2020 FLPC SEC	C 1106		
ROOF AREA (SQFT)	620		
PARAPET 1 (OR SIMILAR) LENGTH (FT)	11.0		
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0		
PARAPET 2 (OR SIMILAR) LENGTH (FT)	61.0		
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0		
ROOF AREA + ½ VERT. AREAS (SQFT)	789		
PROJ AREA + UPPER ROOF AREA (SQFT)	1008		
60 MIN. RAINFALL RATE (IN/HR)	4.5		
60 MIN. RAINFALL RATE (GPM)	37		
# OF SCUPPERS	1		
REQ'D GPM PER SCUPPER	37		
SCUPPER DIMENSIONS (WxH, IN)	8 x 4		
SELECTED HEAD (IN)	2		

BASED ON 2020 FLPC SEC 1106			
ROOF AREA (S	QFT) 1268		
PARAPET 1 (OR SIMILAR) LENGTH	I (FT) 12.0		
PARAPET 1 (OR SIMILAR) HEIGHT	(FT) 3.0		
PARAPET 2 (OR SIMILAR) LENGTH	I (FT) 24.0		
PARAPET 2 (OR SIMILAR) HEIGHT	(FT) 5.0		
ROOF AREA + ½ VERT. AREAS (S	QFT) 1346		
PROJ AREA + UPPER ROOF AREA (S	QFT) 1565		
60 MIN. RAINFALL RATE (IN	/HR) 4.5		
60 MIN. RAINFALL RATE (G	GPM) 63		
# OF SCUPI	PERS 1		
req'd gpm per scuf	PPER 63		
SCUPPER DIMENSIONS (WXF	H, IN) 8 x 4		
SELECTED HEAD	(IN) 2		

SCUPPER CALCs (AREA 7)

SCUPPER CALCs (AREA 6)				
BASED ON 2020 FLPC SEC 1106				
ROOF AREA (SQFT)	1724			
PARAPET 1 (OR SIMILAR) LENGTH (FT)	24.0			
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0			
PARAPET 2 (OR SIMILAR) LENGTH (FT)	52.0			
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0			
ROOF AREA + ½ VERT. AREAS (SQFT)	1890			
PROJ AREA + UPPER ROOF AREA (SQFT)	2207			
60 MIN. RAINFALL RATE (IN/HR)	4.5			
60 MIN. RAINFALL RATE (GPM)	88			
# OF SCUPPERS	1			
REQ'D GPM PER SCUPPER	88			
SCUPPER DIMENSIONS (WxH, IN)	8 x 4			
SELECTED HEAD (IN)	3			

PARAPET I (OR SIMILAR) HEIGHT (FT)	3.0	lou-				
PARAPET 2 (OR SIMILAR) LENGTH (FT)	12.0	Y WITH				
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	6.0	PART				
ROOF AREA + ½ VERT. AREAS (SQFT)	1997	THIRD				
PROJ AREA + UPPER ROOF AREA (SQFT)	2070	O ANY	(A)			
60 MIN. RAINFALL RATE (IN/HR)	4.5	NED T	nt			
60 MIN. RAINFALL RATE (GPM)	93	ASSIGI	<u></u>			
# OF SCUPPERS	1	.0 BE /	tπ			
REQ'D GPM PER SCUPPER	93	HEY T	ar)a		
SCUPPER DIMENSIONS (WxH, IN)	8 x 4	ARE 1	d	- \(\frac{1}{2}\)		
SELECTED HEAD (IN)	3	LER, NOR	 h /	Sol		
SCUPPER CALCS (,	NGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOU	Southpoint Apartments	1 4	Florida	
ROOF AREA (SQFT)	1658	Ž V V	at		Š,	Ш
PARAPET 1 (OR SIMILAR) LENGTH (FT)	14.0	OPIED	L L		e	SE
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0	OR CC	tic	<u></u>	e l	<u> </u>
PARAPET 2 (OR SIMILAR) LENGTH (FT)	52.0	NGED	ration	l e	Meyers	\geq
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0	CHA	Inspir			
ROOF AREA + $\frac{1}{2}$ VERT. AREAS (SQFT)	1809	TO BE REPRODUCED,	US	Zimr	Fort	Щ
PROJ AREA + UPPER ROOF AREA (SQFT)	2101	EPROE		'		
60 MIN. RAINFALL RATE (IN/HR)	4.5	BE RE			LMM	
60 MIN. RAINFALL RATE (GPM)	85	LIOT TC				7 !
# OF SCUPPERS	1	ARE N				>
REQ'D GPM PER SCUPPER	85	THESE PLANS ARE NOT		7		
SCUPPER DIMENSIONS (WxH, IN)	8 x 4	HESE F		M	APLE	_
SELECTED HEAD (IN)	3	PLANS. TI		708 ST. MARY RALEIGH, NC 2 P:919-341-42	27605 LIC.#: I	P-0990 D-3797
BASED ON 2020 FLPC SEC ROOF AREA (SQFT) PARAPET 1 (OR SIMILAR) LENGTH (FT) PARAPET 1 (OR SIMILAR) HEIGHT (FT) PARAPET 2 (OR SIMILAR) LENGTH (FT)	,	EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE	iii	I I/24/21 INITIALS DESCRIPTION		
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0	ON LA	S DATI	DATE		
ROOF AREA + $\frac{1}{2}$ VERT. AREAS (SQFT)	541	COMM	0 5	$\{ oxed{oxed}$	$\perp \! \! \perp \! \! \perp \! \! \perp$	
PROJ AREA + UPPER ROOF AREA (SQFT)	711	SITS	PROGRE			
60 MIN. RAINFALL RATE (IN/HR)	4.5	SERVE	PR	REVISION NUMBER		
60 MIN. RAINFALL RATE (GPM)	25	LY RE\$	PROJE	CT NO:	01	0819
# OF SCUPPERS	1	PRESSI	DRAWN	BY:		JJL
REQ'D GPM PER SCUPPER	25	C EXP	CHECK			ZLT
SCUPPER DIMENSIONS (WxH, IN) SELECTED HEAD (IN)	8 x 4	RING, PLLC	SHEET	LUMBI	NG RO	OOF
ein. construction costs associated with these plans.		© 2021 MAPLE ENGINEERING,		TY	BUILD PE 2	
onon auton ocoto accociated with these plans.						

ARCHITECTURE

5711 SIX FORKS ROAD, SUITE 100

RALEIGH NC 27609

- SEE OVERALL BUILDING PLANS FOR ROUTING OF MAIN WATER & SEWER PIPING.
- SEE BUILDING PLANS & RISER SHEETS FOR CONTINUATIONS OF RISER TAGS & ADDITIONAL INFORMATION.
- SEE RISERS FOR STACK DESIGNATIONS & DIMENSIONS. WATER PIPING IS <u>NOT</u> TO BE SHARED BETWEEN UNITS. SEE BUILDING PLANS FOR RATED WALL & FLOOR
- INFORMATION. 6. P.C. TO ENSURE SHUT-OFF VALVES IN MECHANICAL CLOSETS WILL BE ACCESSIBLE ONCE AIR HANDLER IS INSTALLED.
- 7. P.C. TO ENSURE WASTE/VENT/WATER STACK LOCATIONS DO NOT INTERFERE W/ MECHANICAL DUCTWORK. 8. P.C. TO VERIFY TUB/SHOWER & WASHER/DRYER LAYOUT W/
- ARCHITECTURAL PLANS. 9. MECHANICAL CLOSET HUB DRAIN TO RUN TO STORM SEWER NO P-TRAP REQUIRED.

TAGGED NOTES - THIS SHEET

- WATER HEATER BELOW HVAC UNIT IN CLOSET. DRAIN TO AREA HUB DRAIN. SEE DETAIL. COORDINATE EXACT LOCATION WITH M.C. AND AREA MECHANICAL EQUIPMENT. COORDINATE EXACT HUB DRAIN LOCATION WITH WATER HEATER DRAIN PAN; MUST BE
- VISIBLE AND ACCESSIBLE. 2 PROVIDE DISHWASHER CONNECTIONS.
- 3 PROVIDE GARBAGE DISPOSAL CONNECTION. ENSURE
- KNEE CLEARANCES ARE MAINTAINED IN ADA UNITS. 4 HW/CW DOWN IN WALL TO BELOW FLOOR.
- 5 HW/CW UP FROM BELOW FLOOR TO KITCHEN SINK.
- 6 P.C. TO ENSURE THAT DISTANCE FROM TRAP TO VENT

DOES NOT EXCEED 8FT.

MORE THAN 32" TALL IN

WATER HEATERS AND AIR

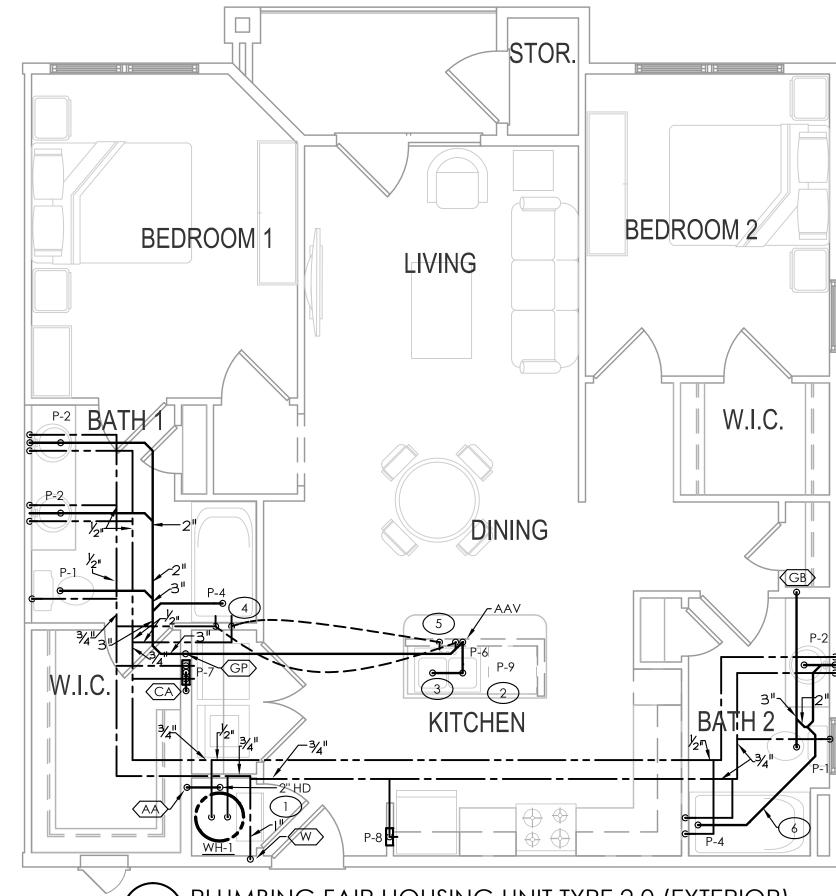
HANDLERS IN THE SAME

MECHANICAL CLOSET.

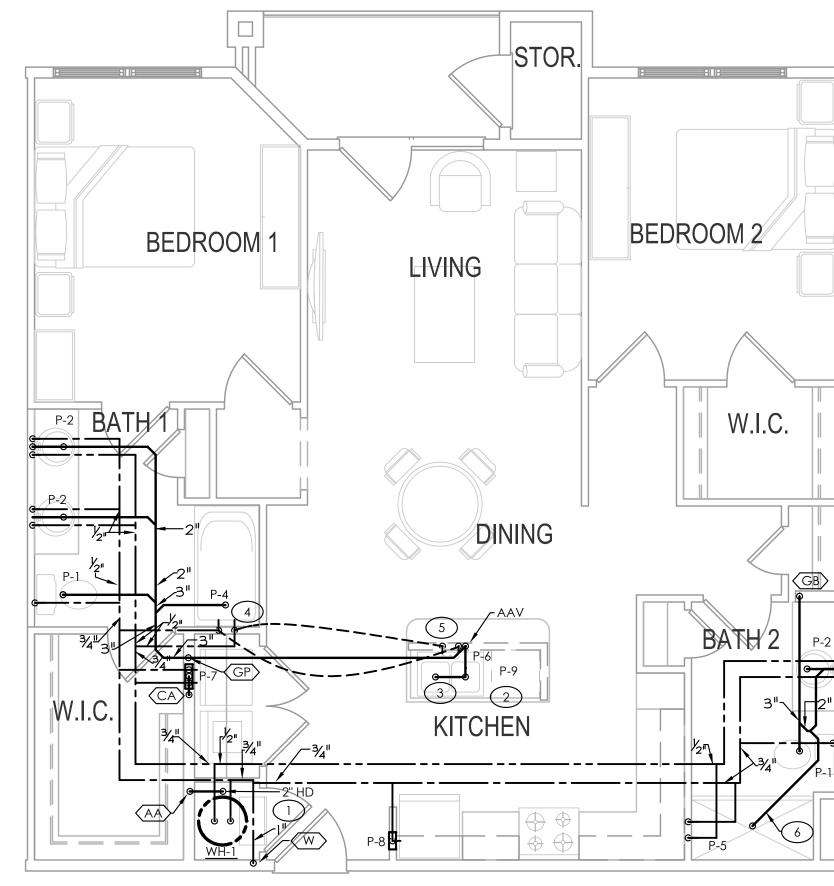
UNITS WITH STACKED

WATER HEATER IS TO BE NO WATER HEATER AND AIR HANDLER TO BE LOCATED IN MECHANICAL CLOSET. MECHANICAL CLOSET OF "TYPE 1.0 FAIR HOUSING" AND OF TYPE 1.2, 1.3, 2.0, 2.1 UNITS IS A RETURN PLENUM. ALL MATERIALS MUST BE PLENUM RATED. WATER AND DRAIN PIPING TO BE COPPER OR PLENUM RATED CPVC; NO

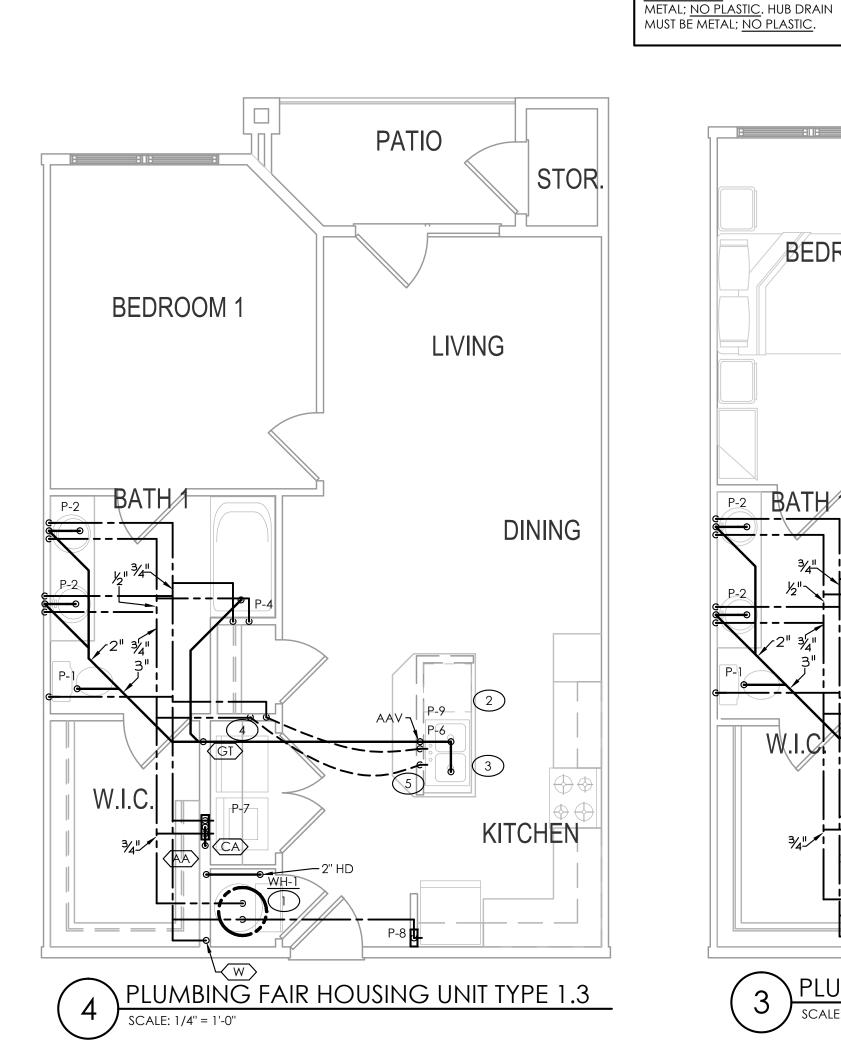
PVC, NO PEX. DRAIN PAN MUST BE

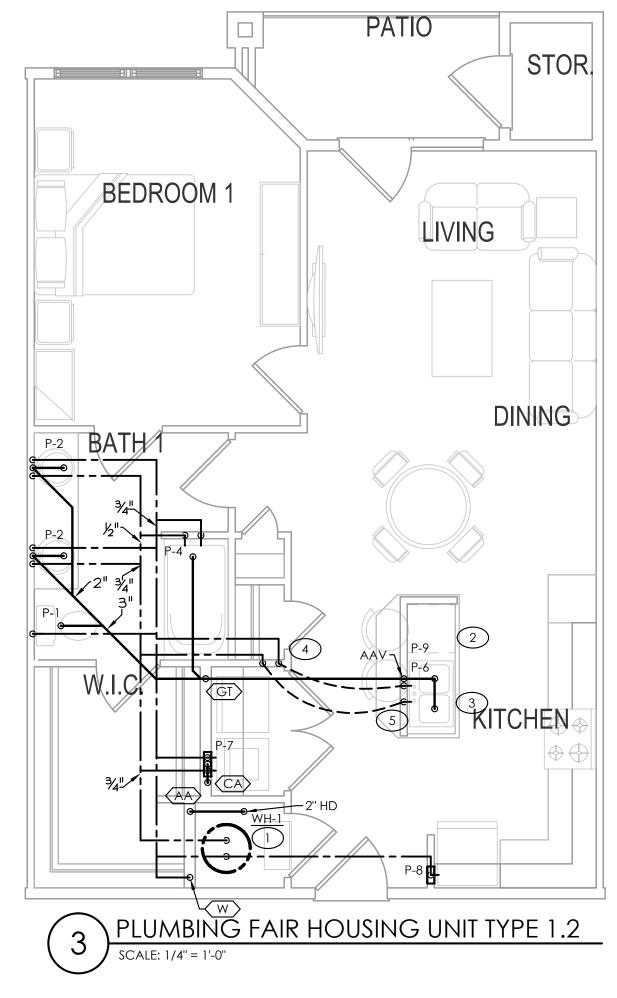


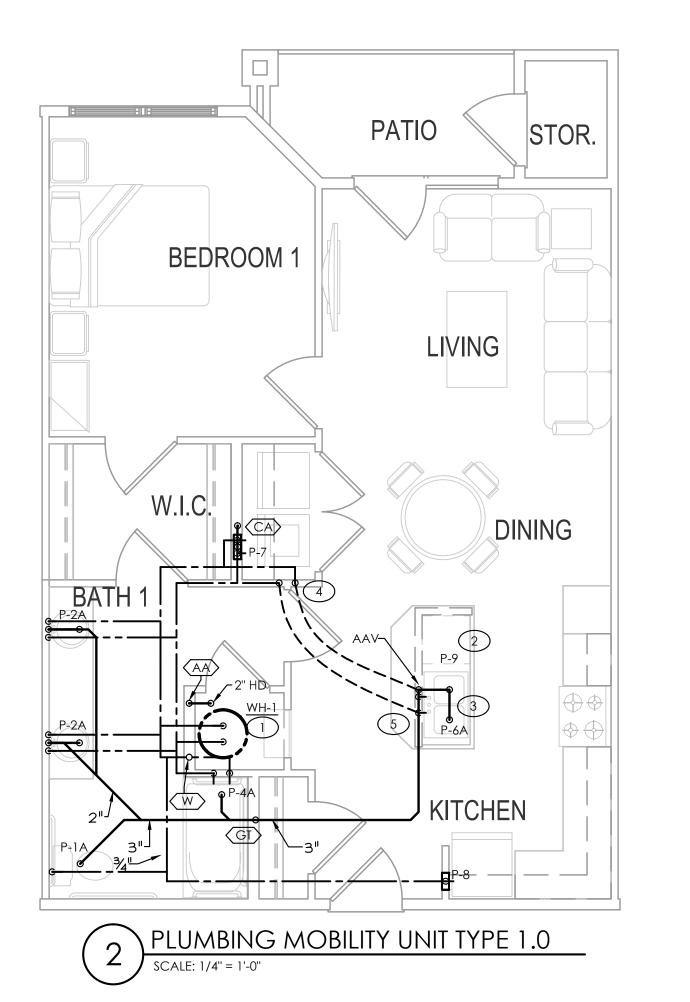
PLUMBING FAIR HOUSING UNIT TYPE 2.0 (EXTERIOR)

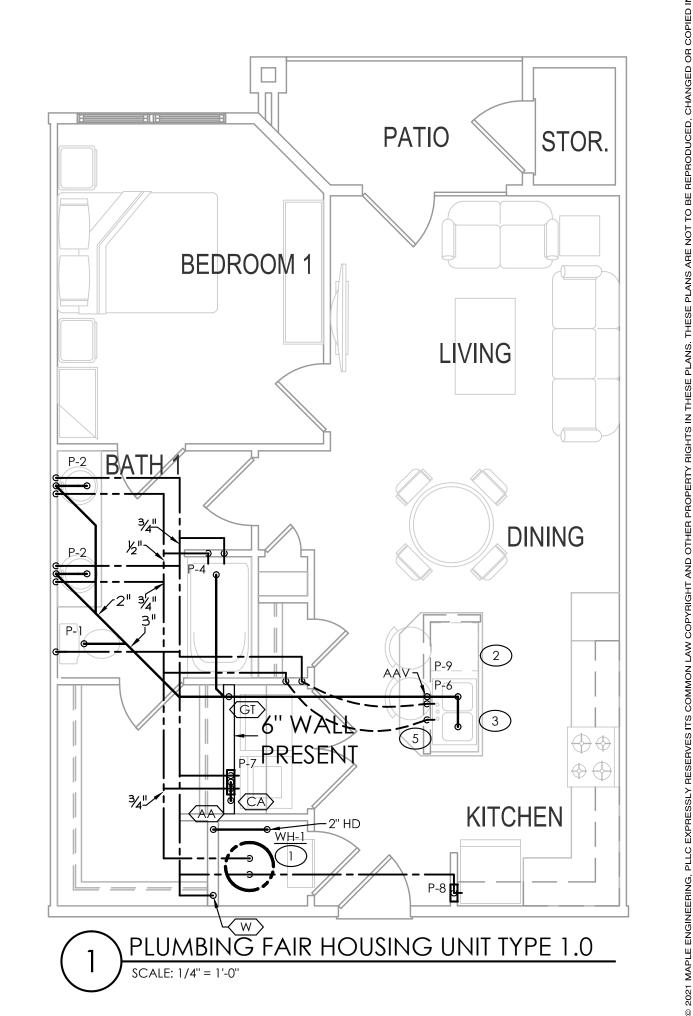


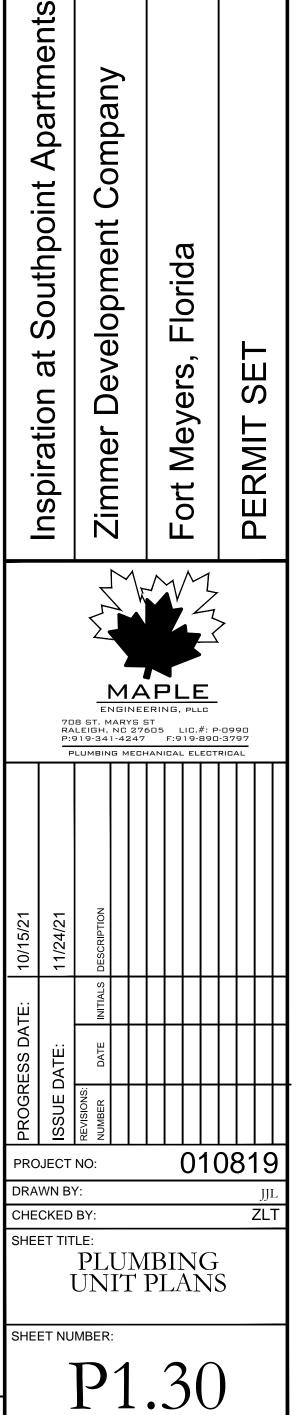
PLUMBING FAIR HOUSING UNIT TYPE 2.0 (INTERIOR)











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4. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of planworx architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans.

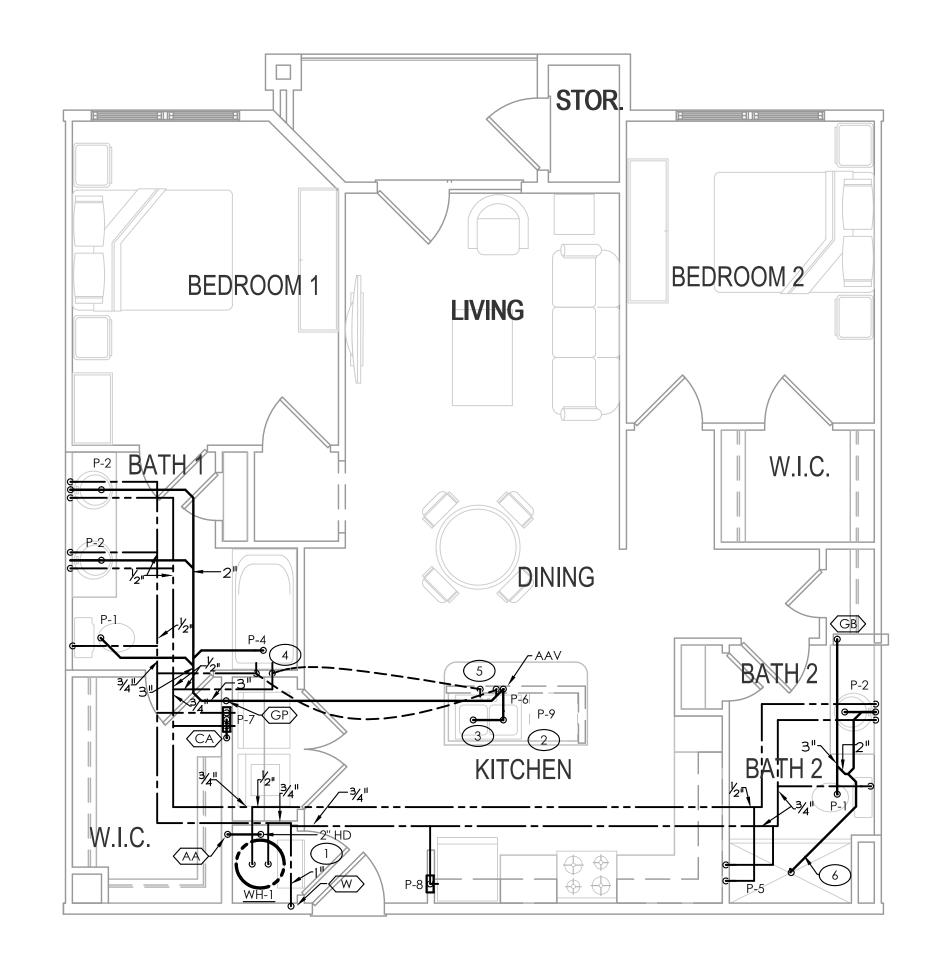
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- SEE OVERALL BUILDING PLANS FOR ROUTING OF MAIN
- WATER & SEWER PIPING. SEE BUILDING PLANS & RISER SHEETS FOR CONTINUATIONS
- OF RISER TAGS & ADDITIONAL INFORMATION. SEE RISERS FOR STACK DESIGNATIONS & DIMENSIONS.
- WATER PIPING IS <u>NOT</u> TO BE SHARED BETWEEN UNITS. SEE BUILDING PLANS FOR RATED WALL & FLOOR
- P.C. TO ENSURE SHUT-OFF VALVES IN MECHANICAL CLOSETS
- WILL BE ACCESSIBLE ONCE AIR HANDLER IS INSTALLED. P.C. TO ENSURE WASTE/VENT/WATER STACK LOCATIONS DO
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- MECHANICAL CLOSET HUB DRAIN TO RUN TO STORM SEWER NO P-TRAP REQUIRED.

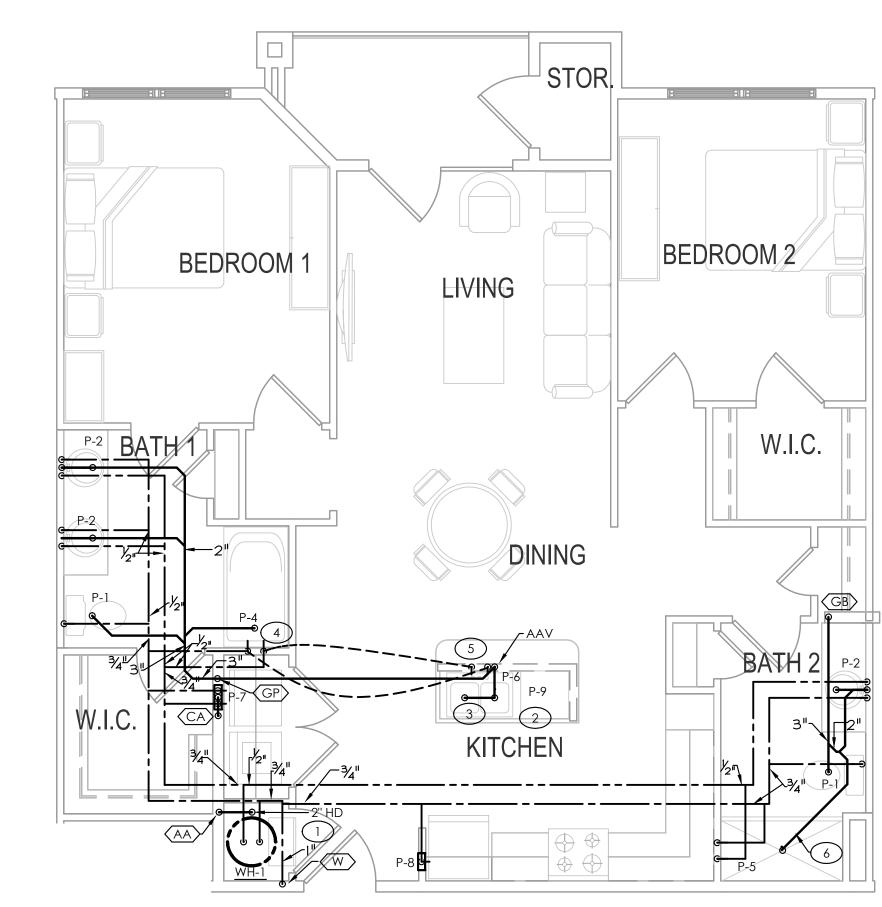
TAGGED NOTES - THIS SHEET

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- (2) PROVIDE DISHWASHER CONNECTIONS.
- (3) PROVIDE GARBAGE DISPOSAL CONNECTION. ENSURE KNEE CLEARANCES ARE MAINTAINED IN ADA UNITS.
- (4) HW/CW DOWN IN WALL TO BELOW FLOOR.
- (5) HW/CW UP FROM BELOW FLOOR TO KITCHEN SINK.
- 6 P.C. TO ENSURE THAT DISTANCE FROM TRAP TO VENT DOES NOT EXCEED 8FT.

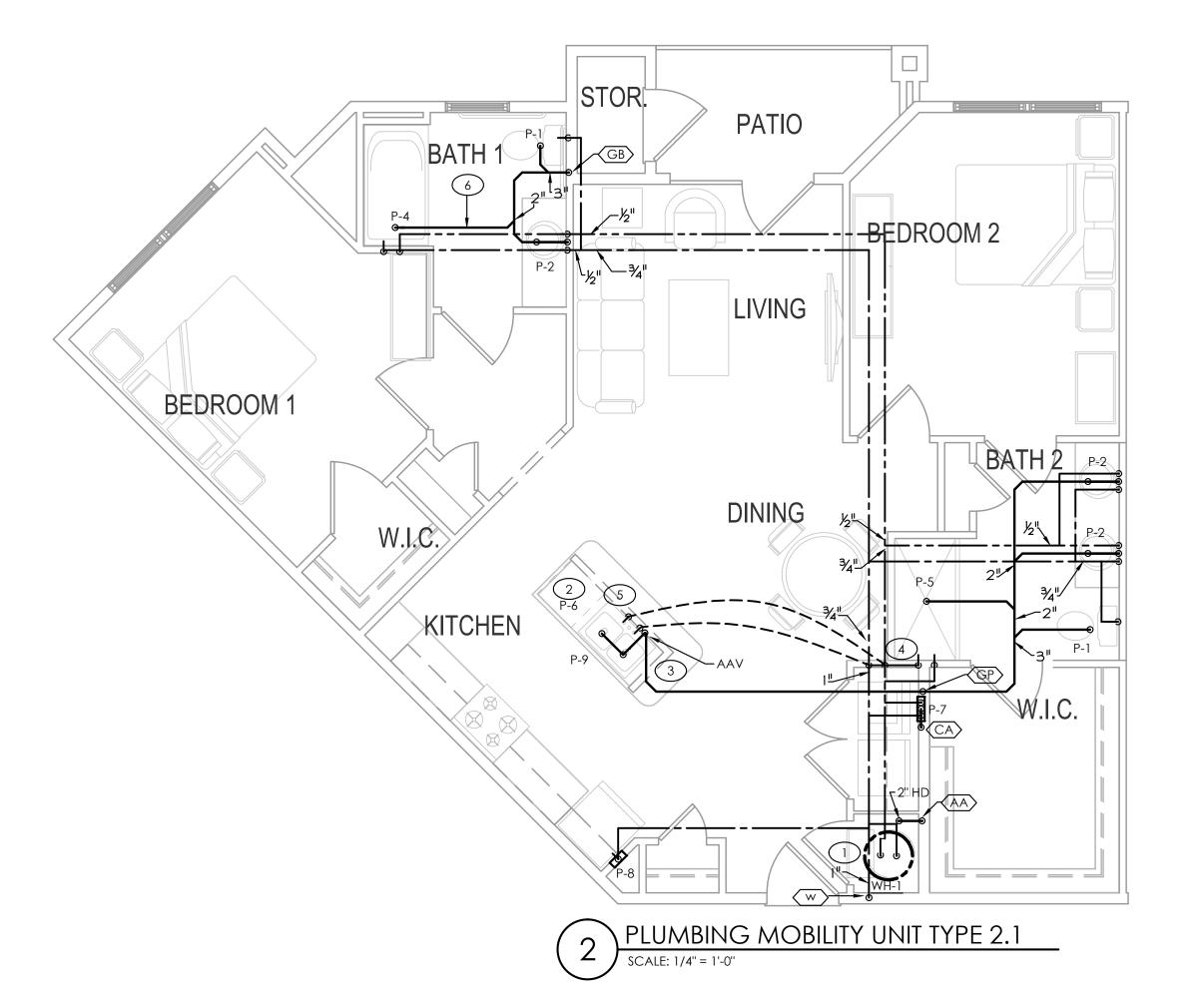
WATER HEATER IS TO BE NO MORE THAN 32" TALL IN UNITS WITH STACKED WATER HEATERS AND AIR HANDLERS IN THE SAME MECHANICAL CLOSET.

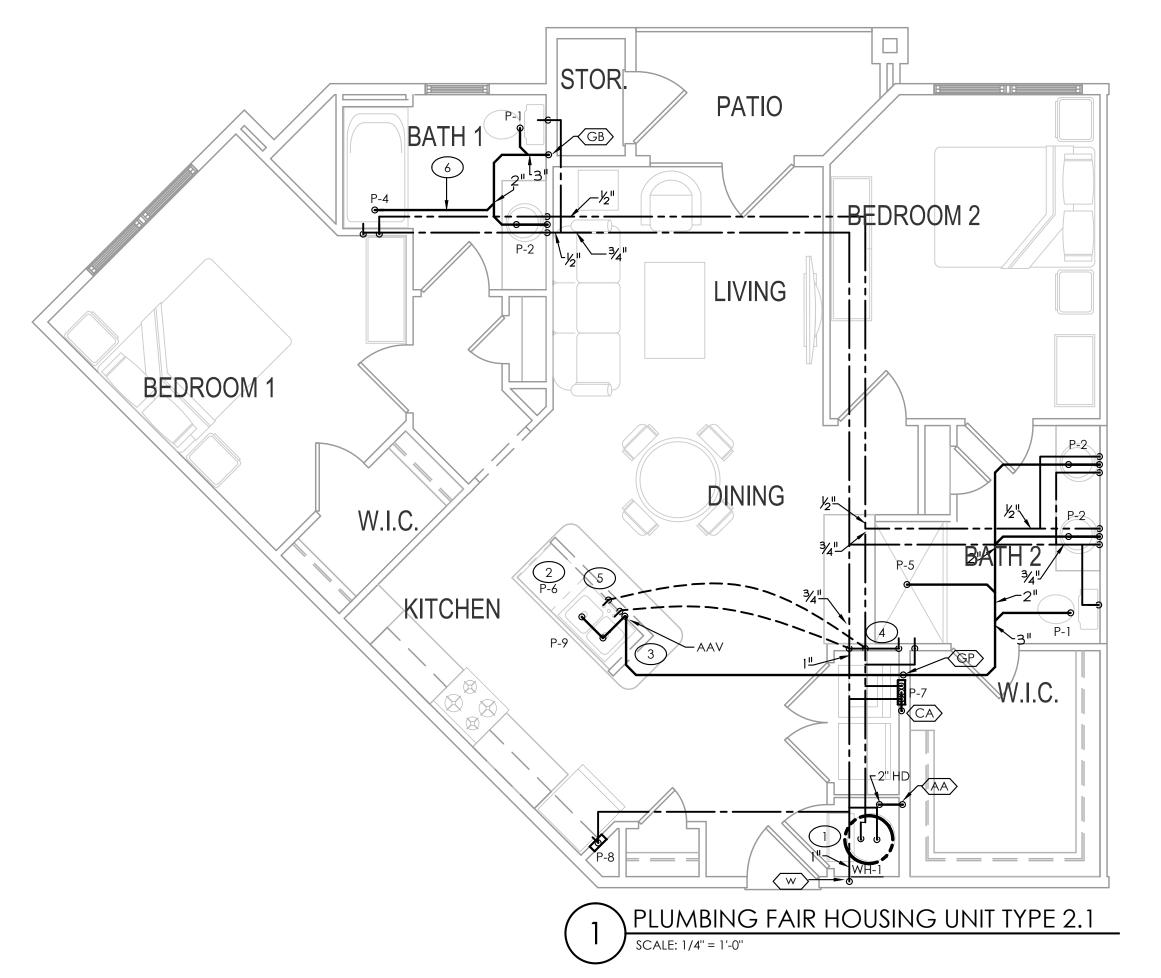


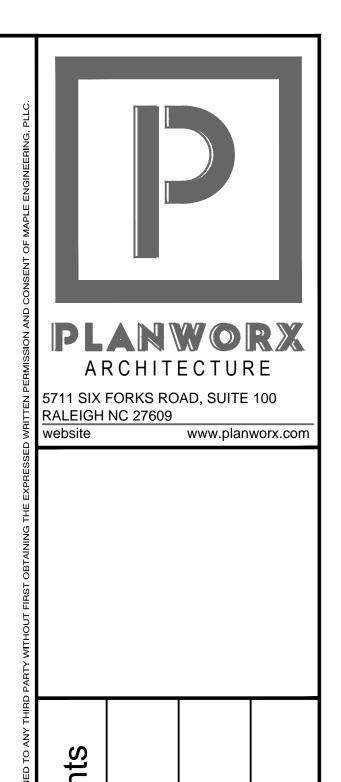
\PLUMBING FAIR HOUSING UNIT TYPE 2.0 (INTERIOR WITH SHAFT) SCALE: 1/4" = 1'-0"



PLUMBING FAIR HOUSING UNIT TYPE 2.0 (INTERIOR WITH IDF)







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708 ST. MARYS ST RALEIGH, NC 27605 LIC.#: P-0990 P:919-341-4247 F:919-890-3797 010819

P1.31

PLUMBING UNIT PLANS

PROJECT NO:

SHEET NUMBER:

DRAWN BY: CHECKED BY: SHEET TITLE:

- . SEE OVERALL BUILDING PLANS FOR ROUTING OF MAIN WATER & SEWER PIPING.
- 2. SEE BUILDING PLANS & RISER SHEETS FOR CONTINUATIONS OF RISER TAGS & ADDITIONAL INFORMATION.
- 3. SEE RISERS FOR STACK DESIGNATIONS & DIMENSIONS. 4. WATER PIPING IS <u>NOT</u> TO BE SHARED BETWEEN UNITS.5. SEE BUILDING PLANS FOR RATED WALL & FLOOR
- INFORMATION.
- 6. P.C. TO ENSURE SHUT-OFF VALVES IN MECHANICAL CLOSETS WILL BE ACCESSIBLE ONCE AIR HANDLER IS INSTALLED.
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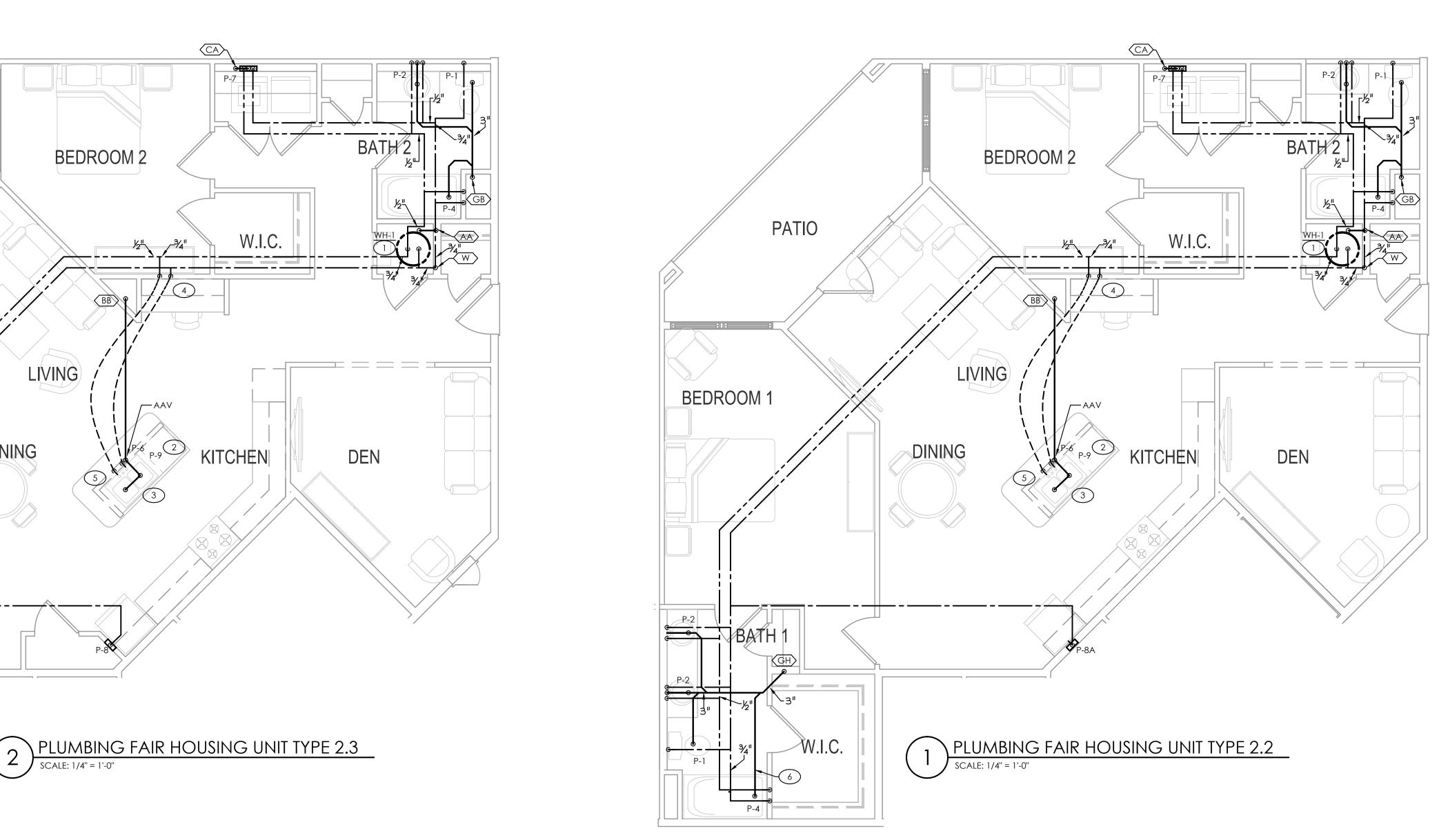
8. P.C. TO VERIFY TUB/SHOWER & WASHER/DRYER LAYOUT W/

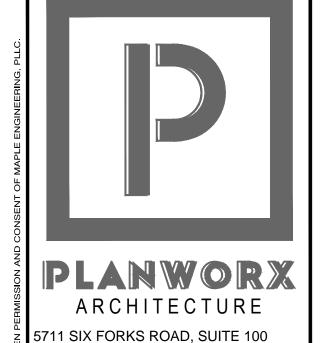
- ARCHITECTURAL PLANS. MECHANICAL CLOSET HUB DRAIN TO RUN TO STORM SEWER
- NO P-TRAP REQUIRED.

TAGGED NOTES - THIS SHEET

- 1 WATER HEATER BELOW HVAC UNIT IN CLOSET. DRAIN TO AREA HUB DRAIN. SEE DETAIL. COORDINATE EXACT LOCATION WITH M.C. AND AREA MECHANICAL EQUIPMENT. COORDINATE EXACT HUB DRAIN LOCATION WITH WATER HEATER DRAIN PAN; MUST BE VISIBLE AND ACCESSIBLE.
- (2) PROVIDE DISHWASHER CONNECTIONS.
- 3 PROVIDE GARBAGE DISPOSAL CONNECTION. ENSURE KNEE CLEARANCES ARE MAINTAINED IN ADA UNITS.
- 4 HW/CW DOWN IN WALL TO BELOW FLOOR.
- 5 HW/CW UP FROM BELOW FLOOR TO KITCHEN SINK.
- 6 P.C. TO ENSURE THAT DISTANCE FROM TRAP TO VENT DOES NOT EXCEED 8FT.

WATER HEATER IS TO BE NO MORE THAN 32" TALL IN UNITS WITH STACKED WATER HEATERS AND AIR HANDLERS IN THE SAME MECHANICAL CLOSET.





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ENGINEERING, PLLC 708 ST. MARYS ST RALEIGH, NC 27605 LIC.#: P-0990 P:919-341-4247 F:919-890-3797 PLUMBING MECHANICAL ELECTRICAL										

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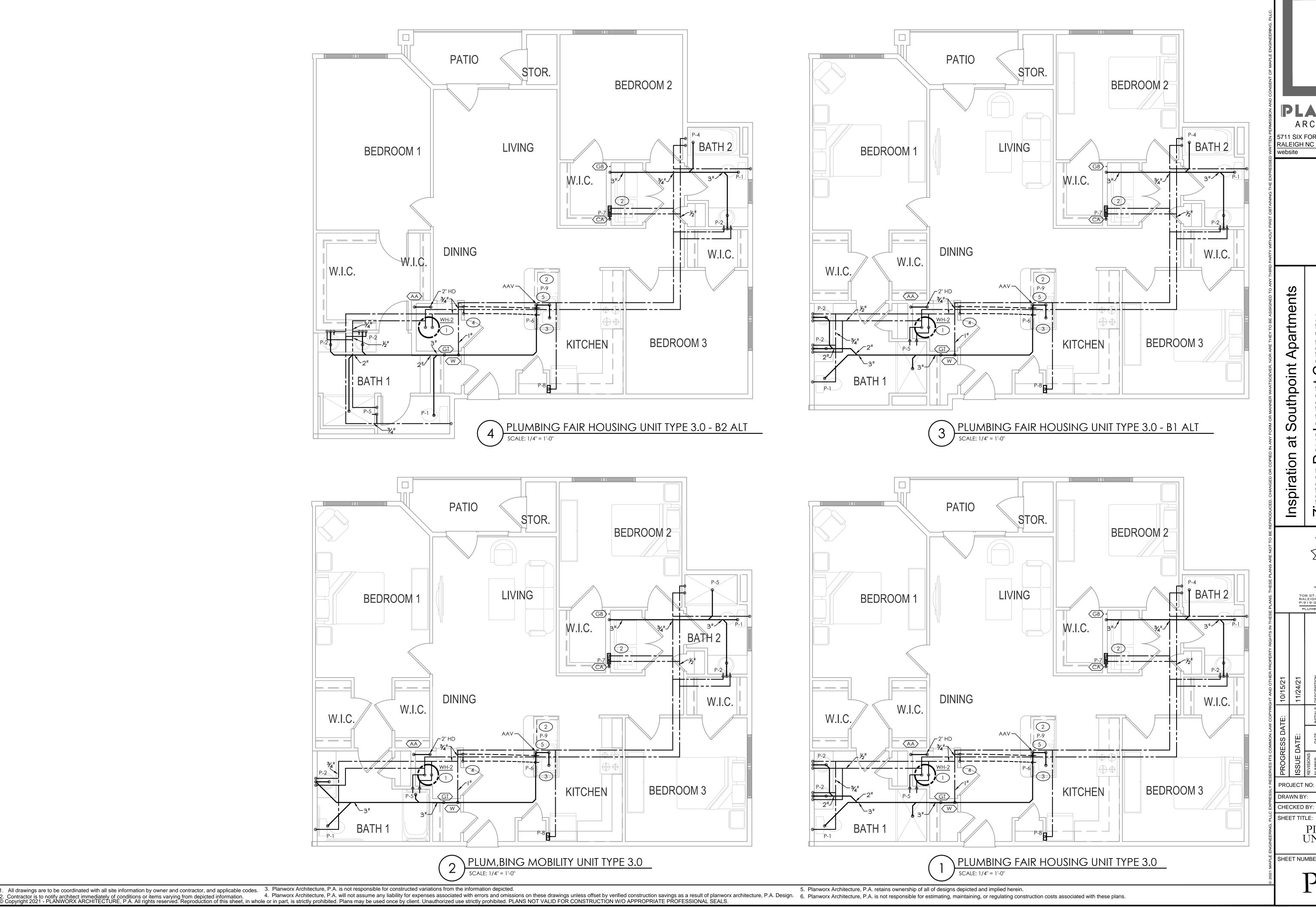
PROJECT NO: DRAWN BY:

CHECKED BY: PLUMBING UNIT PLANS

SHEET NUMBER:

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BEDROOM 1



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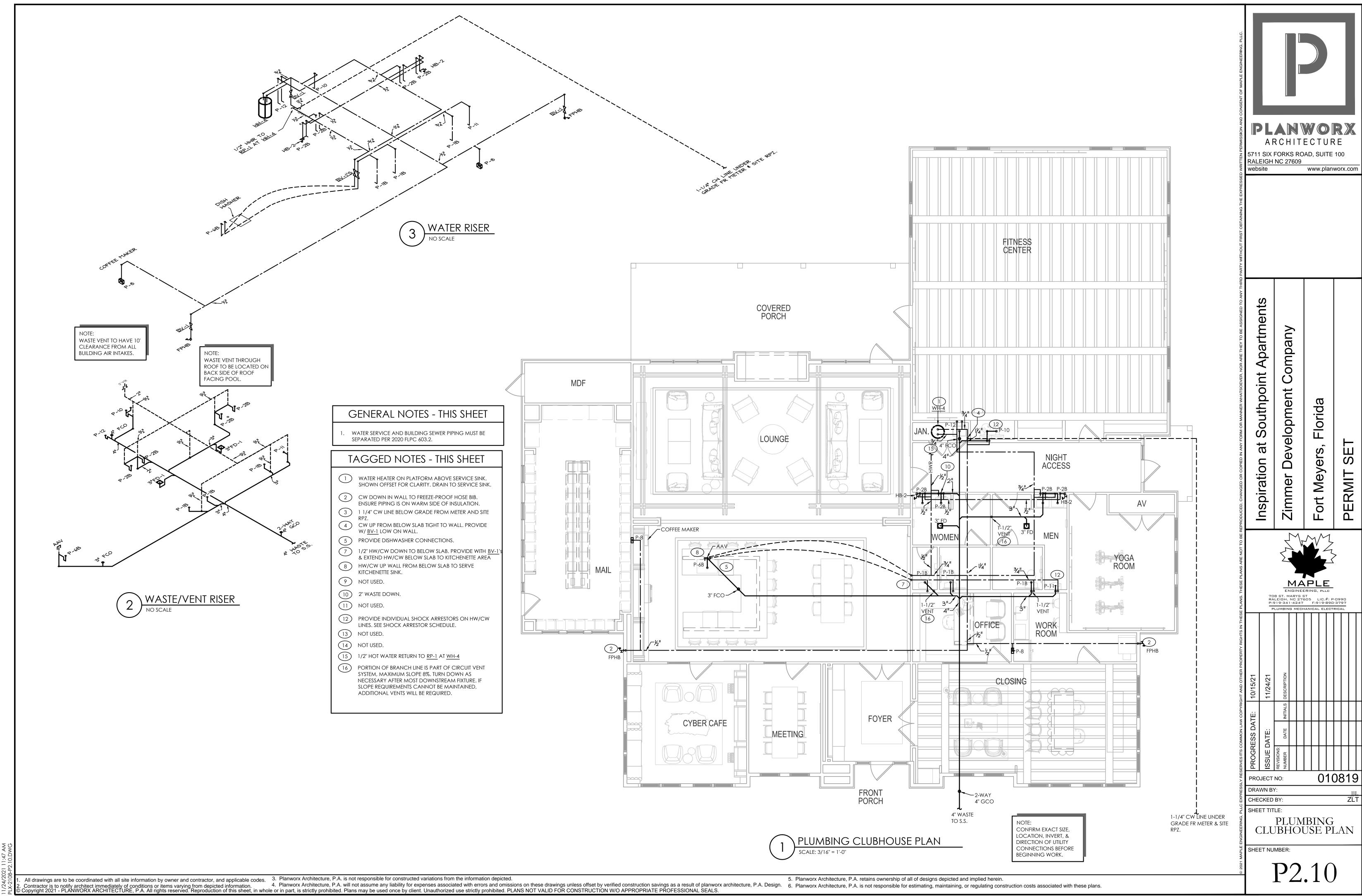
708 ST. MARYS ST RALEIGH, NC 27605 LIC.#: P-0990 P:919-341-4247 F:919-890-3797

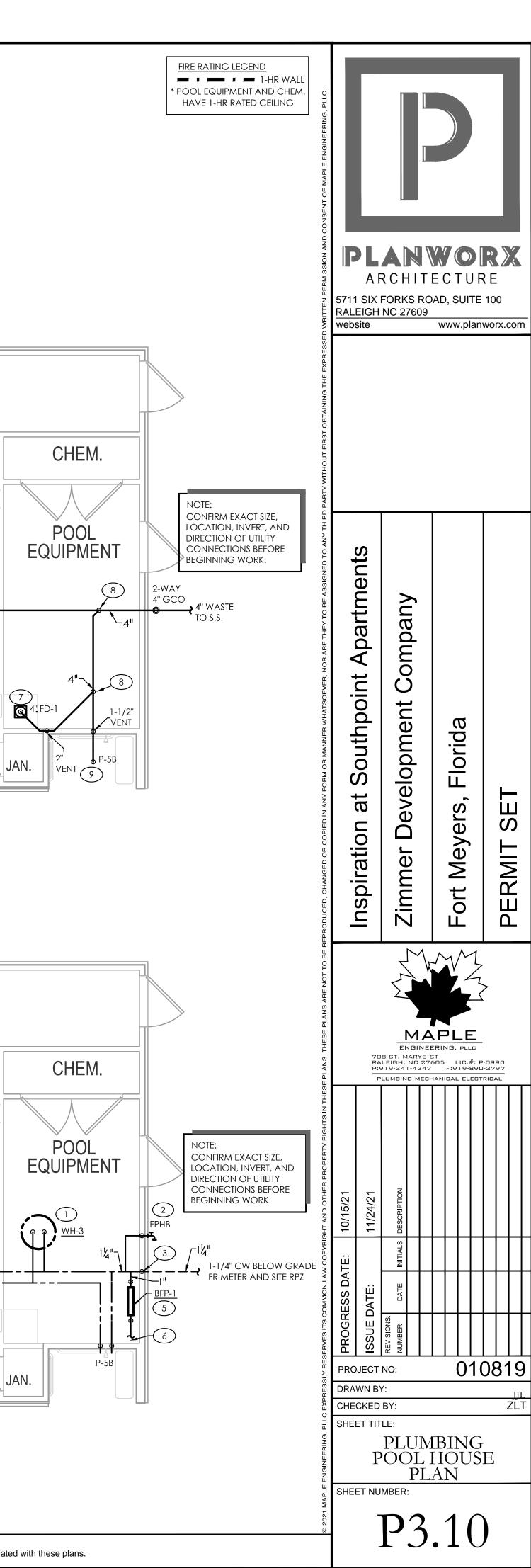
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PROJECT NO: DRAWN BY:

SHEET TITLE: PLUMBING UNIT PLANS

SHEET NUMBER:

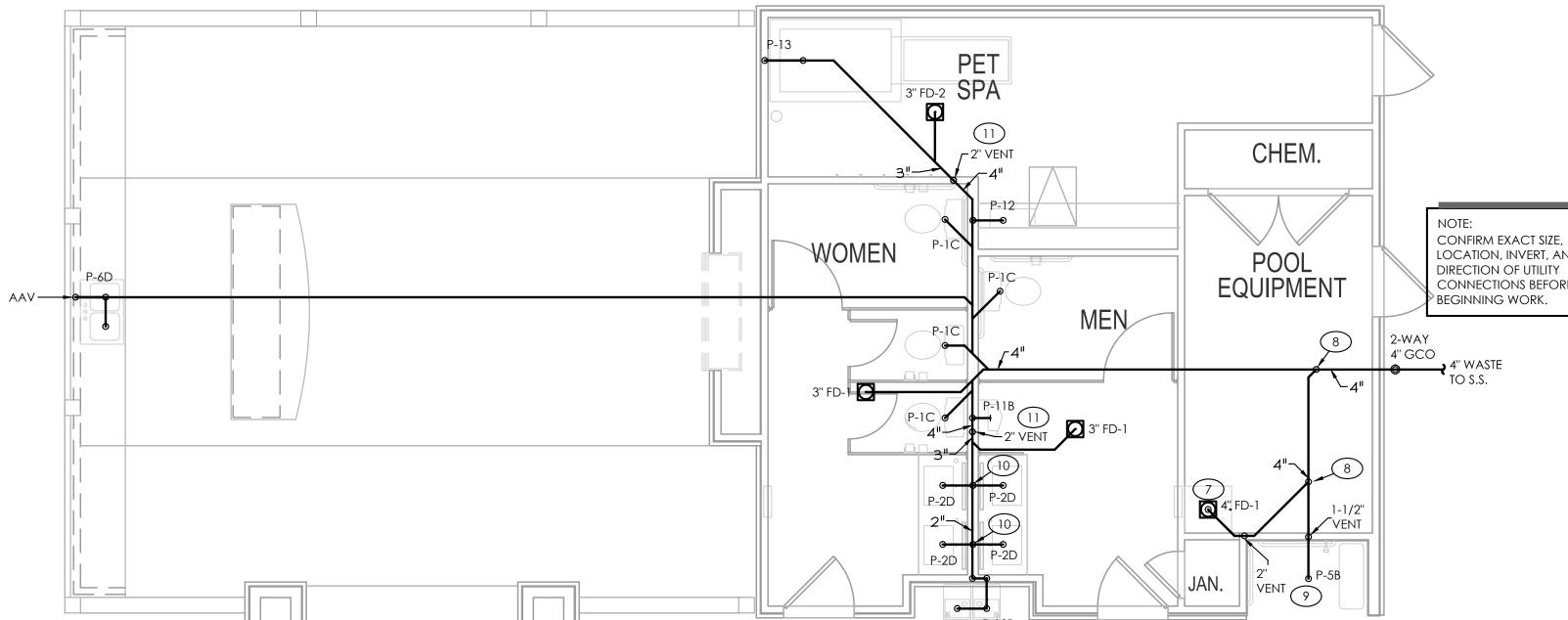




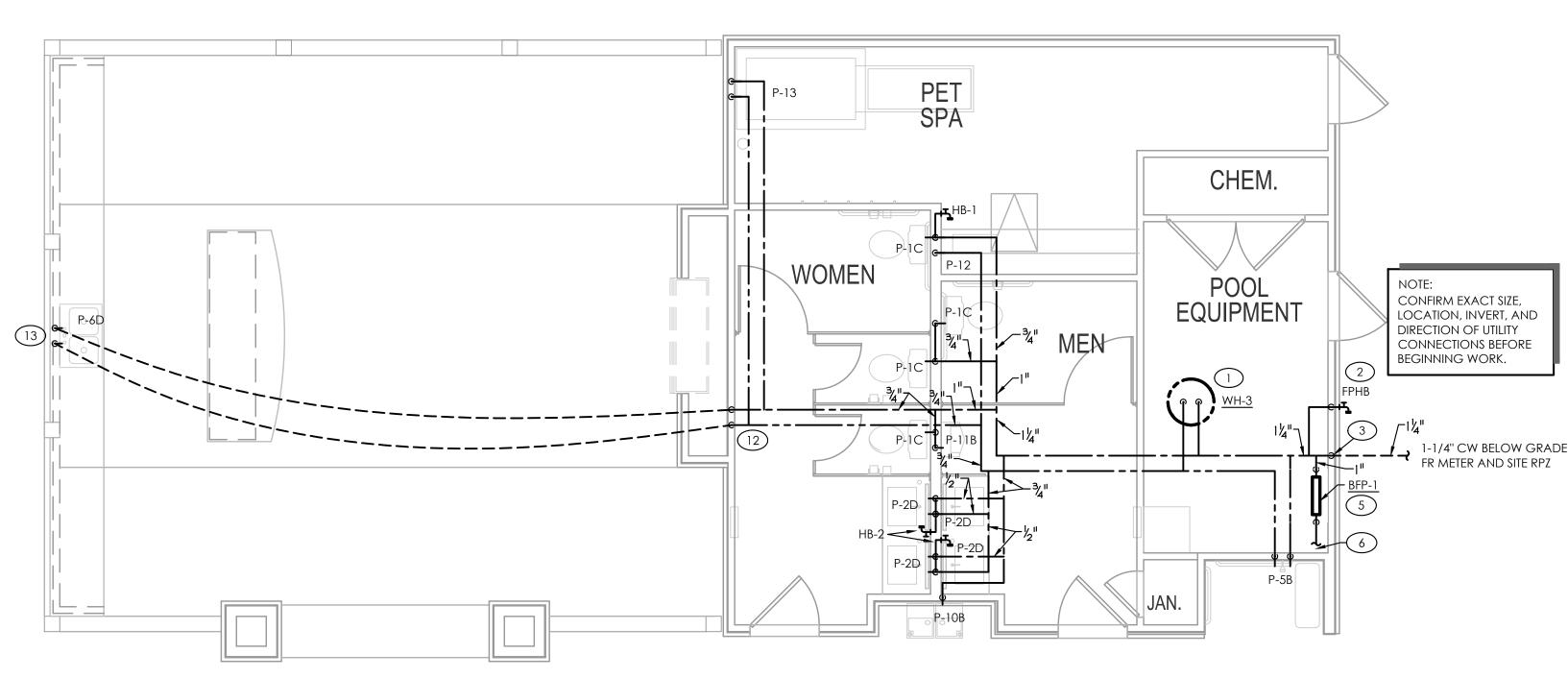
WATER SERVICE & BUILDING SEWER PIPING MUST BE SEPARATED PER 2020 FLPC 603.2.

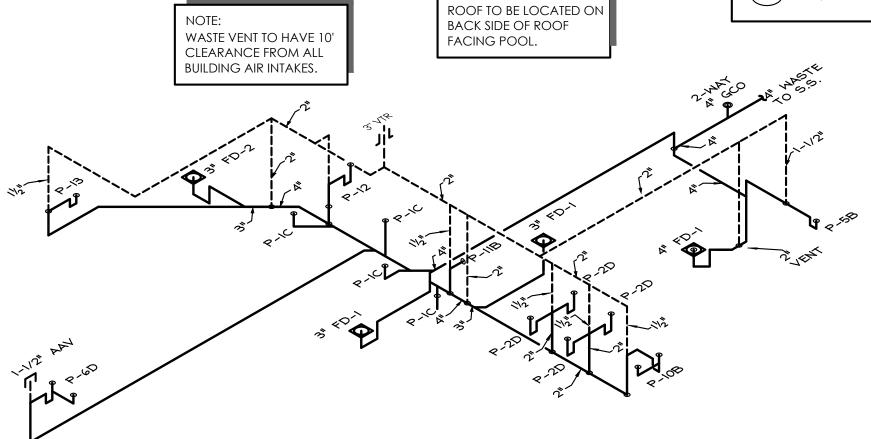
TAGGED NOTES - THIS SHEET

- WATER HEATER, ABOVE IN ATTIC. DRAIN TO EXTERIOR AWAY FROM FOOT TRAFFIC. COORDINATE EXACT LOCATION WITH M.C. AND AREA MECHANICAL
- CW DOWN IN WALL TO FREEZE-PROOF HOSE BIB. ENSURE PIPING IS ON WARM SIDE OF INSULATION. PROVIDE WITH <u>BV-1</u> IN ACCESS PANEL, LOW ON
- 3 CW UP IN WALL TO ABOVE CEILING FROM BELOW GRADE. PROVIDE W/ BV-1 LOW ON WALL.
- 4 PROVIDE RATED SURROUND FOR SHOWER VALVE.
- 5 BACKFLOW PREVENTER, <u>BFP-1</u>, LOCATED ALONG WALL FOR POOL EQUIPMENT. DRAIN TO FLOOR DRAIN IN AREA. ENSURE REQ'D CLEARANCES CAN BE MAINTAINED.
- 6 1" CW TO POOL EQUIPMENT. COORDINATE WITH POOL CONTRACTOR.
- SUMP PIT. COORDINATE EXACT LOCATION WITH POOL EQUIPMENT AND POOL CONTRACTOR.
- (8) WASTE LINE FROM SUMP PIT IS LOWER THAN WASTE FROM FIXTURES. WASTE FROM FIXTURES TO DROP VERTICALLY IN AREA TO CONNECT TO WASTE LINE FROM SUMP PIT. SEE RISER.
- 9 P.C. TO ENSURE SHOWER DRAIN IS LOCATED BELOW PERMANENT AWNING. COORDINATE WITH ARCHITECT.
- (10) 2" WASTE DOWN IN WALL.
- PORTION OF BRANCH LINE IS PART OF CIRCUIT VENT SYSTEM, MAXIMUM SLOPE 8%. TURN DOWN AS NECESSARY AFTER MOST DOWNSTREAM FIXTURE. IF SLOPE REQUIREMENTS CANNOT BE MAINTAINED, ADDITIONAL VENTS WILL BE REQUIRED.
- (12) CW/HW DOWN IN WALL TO BELOW SLAB.
- (13) CW/HW UP TO SINK FROM BELOW SLAB.



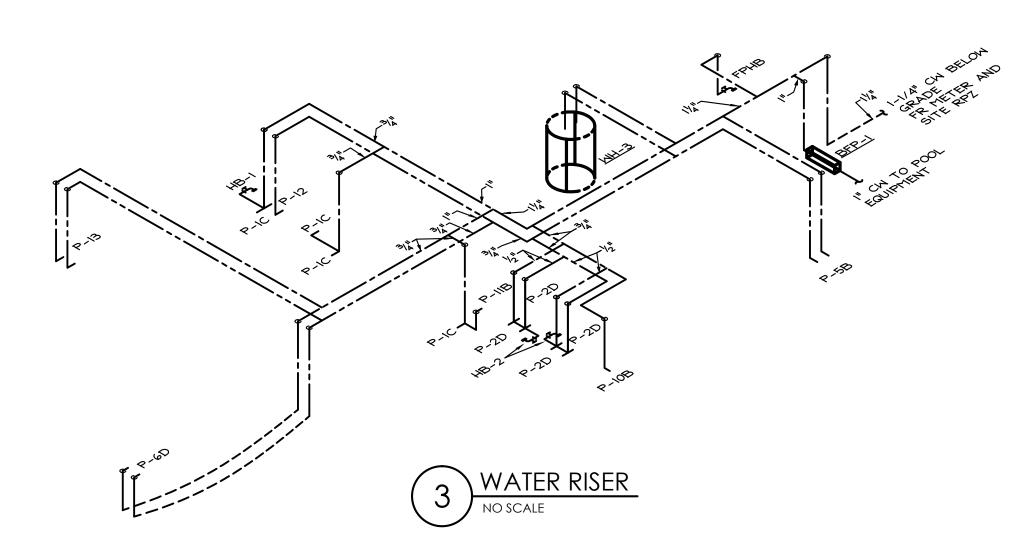
PLUMBING POOL HOUSE PLAN - WASTE





WASTE VENT THROUGH

WASTE/VENT RISER



PLUMBING POOL HOUSE PLAN - WATER

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9. Planworx Arc



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PLUMBING MECHANICAL ELECTRICAL

010819

PLUMBING MAINTENANCE & CAR WASH BUILDING

P5.10

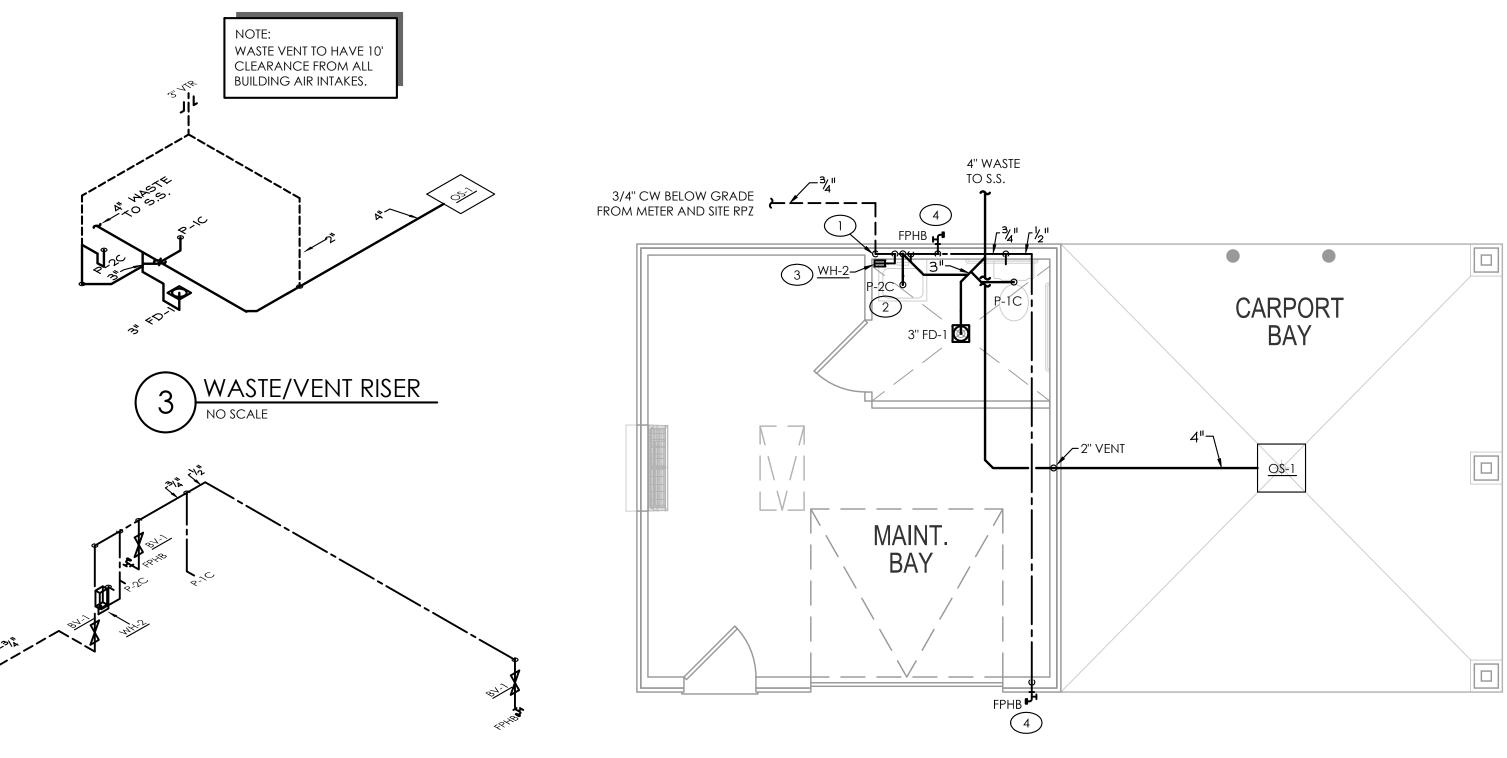
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GENERAL NOTES - THIS SHEET

WATER SERVICE & BUILDING SEWER PIPING MUST BE SEPARATED PER 2020 FLPC 603.2.

TAGGED NOTES - THIS SHEET

- CW UP IN WALL TO PLUMBING FIXTURES. ENSURE PIPING IS ON WARM SIDE OF INSULATION. PROVIDE W/ BV-1 IN ACCESS PANEL, LOW ON WALL.
- 2 PROVIDE TEMPERING VALVE, <u>TV-1</u>, BELOW SINK. SET TO 100°F.
- 3 TANKLESS WATER HEATER, <u>WH-2</u>, LOCATED ON WALL BELOW SINK. ENSURE ADA CLEARANCES ARE MAINTAINED. DRAIN TO FLOOR DRAIN IN AREA.
- 4 CW DOWN IN WALL TO FREEZE-PROOF HOSE BIB. ENSURE PIPING IS ON WARM SIDE OF INSULATION. PROVIDE W/ $\underline{\mathsf{BV-1}}$ IN ACCESS PANEL, LOW ON WALL.



PLUMBING MAINTENANCE & CAR WASH PLAN

SCALE: 1/4" = 1'-0"

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9. Planworx Architecture, P.A. is not responsible for estimation.

9. Planworx Architec

