

GENERAL PLUMBING NOTES

Table with 2 columns: I. GENERAL REQUIREMENTS, II. DIVISION OF WORK, III. MATERIALS, IV. COORDINATION, V. EXECUTION. Contains detailed specifications and instructions for plumbing work.

PLUMBING FIXTURE SPECIFICATIONS AND CONNECTION SCHEDULE

Main table listing plumbing fixtures with columns: MARK, FIXTURE, TYPE, MANUFACTURER, MODEL NO., MATERIAL, STYLE, FAUCET/VALVE, DRAIN, SUPPLIES AND STOPS, PIPE SIZES, MOUNTING, REMARKS.

SEE SHEET P0.02 FOR SCHEDULE CONTINUATION



Inspiration at Southpoint Apartments
Zimmer Development Company
Fort Meyers, Florida
PERMIT SET

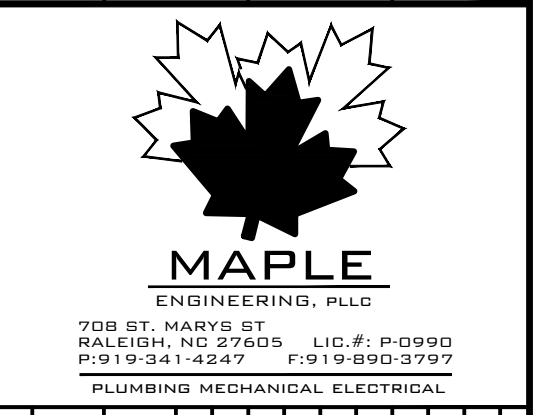


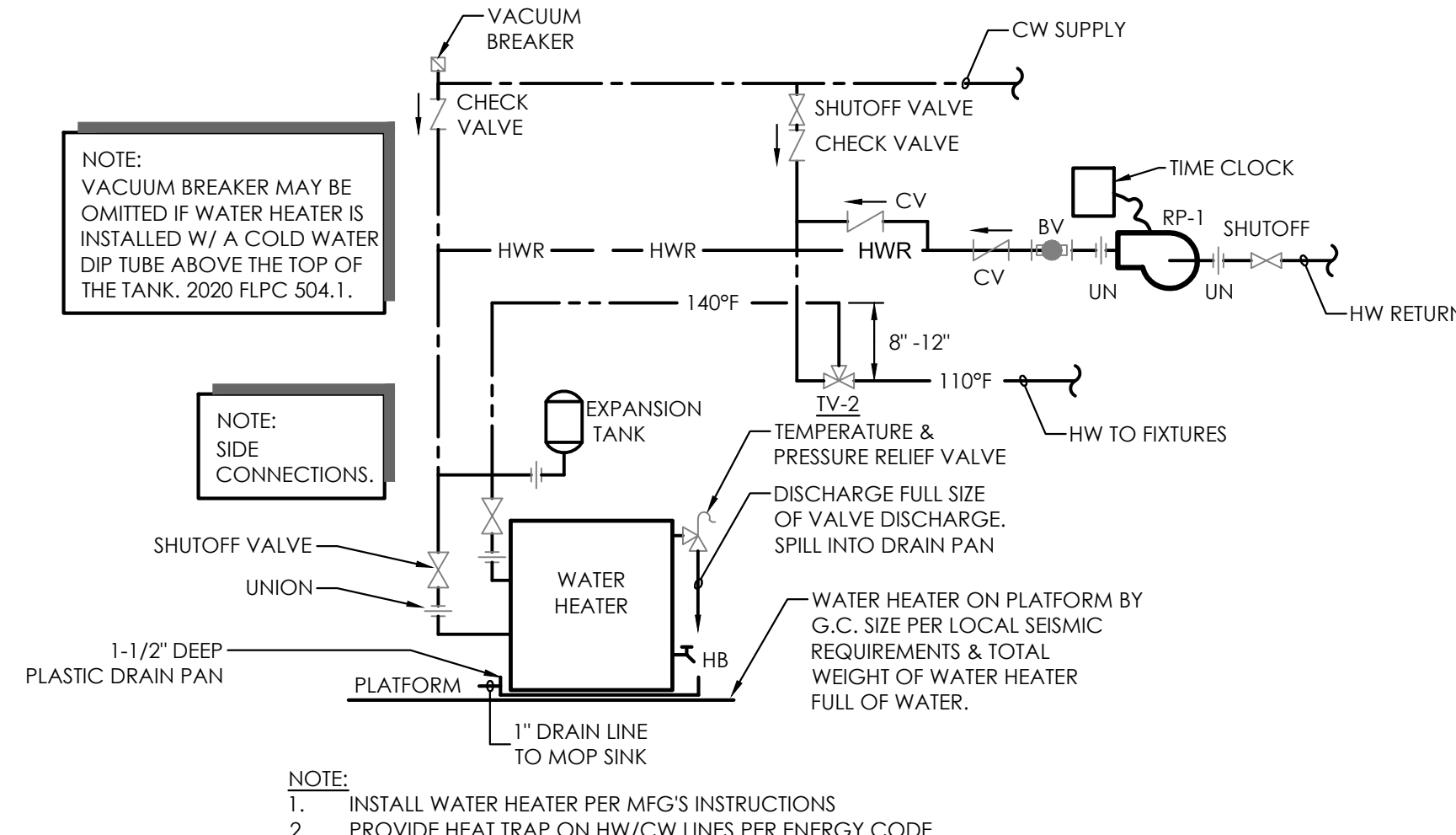
Table with columns: PROGRESS DATE, ISSUE DATE, REVISIONS NUMBER, PROJECT NO. (010819), DRAWN BY, CHECKED BY, SHEET TITLE (PLUMBING SCHEDULES AND NOTES), SHEET NUMBER.

P0.01

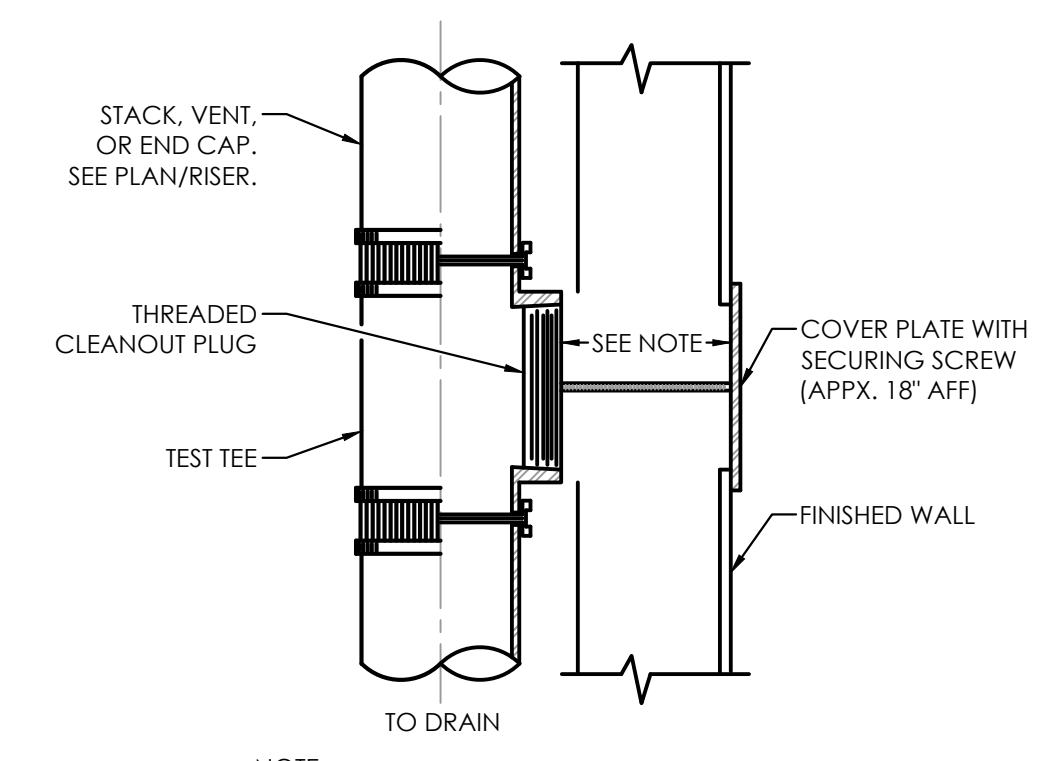
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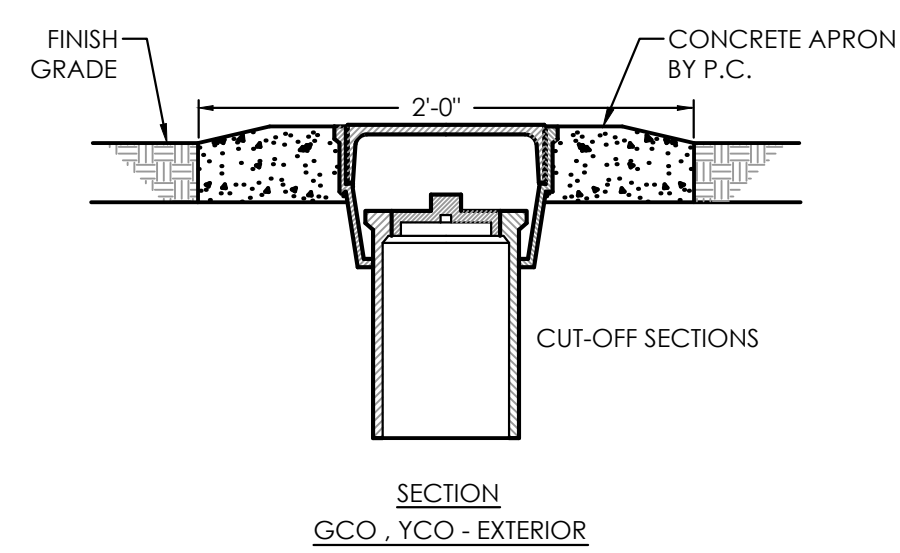
PLUMBING FIXTURE REQUIREMENTS						
WASTE			WATER			NOTES
BUILDING DRAIN SIZE	NUMBER OF BUILDING DRAINS	TOTAL FIXTURE UNIT LOAD	WATER SERVICE SIZE	NUMBER OF WATER SERVICES	TOTAL FIXTURE UNIT LOAD	
6" & 8"	2	1065	3"	1	757	APT. BUILDING TYPE 1
8"	2	987	3"	1	702	APT. BUILDING TYPE 2
4"	1	23	1-1/4"	1	32	CLUBHOUSE
4"	1	7	3/4"	1	8	MAINTENANCE
4"	1	27	1-1/4"	1	40	POOL HOUSE



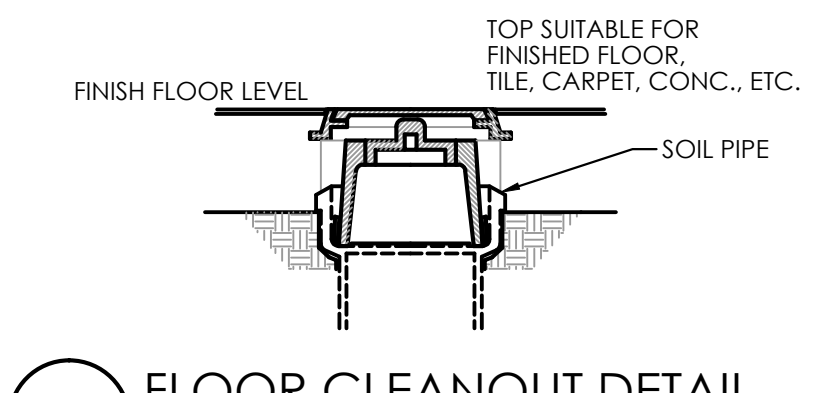
9 WATER HEATER DETAIL (WH-4)
NO SCALE



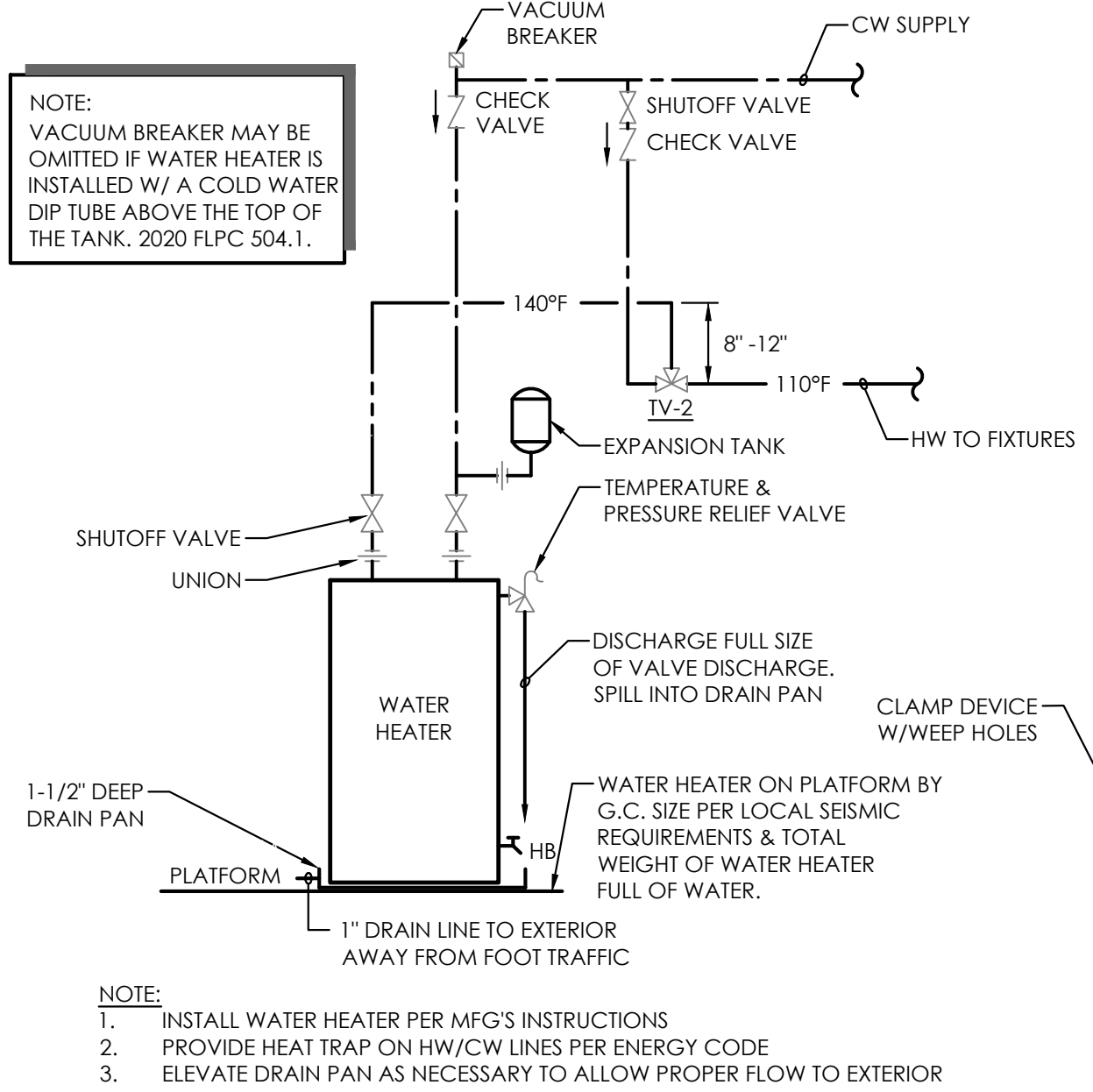
8 WALL CLEANOUT DETAIL
NO SCALE



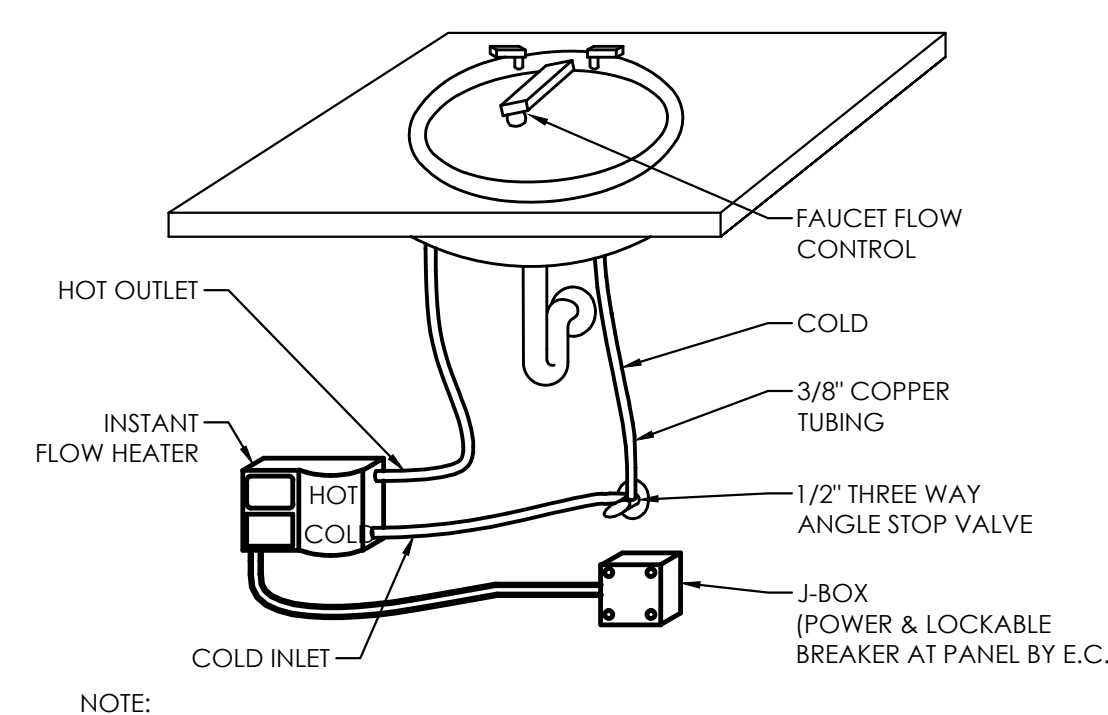
7 EXTERIOR CLEANOUT DETAIL
NO SCALE



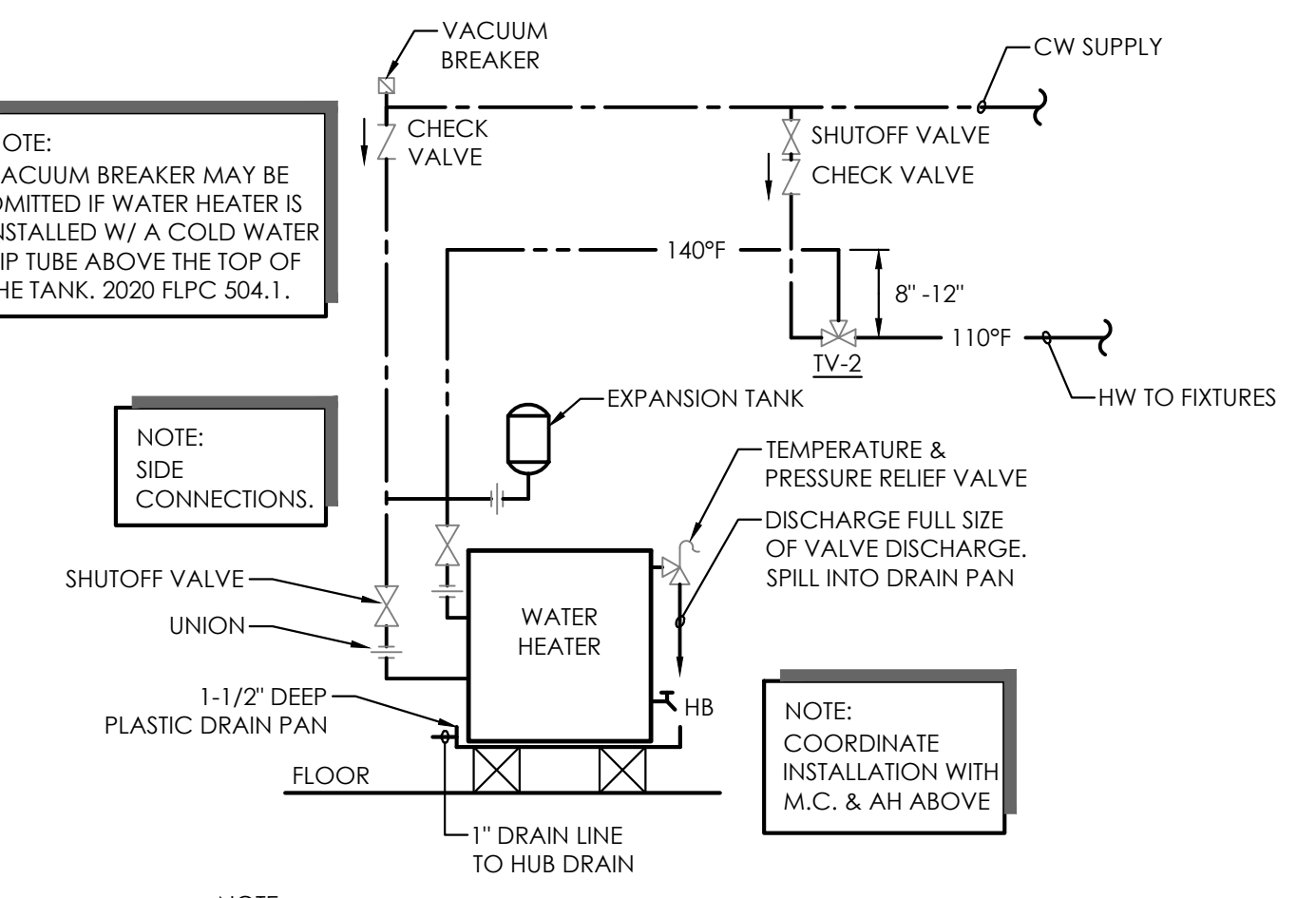
6 FLOOR CLEANOUT DETAIL
NO SCALE



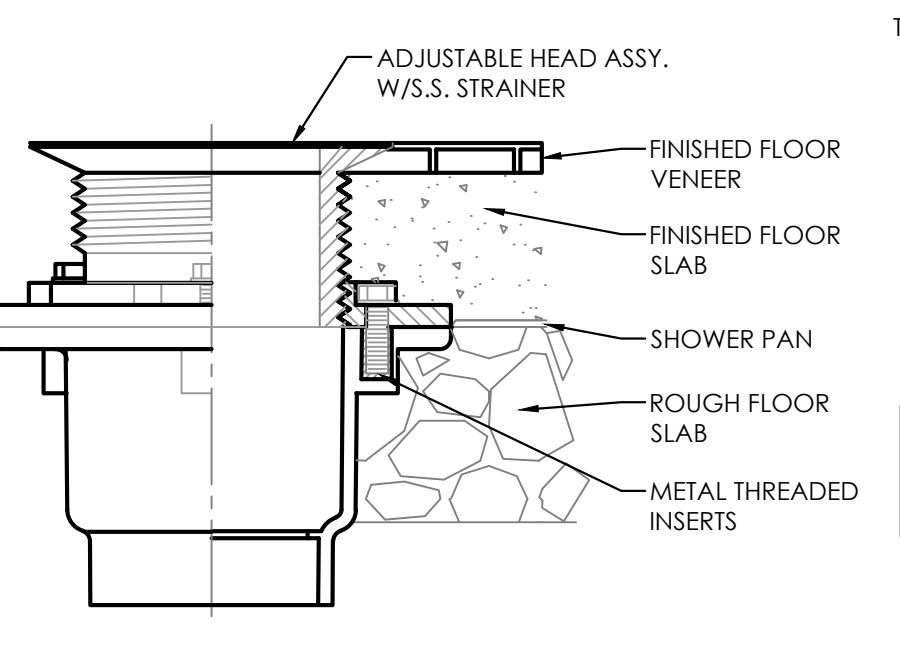
3 WATER HEATER DETAIL (WH-3)
NO SCALE



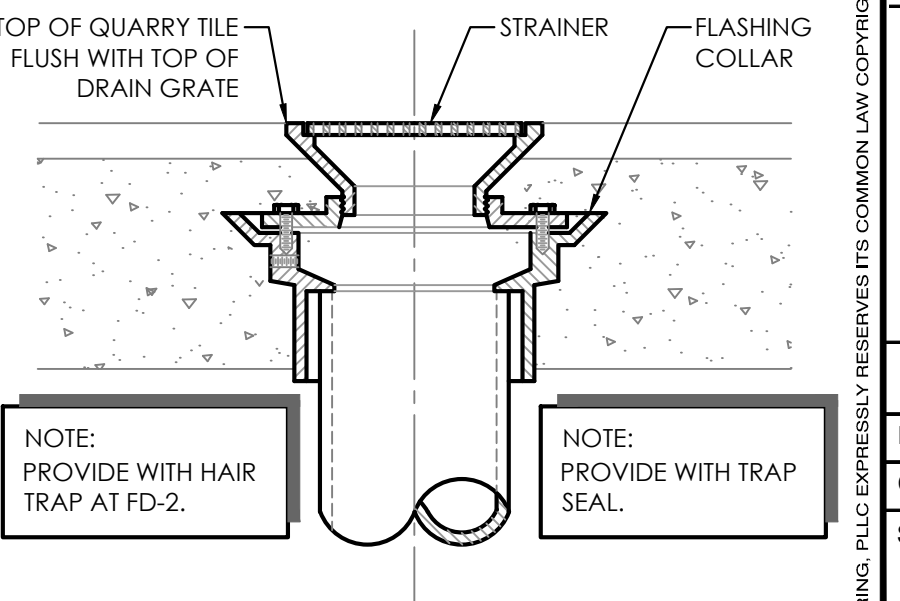
5 INSTANTANEOUS WATER HEATER DETAIL (WH-2)
NO SCALE



4 WATER HEATER DETAIL (WH-1)
NO SCALE



2 SHOWER DRAIN DETAIL
NO SCALE



1 FLOOR DRAIN DETAIL
NO SCALE

SEE SHEET P0.01 FOR SCHEDULE CONTINUATION

PLUMBING FIXTURE SPECIFICATIONS AND CONNECTION SCHEDULE																				
MARK	FIXTURE	TYPE	MANUFACTURER	MODEL NO.	MATERIAL	STYLE	FAUCET/VALVE			DRAIN		SUPPLIES AND STOPS	PIPE SIZES				REMARKS			
							MANUFACT. MODEL NO.	SPOUT	HANDLES	CENTERS	TYPE		SIZE	WASTE	VENT	CW		HW	MOUNTING	
AAV	AIR ADM. VALVE	THREADED	STUDOR	20301	ABS, PVC	MINI-VENT	-	-	-	-	-	-	SEE PLAN	-	-	-	PIPE	W/ ACCESS COVER (IF REQ'D).		
SD	SHOWER DRAIN	FINISHED FLOOR	ZURN	FD1	PVC	ADJUSTABLE	-	-	-	-	-	-	SEE PLAN	-	-	-	FLOOR	W/ DEEP SEAL TRAP. W/ STAINLESS STEEL STRAINER. W/ CLAMP COLLAR & WEEP HOLES.		
BFP-1	BACK FLOW PREVENTER	RED. PRESS. ZONE	WATTS	LF909QT	LEAD-FREE, BRONZE	HORIZONTAL	-	-	-	-	-	-	-	-	-	-	WALL	W/ STRAINER. PROVIDE REQ'D CLEARANCES. W/ TEST PORTS & ISO VALVES. DRAIN W/ AIR GAP.		
RP-1	RECIRC. PUMP	DIRECT DRIVE	TACO	MODEL 003	BRONZE OR STAINLESS STEEL	MAINT. FREE	-	-	-	-	-	-	-	-	-	-	IN-LINE	MAX 3.8 GPM @ 3FT TDH. 115V/1Ø. 50W. 0.43 F.L.A. W/ TIMER.		
WH-1	WATER HEATER	ELECTRIC	STATE WATER HEATERS	EN6 40 DOLS	GLASS LINED	LOWBOY	-	-	-	-	-	-	-	-	-	3/4"	3/4"	PLATFORM	38 GALLON, 4.5KW, 208V/1Ø. 23 GPH @ 80°F RISE. SET TO 140°F. W/ TV-2. SEE DETAIL.	
WH-2	WATER HEATER	ELEC. INST.	EEMAX	SP3208	-	UNDERSINK	-	-	-	-	-	-	-	-	-	3/8" FLEX	-	WALL	W/ 0.5 GPM FLOW RESTRICTOR. 41°F RISE. 3.0 KW, 208V/1Ø. SET TO 110°F.	
WH-3	WATER HEATER	ELECTRIC	STATE WATER HEATERS	EN6 30 DORT	GLASS LINED	UPRIGHT	-	-	-	-	-	-	-	-	-	-	3/4"	3/4"	PLATFORM	30 GALLON, 4.5KW, 208V/1Ø. 21 GPH @ 90°F RISE. SET TO 140°F. W/ TV-2. SEE DETAIL.
WH-4	WATER HEATER	ELECTRIC	STATE WATER HEATERS	EN6 30 DOMBS	GLASS LINED	LOWBOY, SIDE CONN.	-	-	-	-	-	-	-	-	-	-	3/4"	3/4"	PLATFORM	28 GALLON, 4.5KW, 208V/1Ø. 21 GPH @ 90°F RISE. SET TO 140°F. W/ TV-2. SEE DETAIL.

NOTES:
1. ALL FIXTURE COLORS & FINISHES TO BE APPROVED BY OWNER & ARCHITECT BEFORE PURCHASING.
2. PROVIDE P-TRAP AND SUPPLY LINE SAFETY COVERS FOR ALL ADA SINK AND LAVATORY INSTALLATIONS.
3. WATER CLOSET HANDLES TO BE LOCATED ON "WIDE SIDE" OF STALL FOR ADA FIXTURES.
4. SEE DETAILS FOR ADDITIONAL ITEMS TO BE PROVIDED/INSTALLED W/ FIXTURES LISTED ABOVE.

OIL/SAND INTERCEPTOR (OS-1)		
1.	OIL/SAND INTERCEPTOR TO BE EQUAL TO ZURN Z1189.	
2.	100 LBS SLUDGE CAPACITY.	
3.	4" OUTLET, ACID RESISTANT COATED INTERIOR, FABRICATED STEEL BODY.	
4.	OIL/SAND INTERCEPTOR TO BE INSTALLED IN GROUND.	
5.	WITH HEAVY-DUTY CAST IRON GRATE.	

SHOCK ARRESTOR SCHEDULE		
FIXTURE UNITS	UNIT SIZE (CONN. SIZE)	MFG & MODEL (OR EQUAL)
1-4	AA (1/2")	SIoux CHIEF "MINI-RESTER"
5-11	A (1/2")	SIoux CHIEF "HYDRA-RESTER"
12-32	B (3/4")	SIoux CHIEF "HYDRA-RESTER"
33-60	C (1")	SIoux CHIEF "HYDRA-RESTER"

NOTES:
1. LOCATE SHOCK ARRESTORS IN ACCESSIBLE LOCATION OR PROVIDE SHOCK ARRESTORS THAT ALLOW CONCEALMENT PER MANUFACTURER'S GUIDELINES.
2. SEE PLAN, RISERS, & SCHEDULES FOR ARRESTOR LOCATIONS. IF LOCATION NOT INDICATED, INSTALL IN ACCORDANCE W/ MANUFACTURER'S GUIDELINES.

BOOSTER PUMP (BP-1) SPEC		
1.	BOOSTER PUMP EQUAL TO GRUNDFOS CMBE TWIN 10-54	
2.	2" SYSTEM CONNECTIONS.	
3.	2 PUMP 208V/1Ø.	
4.	WITH INTEGRATED SPEED CONTROL.	
5.	70 GPM @ 40 PSI RISE RATED.	

VALVE SCHEDULE		
TAG	DESCRIPTION	MFG & MODEL (OR EQUAL)
BV-1	FULL-PORT BALL VALVE	WATTS LFB6081 (1/2" TO 2")
BV-2	BALANCING VALVE	WATTS LFCSM-61-S (1/2" TO 2")
CV-1	DUAL CHECK VALVE	WATTS SD-2 (ASSE 1032; <1/2") WATTS LFPD (ASSE 1012; 1/2" & 3/4")
CV-2	BRASS CHECK VALVE	WATTS LFWCV (1/2" TO 1")
PRV-1	PRESS. RED. VALVE	WATTS LF223-S (SET TO 70 PSI; ASSE 1003; 1/2" TO 2-1/2")
TV-1	IND. THERMO. MIX. VALVE	WATTS LFUSG-B (0.25 TO 2.5 GPM; 3/8") (SET TO 100°F DISCHARGE; ASSE 1070)
TV-2	THERMO. MIX. VALVE	WATTS LFMVY (0.5 TO 20 GPM; 1/2" TO 1") (SET TO 110°F DISCHARGE)

NOTES:
1. SEE PLAN FOR SIZE, VALVE SIZE TO EQUAL LINE SIZE.
2. BALL VALVES TO INCLUDE REMOVABLE HANDLES.
3. IF AVAILABLE, VALVES MAY BE THREADED OR SWEATED CONNECTIONS. USE EXTREME CARE & LOW TEMP SOLDER TO PROTECT VALVE SEATS IF SWEATED CONNECTIONS ARE USED.

PLUMBING LEGEND	
	DOMESTIC COLD WATER PIPING
	DOMESTIC HOT WATER PIPING
	VENT PIPING
	WASTE (SANITARY SEWER) PIPING
	VALVE
	CHECK VALVE
	PIPE UP/DOWN
	FLOOR DRAIN
	CLEANOUT
	ELEVATOR SUMP PUMP
	WATER/WASTE STACK DESIGNATION
AAV	AIR ADMITTANCE VALVE
ABV	ABOVE
AHJ	AUTHORITY HAVING JURISDICTION
AFF	ABOVE FINISHED FLOOR
BFF	BELOW FINISHED FLOOR
BFP	BACKFLOW PREVENTER
BV	BALL OR BALANCING VALVE (SEE SCHED)
CV	CHECK VALVE
CW	COLD WATER
DN	DOWN
E.C.	ELECTRICAL SUB-CONTRACTOR
FCO	FLOOR CLEAN OUT
FD	FLOOR DRAIN
FR	FROM
FS	FLOOR SINK
G.C.	GENERAL CONTRACTOR
HB	HOSE BIBB
HD	HUB DRAIN
HW	HOT WATER
M.C.	MECHANICAL SUB-CONTRACTOR
P.C.	PLUMBING SUB-CONTRACTOR
PRV	PRESSURE REDUCING VALVE
SS	SANITARY SEWER
TV	TEMPERING VALVE
WH	WATER HEATER
YHD	YARD HYDRANT

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PLUMBING MECHANICAL ELECTRICAL

PROGRESS DATE:	10/15/21
ISSUE DATE:	11/24/21
REVISIONS:	
NUMBER	DATE INITIALS DESCRIPTION
PROJECT NO:	010819
DRAWN BY:	JJI
CHECKED BY:	ZLT
SHEET TITLE:	PLUMBING SCHEDULES AND DETAILS
SHEET NUMBER:	P0.02

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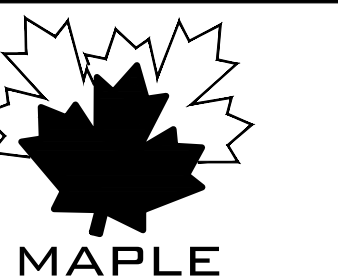
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PLUMBING MECHANICAL ELECTRICAL

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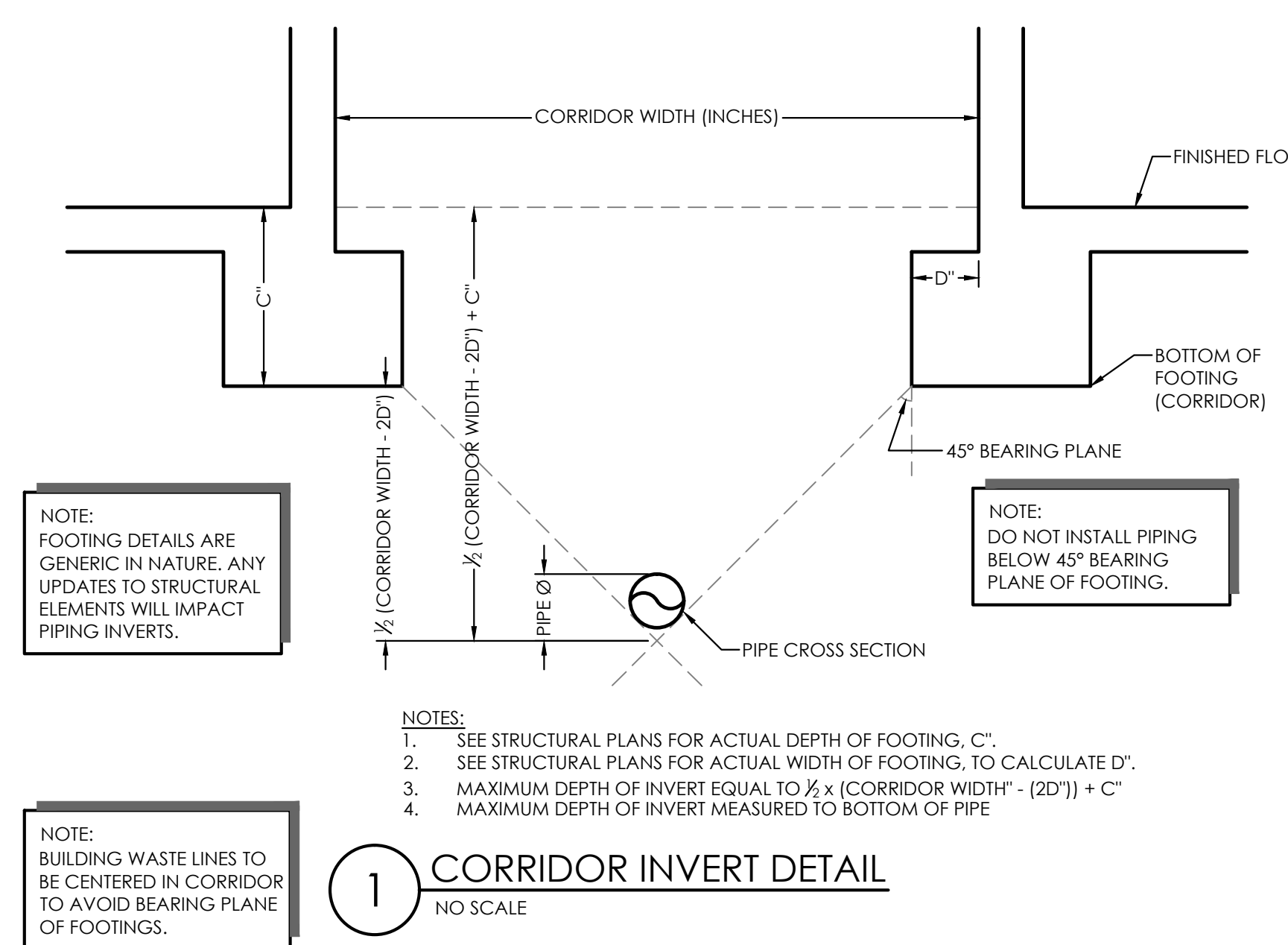
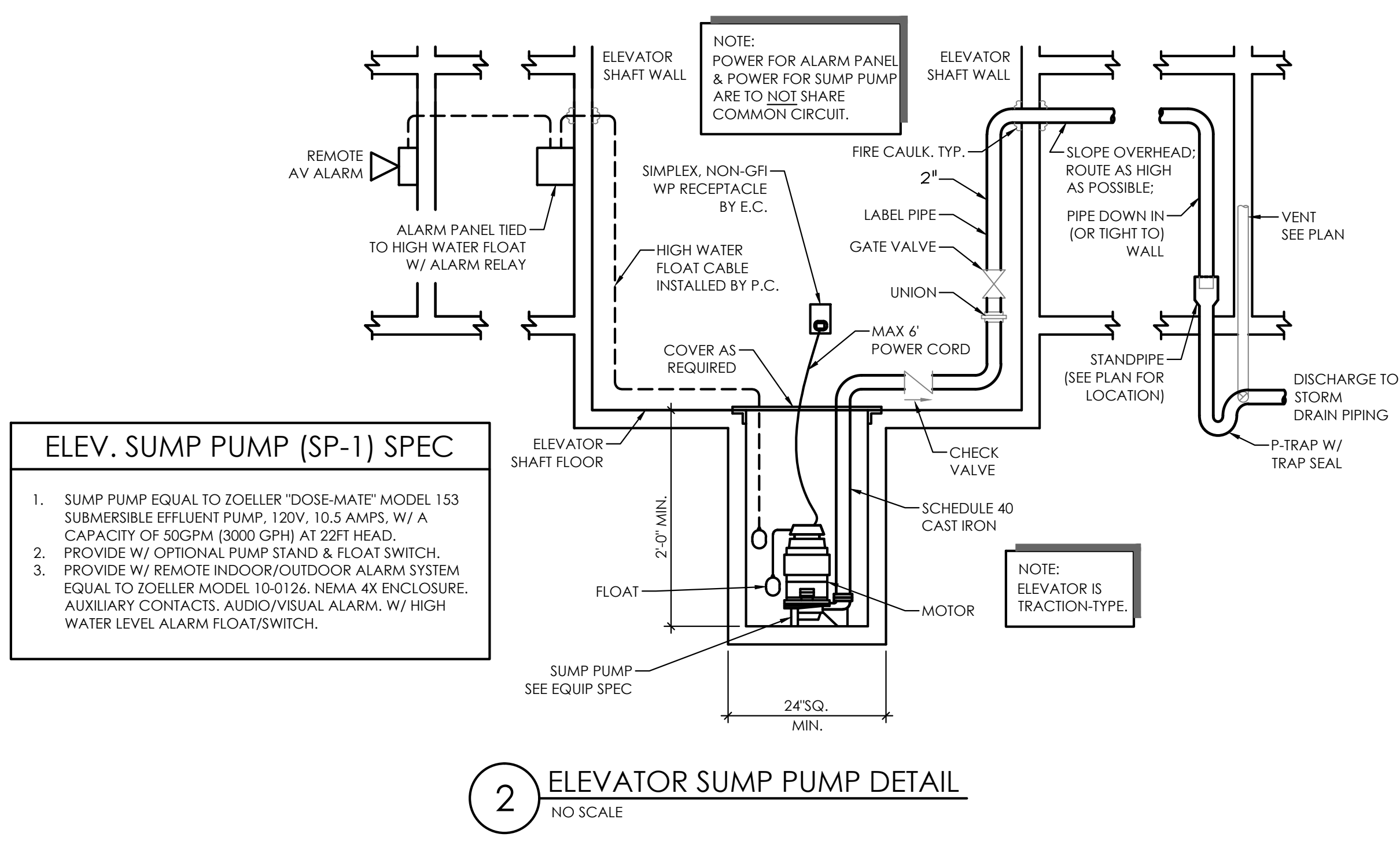
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SHEET TITLE: PLUMBING DETAILS

SHEET NUMBER:

P0.03

NOTE:
SEE PME SHEETS FOR U.L.
DETAILS.



NOTE:
FOOTING DETAILS ARE
GENERIC IN NATURE. ANY
UPDATES TO STRUCTURAL
ELEMENTS WILL IMPACT
PIPING INVERTS.

NOTE:
DO NOT INSTALL PIPING
BELOW 45° BEARING
PLANE OF FOOTING.

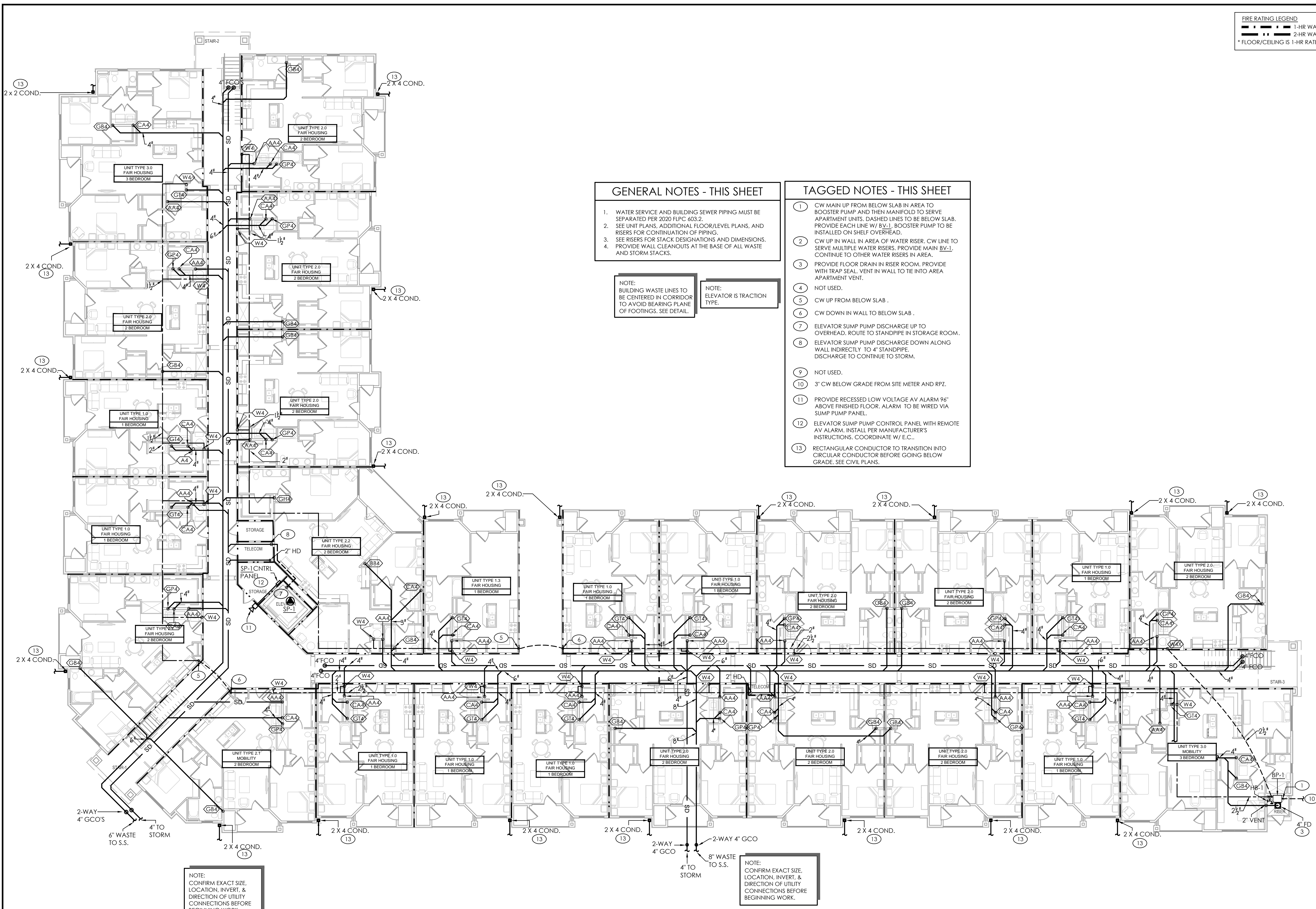
NOTE:
BUILDING WASTE LINES TO
BE CENTERED IN CORRIDOR
TO AVOID BEARING PLANE
OF FOOTINGS.

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	1-HR WALL
	2-HR WALL
	FLOOR/CEILING IS 1-HR RATED

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GENERAL NOTES - THIS SHEET

1. WATER SERVICE AND BUILDING SEWER PIPING MUST BE SEPARATED PER 2020 FPLC 603.2.
2. SEE UNIT PLANS, ADDITIONAL FLOOR/LEVEL PLANS, AND RISERS FOR CONTINUATION OF PIPING.
3. SEE RISERS FOR STACK DESIGNATIONS AND DIMENSIONS.
4. PROVIDE WALL CLEANOUTS AT THE BASE OF ALL WASTE AND STORM STACKS.

NOTE: BUILDING WASTE LINES TO BE CENTERED IN CORRIDOR TO AVOID BEARING PLANE OF FOOTINGS. SEE DETAIL.

NOTE: ELEVATOR IS TRACTION TYPE.

TAGGED NOTES - THIS SHEET

1. CW MAIN UP FROM BELOW SLAB IN AREA TO BOOSTER PUMP AND THEN MANIFOLD TO SERVE APARTMENT UNITS. DASHED LINES TO BE BELOW SLAB. PROVIDE EACH LINE W/ BV-1. BOOSTER PUMP TO BE INSTALLED ON SHELF OVERHEAD.
2. CW UP IN WALL IN AREA OF WATER RISER. CW LINE TO SERVE MULTIPLE WATER RISERS. PROVIDE MAIN BV-1. CONTINUE TO OTHER WATER RISERS IN AREA.
3. PROVIDE FLOOR DRAIN IN RISER ROOM. PROVIDE WITH TRAP SEAL. VENT IN WALL TO TIE INTO AREA APARTMENT VENT.
4. NOT USED.
5. CW UP FROM BELOW SLAB.
6. CW DOWN IN WALL TO BELOW SLAB.
7. ELEVATOR SUMP PUMP DISCHARGE UP TO OVERHEAD. ROUTE TO STANDPIPE IN STORAGE ROOM.
8. ELEVATOR SUMP PUMP DISCHARGE DOWN ALONG WALL INDIRECTLY TO 4" STANDPIPE. DISCHARGE TO CONTINUE TO STORM.
9. NOT USED.
10. 3" CW BELOW GRADE FROM SITE METER AND RPZ.
11. PROVIDE RECESSED LOW VOLTAGE AV ALARM 96" ABOVE FINISHED FLOOR. ALARM TO BE WIRED VIA SUMP PUMP PANEL.
12. ELEVATOR SUMP PUMP CONTROL PANEL WITH REMOTE AV ALARM. INSTALL PER MANUFACTURER'S INSTRUCTIONS. COORDINATE W/ E.C..
13. RECTANGULAR CONDUCTOR TO TRANSITION INTO CIRCULAR CONDUCTOR BEFORE GOING BELOW GRADE. SEE CIVIL PLANS.

NOTE: CONFIRM EXACT SIZE, LOCATION, INVERT, & DIRECTION OF UTILITY CONNECTIONS BEFORE BEGINNING WORK.

NOTE: CONFIRM EXACT SIZE, LOCATION, INVERT, & DIRECTION OF UTILITY CONNECTIONS BEFORE BEGINNING WORK.

1 PLUMBING BUILDING TYPE 1 - FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"

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Zimmer Development Company
Fort Meyers, Florida
PERMIT SET

708 ST. HARRIS ST.
RALEIGH, NC 27605 LIC.#: P-0099
P-01241-0247 F-019-000-0197
PLUMBING MECHANICAL ELECTRICAL

PROGRESS DATE:	10/15/21			
ISSUE DATE:	11/24/21			
REVISIONS NUMBER	DATE INITIALS DESCRIPTION			

PROJECT NO: 010819
DRAWN BY: JJI
CHECKED BY: ZLT
SHEET TITLE: PLUMBING BUILDING TYPE 1 - FIRST FLOOR PLAN
SHEET NUMBER:

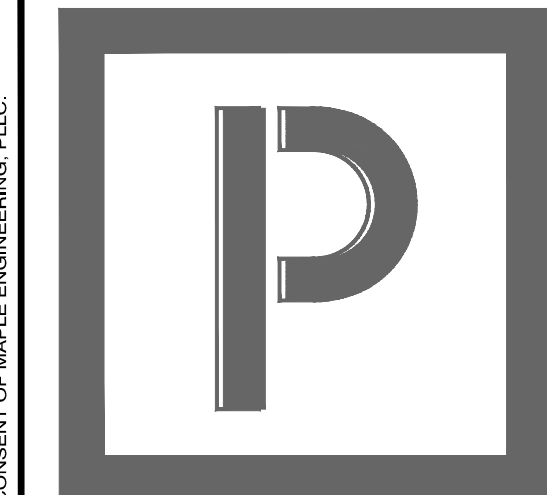
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FIRE RATING LEGEND

(Symbol)	1-HR WALL
(Symbol)	2-HR WALL
(Symbol)	FLOOR/CEILING IS 1-HR RATED



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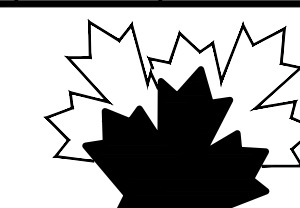
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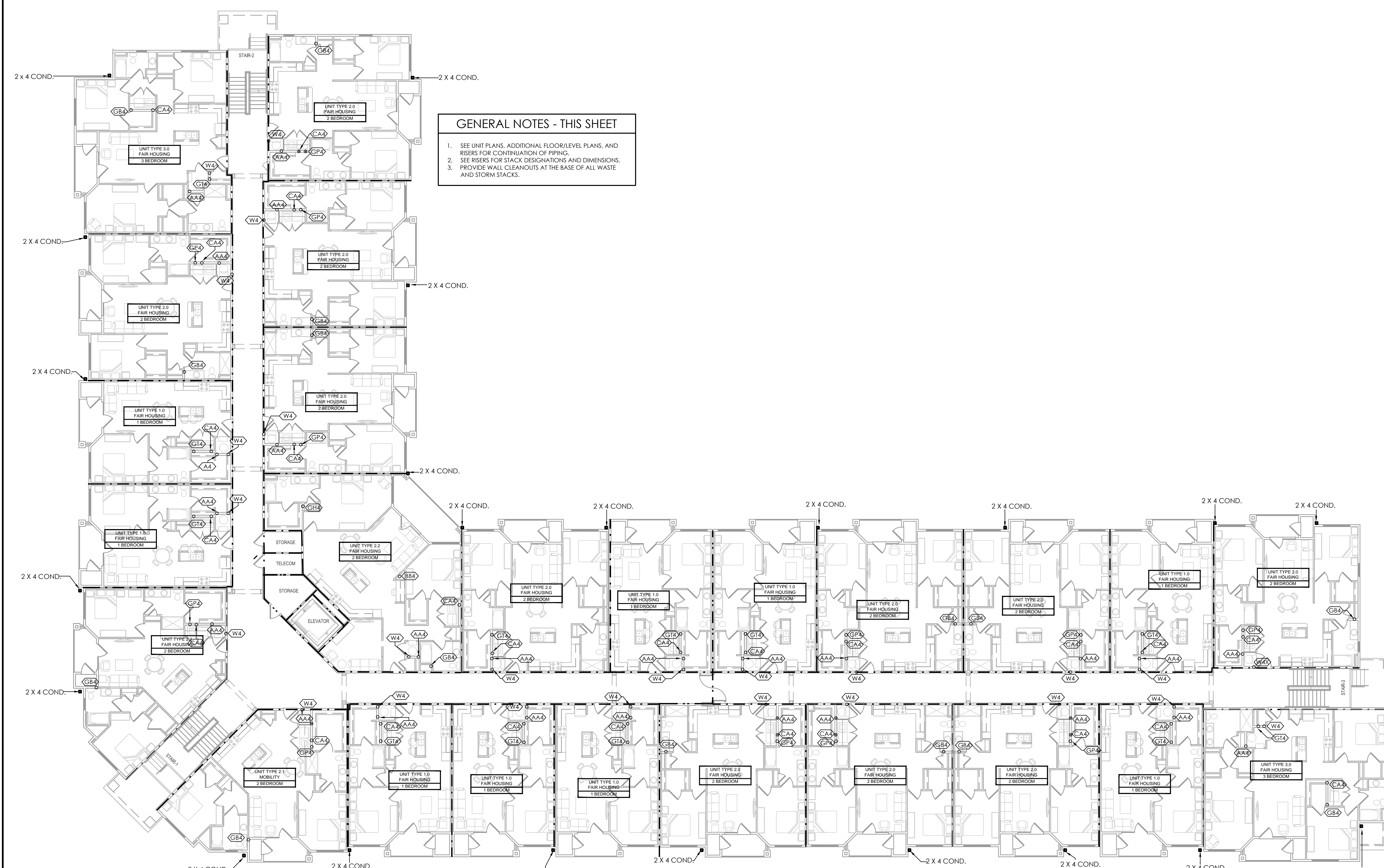


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GENERAL NOTES - THIS SHEET

1. SEE UNIT PLANS, ADDITIONAL FLOOR/LEVEL PLANS, AND RISERS FOR CONTINUATION OF PIPING.
2. SEE RISERS FOR STACK DESIGNATIONS AND DIMENSIONS.
3. PROVIDE WALL CLEANOUTS AT THE BASE OF ALL WASTE AND STORM STACKS.



1 PLUMBING BUILDING TYPE 1 - 2ND FLOOR PLAN
SCALE: 3/32" = 1'-0"

11/24/2021 11:45 AM
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PROGRESS DATE:	10/15/21
ISSUE DATE:	11/24/21
REVISIONS NUMBER	
DATE	
INITIALS	
DESCRIPTION	
PROJECT NO:	010819
DRAWN BY:	JUL
CHECKED BY:	ZLT
SHEET TITLE:	PLUMBING BUILDING TYPE 1 - 2ND FLOOR PLAN
SHEET NUMBER:	P1.11

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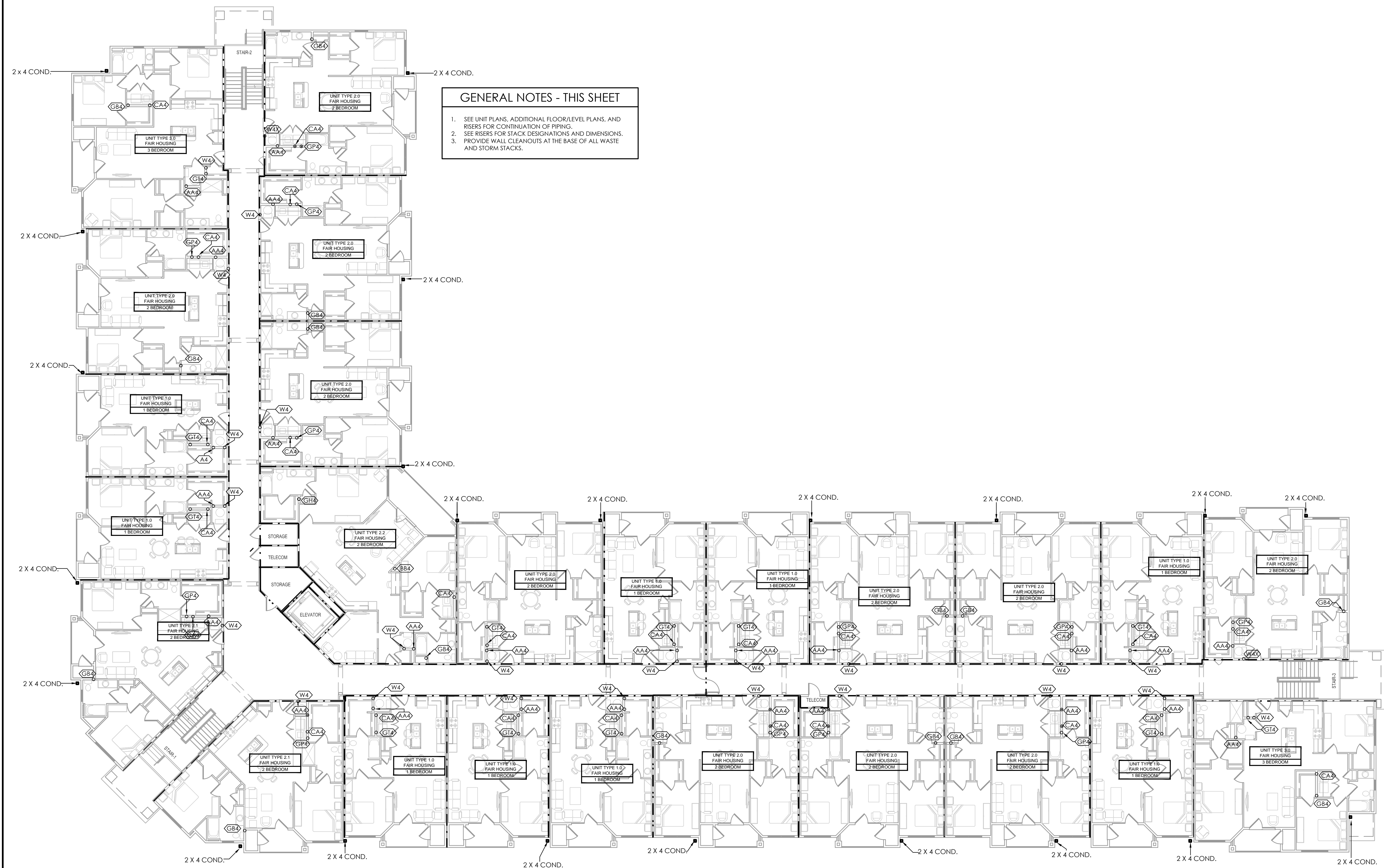
FIRE RATING LEGEND	
	1-HR WALL
	2-HR WALL
	* FLOOR/CEILING IS 1-HR RATED

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GENERAL NOTES - THIS SHEET

- SEE UNIT PLANS, ADDITIONAL FLOOR/LEVEL PLANS, AND RISERS FOR CONTINUATION OF PIPING.
- SEE RISERS FOR STACK DESIGNATIONS AND DIMENSIONS.
- PROVIDE WALL CLEANOUTS AT THE BASE OF ALL WASTE AND STORM STACKS.



1 PLUMBING BUILDING TYPE 1 - THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"

Inspiration at Southpoint Apartments
Zimmer Development Company
Fort Meyers, Florida
PERMIT SET

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RALEIGH, NC 27605 LIC.# P-0999
P.O. BOX 14847 F3191800-3797
PLUMBING MECHANICAL ELECTRICAL

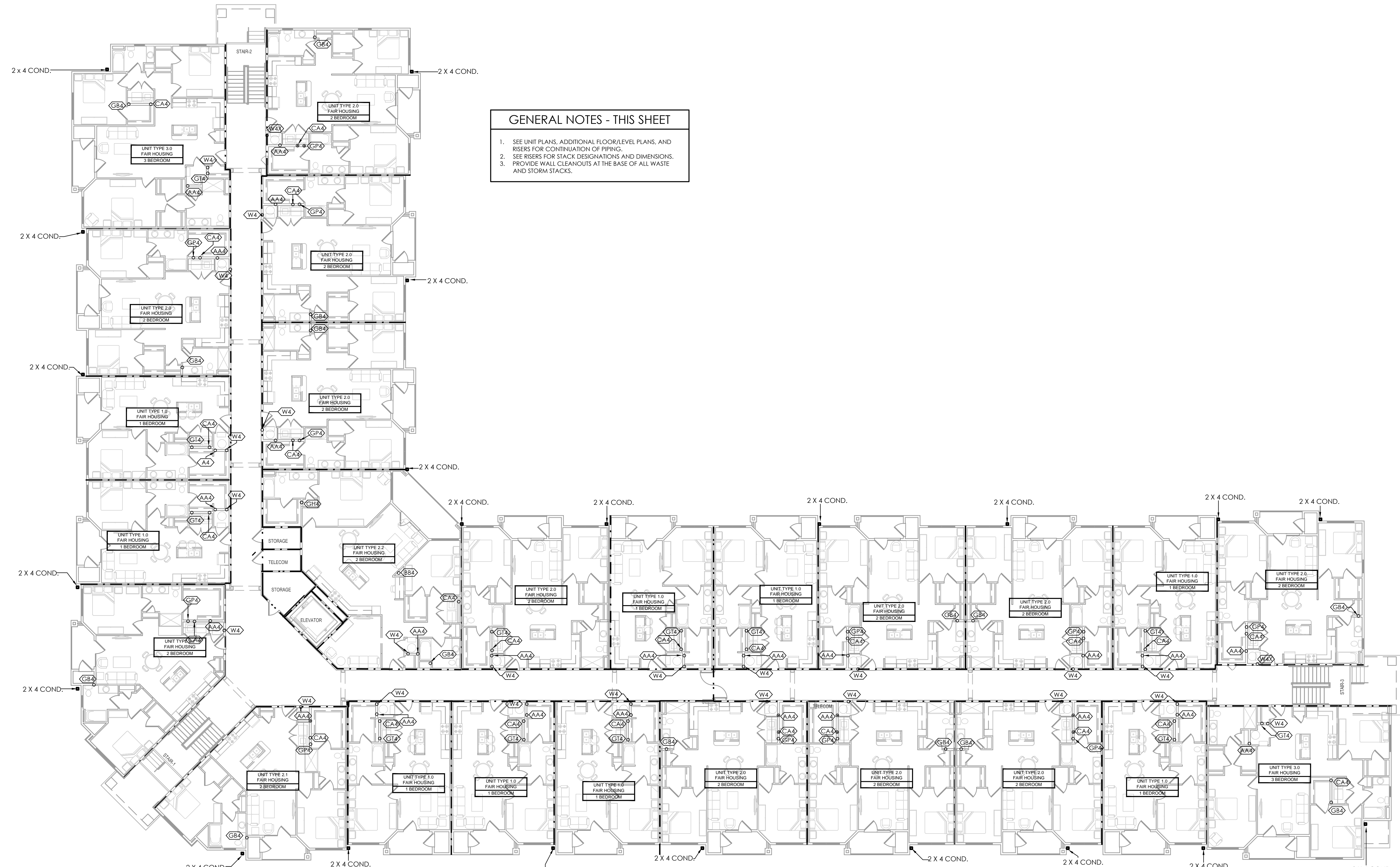
PROGRESS DATE:	10/15/21
ISSUE DATE:	11/24/21
REVISIONS NUMBER	DATE INITIALS DESCRIPTION
PROJECT NO:	010819
DRAWN BY:	JJI
CHECKED BY:	ZLT
SHEET TITLE:	PLUMBING BUILDING TYPE 1 - THIRD FLOOR PLAN
SHEET NUMBER:	P1.12

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FIRE RATING LEGEND	
	1-HR WALL
	2-HR WALL
* FLOOR/CEILING IS 1-HR RATED	

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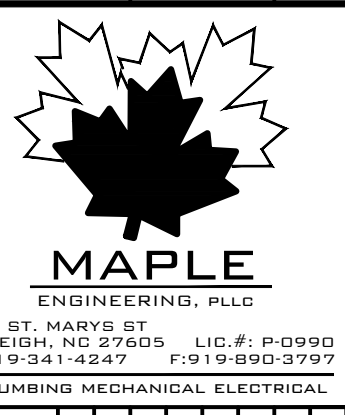


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- SEE RISERS FOR STACK DESIGNATIONS AND DIMENSIONS.
- PROVIDE WALL CLEANOUTS AT THE BASE OF ALL WASTE AND STORM STACKS.

1 PLUMBING BUILDING TYPE 1 - FOURTH FLOOR PLAN
SCALE: 3/32" = 1'-0"

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SHEET TITLE:	PLUMBING BUILDING TYPE 1 - 4TH FLOOR PLAN
SHEET NUMBER:	

P1.13

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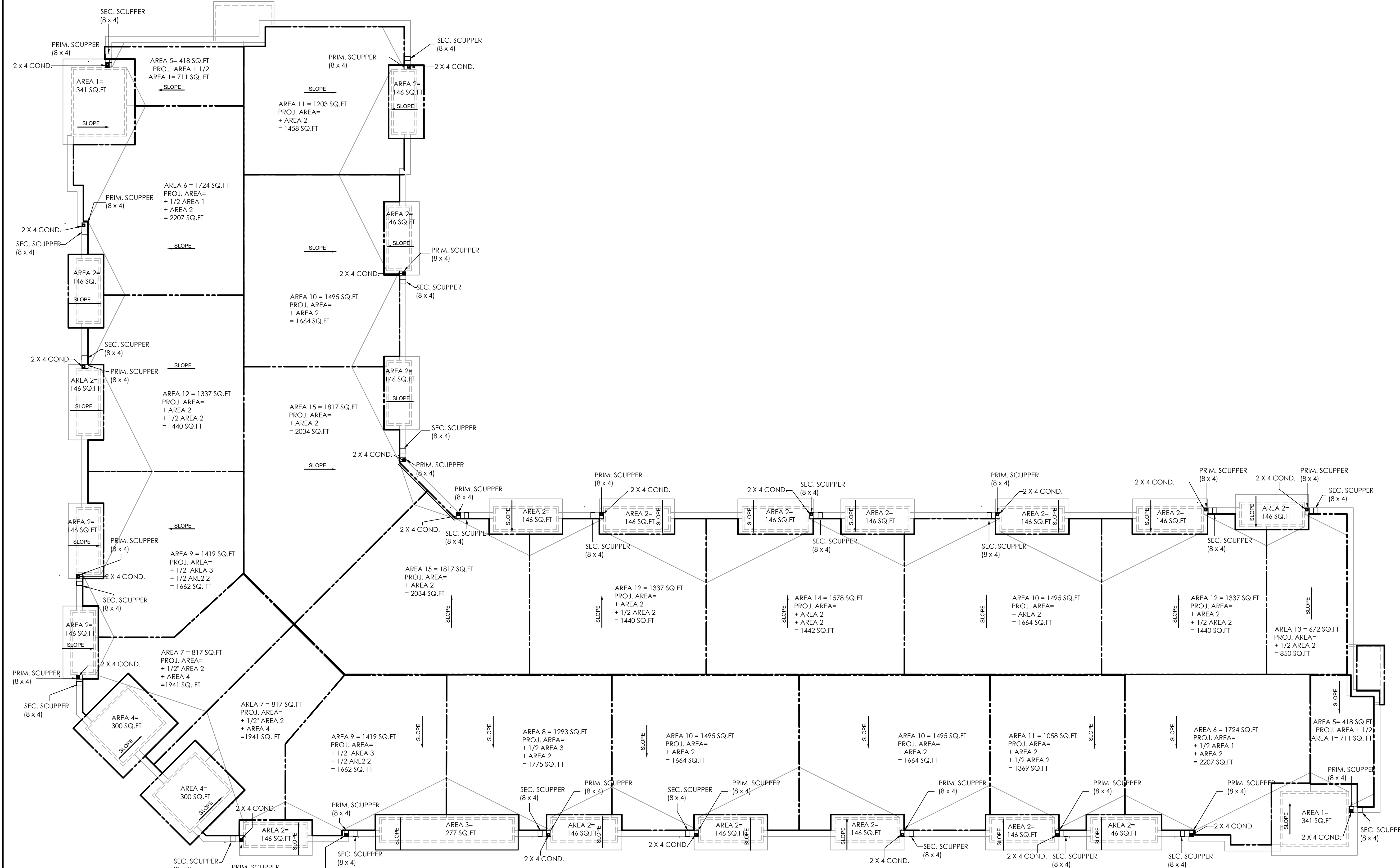
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FIRE RATING LEGEND	
	1-HR WALL
	2-HR WALL
	FLOOR/CEILING IS 1-HR RATED



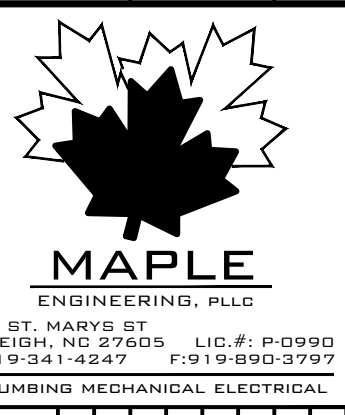
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1 PLUMBING BUILDING TYPE 1 - ROOF PLAN
SCALE: 3/32" = 1'-0"

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SHEET NUMBER:	

P1.14

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RECTANGULAR CONDUCTORS (VERT.)

DIMENSIONS (IN)	CAPACITY (GPM) RAINFALL RATE = 4.5 IN/HR
2	30
2x2	30
1-1/2 x 2-1/2	30
2-1/2	54
2-1/2 x 2-1/2	54
2-1/2 x 3	92
2 x 4	92
3 x 4-1/4	192
3-1/2 x 4	192

BASED UPON CHAPTER 11 OF THE 2020 FL PLUMBING CODE.

SCUPPER CALCs (AREA 15)

BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	1817
PARAPET 1 (OR SIMILAR) LENGTH (FT)	17.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	18.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	1888
PROJ AREA + UPPER ROOF AREA (SQFT)	2034
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	88
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	88
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	3

SCUPPER CALCs (AREA 14)

BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	1578
PARAPET 1 (OR SIMILAR) LENGTH (FT)	14.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	43.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	1707
PROJ AREA + UPPER ROOF AREA (SQFT)	1780
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	80
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	80
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	3

SCUPPER CALCs (AREA 13)

BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	672
PARAPET 1 (OR SIMILAR) LENGTH (FT)	47.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	14.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	778
PROJ AREA + UPPER ROOF AREA (SQFT)	850
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	36
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	36
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	2

SCUPPER CALCs (AREA 12)

BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	1337
PARAPET 1 (OR SIMILAR) LENGTH (FT)	7.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	37.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	1440
PROJ AREA + UPPER ROOF AREA (SQFT)	1659
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	67
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	67
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	3

SCUPPER CALCs (AREA 11)

BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	1058
PARAPET 1 (OR SIMILAR) LENGTH (FT)	6.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	33.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	1150
PROJ AREA + UPPER ROOF AREA (SQFT)	1442
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	54
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	54
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	2

SCUPPER CALCs (AREA 10)

BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	1268
PARAPET 1 (OR SIMILAR) LENGTH (FT)	34.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	21.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	1372
PROJ AREA + UPPER ROOF AREA (SQFT)	1664
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	64
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	64
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	2

SCUPPER CALCs (AREA 9)

BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	1419
PARAPET 1 (OR SIMILAR) LENGTH (FT)	16.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	29.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	1516
PROJ AREA + UPPER ROOF AREA (SQFT)	1662
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	71
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	71
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	3

SCUPPER CALCs (AREA 8)

BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	1293
PARAPET 1 (OR SIMILAR) LENGTH (FT)	6.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	40.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	1402
PROJ AREA + UPPER ROOF AREA (SQFT)	1775
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	66
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	66
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	3

SCUPPER CALCs (AREA 7)

BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	1419
PARAPET 1 (OR SIMILAR) LENGTH (FT)	9.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	54.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	1568
PROJ AREA + UPPER ROOF AREA (SQFT)	1941
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	73
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	73
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	3

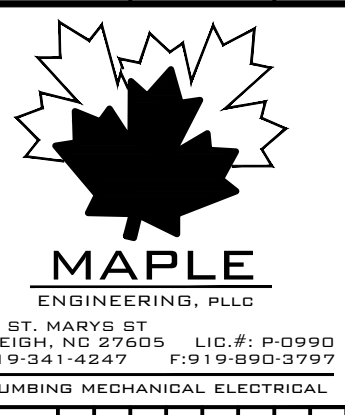
SCUPPER CALCs (AREA 6)

BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	1724
PARAPET 1 (OR SIMILAR) LENGTH (FT)	24.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	52.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	1890
PROJ AREA + UPPER ROOF AREA (SQFT)	2207
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	88
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	88
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	3

SCUPPER CALCs (AREA 5)

BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	418
PARAPET 1 (OR SIMILAR) LENGTH (FT)	35.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	28.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	541
PROJ AREA + UPPER ROOF AREA (SQFT)	711
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	25
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	25
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	3

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PROJECT NO:	010819
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SHEET TITLE:	PLUMBING ROOF CALCs - BUILDING TYPE 1
SHEET NUMBER:	P1.15

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	1-HR WALL
	2-HR WALL
	FLOOR/CEILING IS 1-HR RATED

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GENERAL NOTES - THIS SHEET

1. WATER SERVICE AND BUILDING SEWER PIPING MUST BE SEPARATED PER 2020 FLPC 603.2.
2. SEE UNIT PLANS, ADDITIONAL FLOOR/LEVEL PLANS, AND RISERS FOR CONTINUATION OF PIPING.
3. SEE RISERS FOR STACK DESIGNATIONS AND DIMENSIONS.
4. PROVIDE WALL CLEANOUTS AT THE BASE OF ALL WASTE AND STORM STACKS.

TAGGED NOTES - THIS SHEET

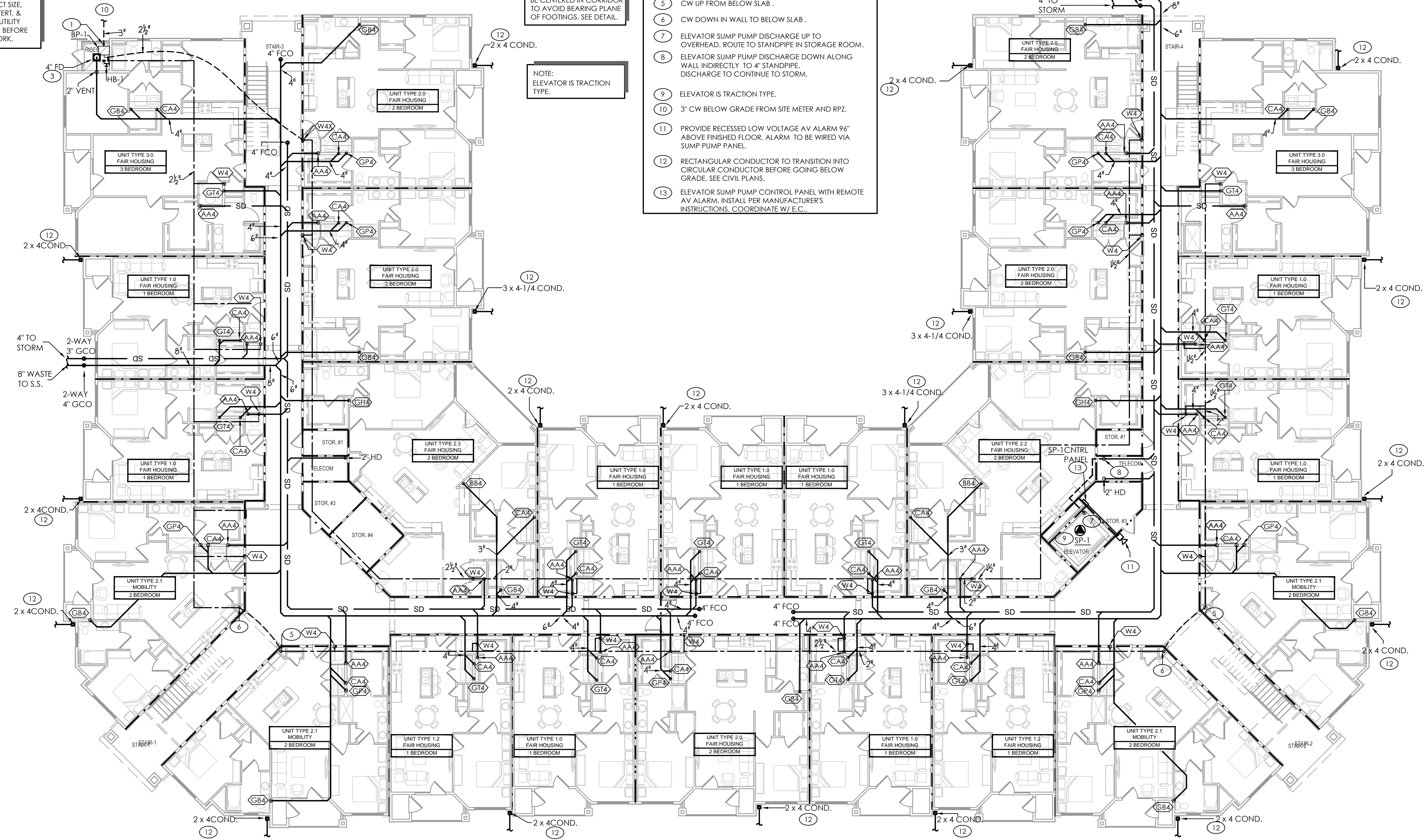
1. CW MAIN UP FROM BELOW SLAB IN AREA TO BOOSTER PUMP AND THEN MANIFOLD TO SERVE APARTMENT UNITS. DASHED LINES TO BE BELOW SLAB. PROVIDE EACH LINE W/ BV-1. BOOSTER PUMP TO BE INSTALLED ON SHELF OVERHEAD.
2. CW UP IN WALL IN AREA OF WATER RISER. CW LINE TO SERVE MULTIPLE WATER RISERS. PROVIDE MAIN BV-1. CONTINUE TO OTHER WATER RISERS IN AREA.
3. PROVIDE FLOOR DRAIN IN RISER ROOM. PROVIDE WITH TRAP SEAL. VENT IN WALL TO TIE INTO AREA APARTMENT VENT.
4. NOT USED.
5. CW UP FROM BELOW SLAB.
6. CW DOWN IN WALL TO BELOW SLAB.
7. ELEVATOR SUMP PUMP DISCHARGE UP TO OVERHEAD. ROUTE TO STANDPIPE IN STORAGE ROOM.
8. ELEVATOR SUMP PUMP DISCHARGE DOWN ALONG WALL INDIRECTLY TO 4" STANDPIPE. DISCHARGE TO CONTINUE TO STORM.
9. ELEVATOR IS TRACTION TYPE.
10. 3" CW BELOW GRADE FROM SITE METER AND RPZ.
11. PROVIDE RECESSED LOW VOLTAGE AV ALARM 96" ABOVE FINISHED FLOOR. ALARM TO BE WIRED VIA SUMP PUMP PANEL.
12. RECTANGULAR CONDUCTOR TO TRANSITION INTO CIRCULAR CONDUCTOR BEFORE GOING BELOW GRADE. SEE CIVIL PLANS.
13. ELEVATOR SUMP PUMP CONTROL PANEL WITH REMOTE AV ALARM. INSTALL PER MANUFACTURER'S INSTRUCTIONS. COORDINATE W/ E.C..

NOTE: CONFIRM EXACT SIZE, LOCATION, INVERT, & DIRECTION OF UTILITY CONNECTIONS BEFORE BEGINNING WORK.

NOTE: CONFIRM EXACT SIZE, LOCATION, INVERT, & DIRECTION OF UTILITY CONNECTIONS BEFORE BEGINNING WORK.

NOTE: BUILDING WASTE LINES TO BE CENTERED IN CORRIDOR TO AVOID BEARING PLANE OF FOOTINGS. SEE DETAIL.

NOTE: ELEVATOR IS TRACTION TYPE.



1 PLUMBING BUILDING TYPE 2 - FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"

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SHEET TITLE:	PLUMBING BUILDING TYPE 2 - FIRST FLOOR PLAN
SHEET NUMBER:	P1.20

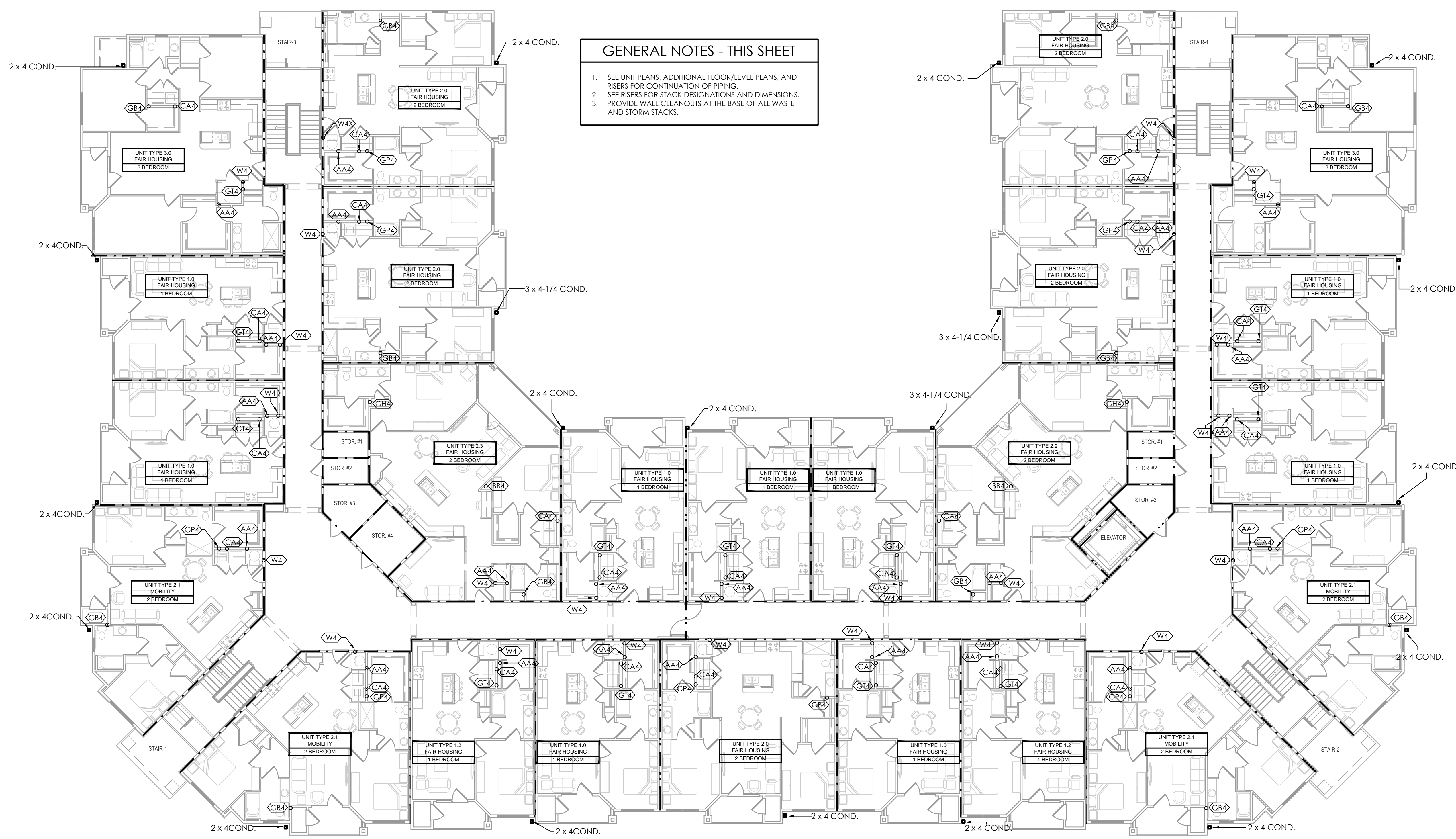
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FIRE RATING LEGEND	
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*---	* FLOOR/CEILING IS 1-HR RATED



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1 PLUMBING BUILDING TYPE 2 - SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

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REVISIONS NUMBER	DATE INITIALS DESCRIPTION
PROJECT NO:	010819
DRAWN BY:	JJI
CHECKED BY:	ZLT
SHEET TITLE:	PLUMBING BUILDING TYPE 2 - 2ND FLOOR PLAN
SHEET NUMBER:	P1.21

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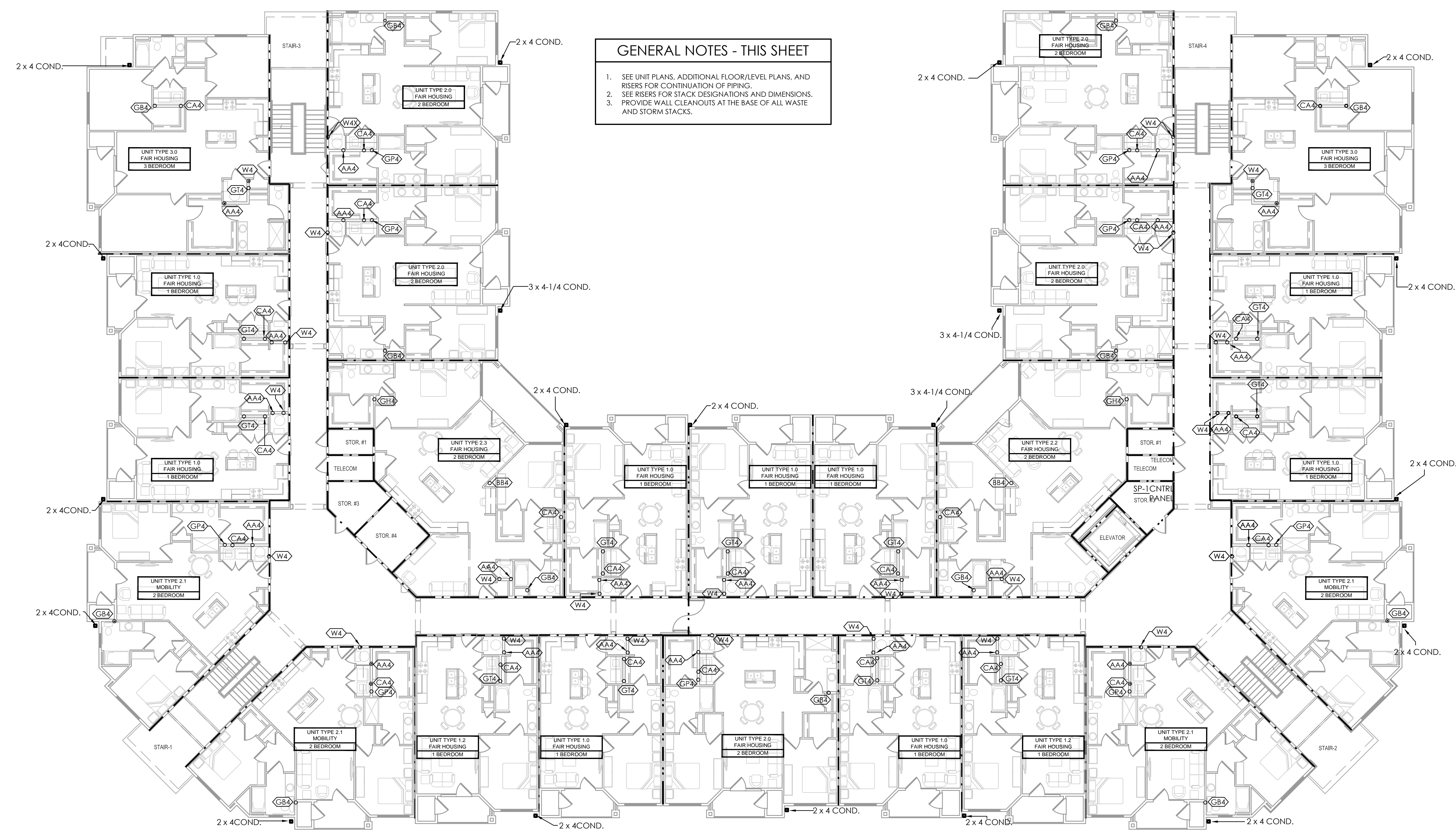
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	1-HR WALL
	2-HR WALL
	* FLOOR/CEILING IS 1-HR RATED

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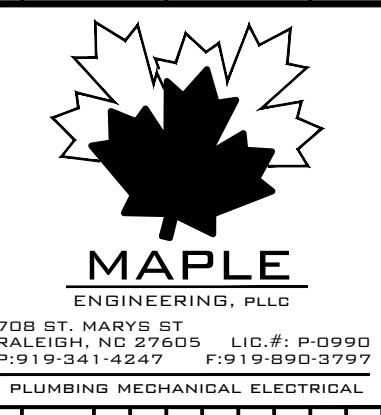


GENERAL NOTES - THIS SHEET

- SEE UNIT PLANS, ADDITIONAL FLOOR/LEVEL PLANS, AND RISERS FOR CONTINUATION OF PIPING.
- SEE RISERS FOR STACK DESIGNATIONS AND DIMENSIONS.
- PROVIDE WALL CLEANOUTS AT THE BASE OF ALL WASTE AND STORM STACKS.

1 PLUMBING BUILDING TYPE 2 - THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"

Inspiration at Southpoint Apartments
Zimmer Development Company
Fort Meyers, Florida
PERMIT SET



PROGRESS DATE:	10/15/21
ISSUE DATE:	11/24/21
REVISIONS NUMBER	DATE DESCRIPTION
PROJECT NO:	010819
DRAWN BY:	JJI
CHECKED BY:	ZLT
SHEET TITLE:	PLUMBING BUILDING TYPE 2 - THIRD FLOOR PLAN
SHEET NUMBER:	P1.22

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	1-HR WALL
	2-HR WALL
	FLOOR/CEILING IS 1-HR RATED

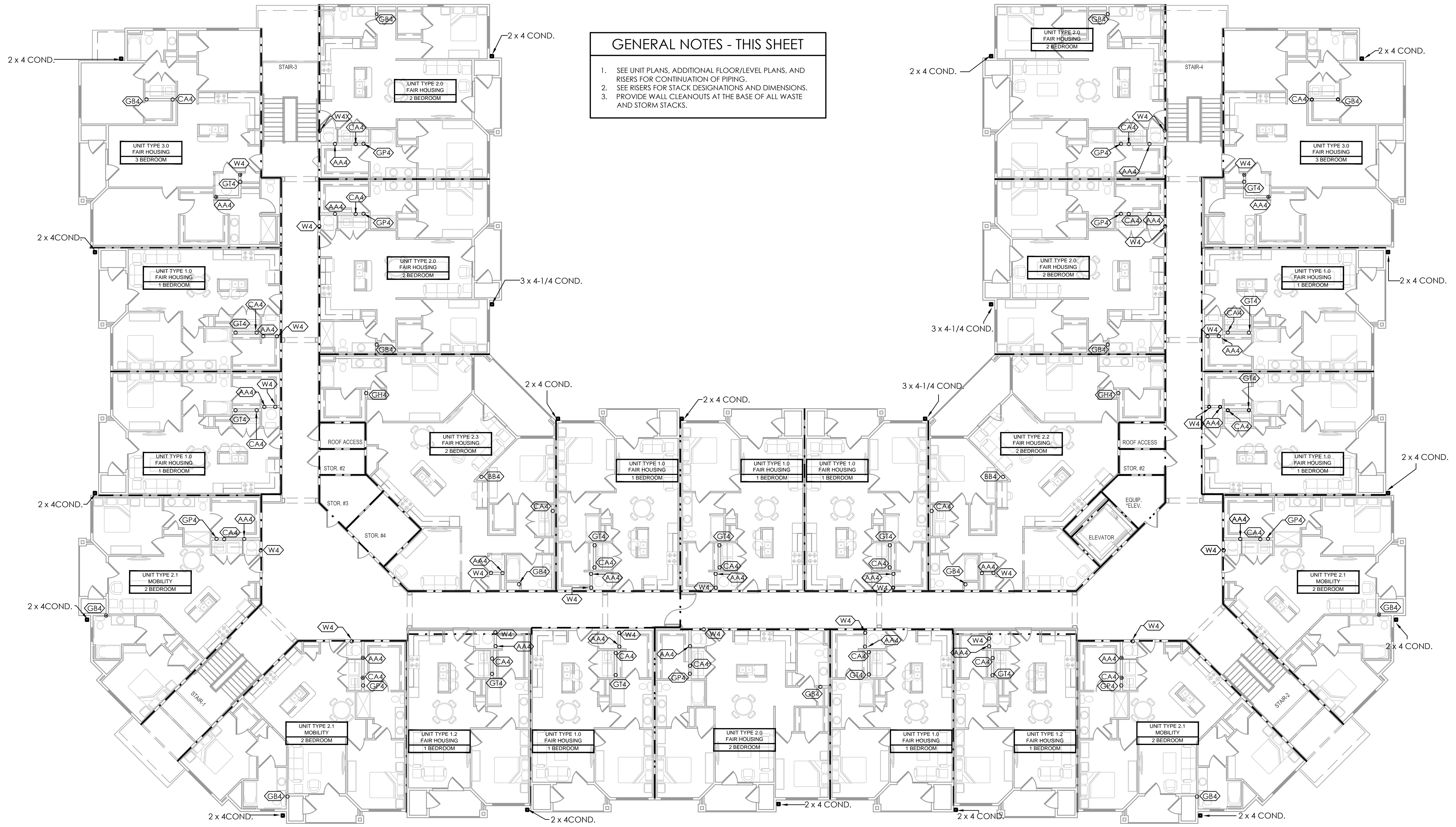


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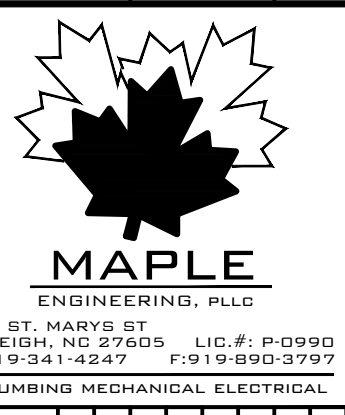
GENERAL NOTES - THIS SHEET

- SEE UNIT PLANS, ADDITIONAL FLOOR/LEVEL PLANS, AND RISERS FOR CONTINUATION OF PIPING.
- SEE RISERS FOR STACK DESIGNATIONS AND DIMENSIONS.
- PROVIDE WALL CLEANOUTS AT THE BASE OF ALL WASTE AND STORM STACKS.



1 PLUMBING BUILDING TYPE 2 - FOURTH FLOOR PLAN
SCALE: 3/32" = 1'-0"

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Zimmer Development Company
Fort Meyers, Florida
PERMIT SET



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708 ST. MARKS ST.
RALEIGH, NC 27605 LIG.#: P-0090
P-01241-0047 F-019-000-0107
PLUMBING MECHANICAL ELECTRICAL

PROGRESS DATE:	10/15/21
ISSUE DATE:	11/24/21
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DATE	
INITIALS	
DESCRIPTION	

PROJECT NO:	010819
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SHEET TITLE:	PLUMBING BUILDING TYPE 2 - 4TH FLOOR PLAN
SHEET NUMBER:	

P1.23

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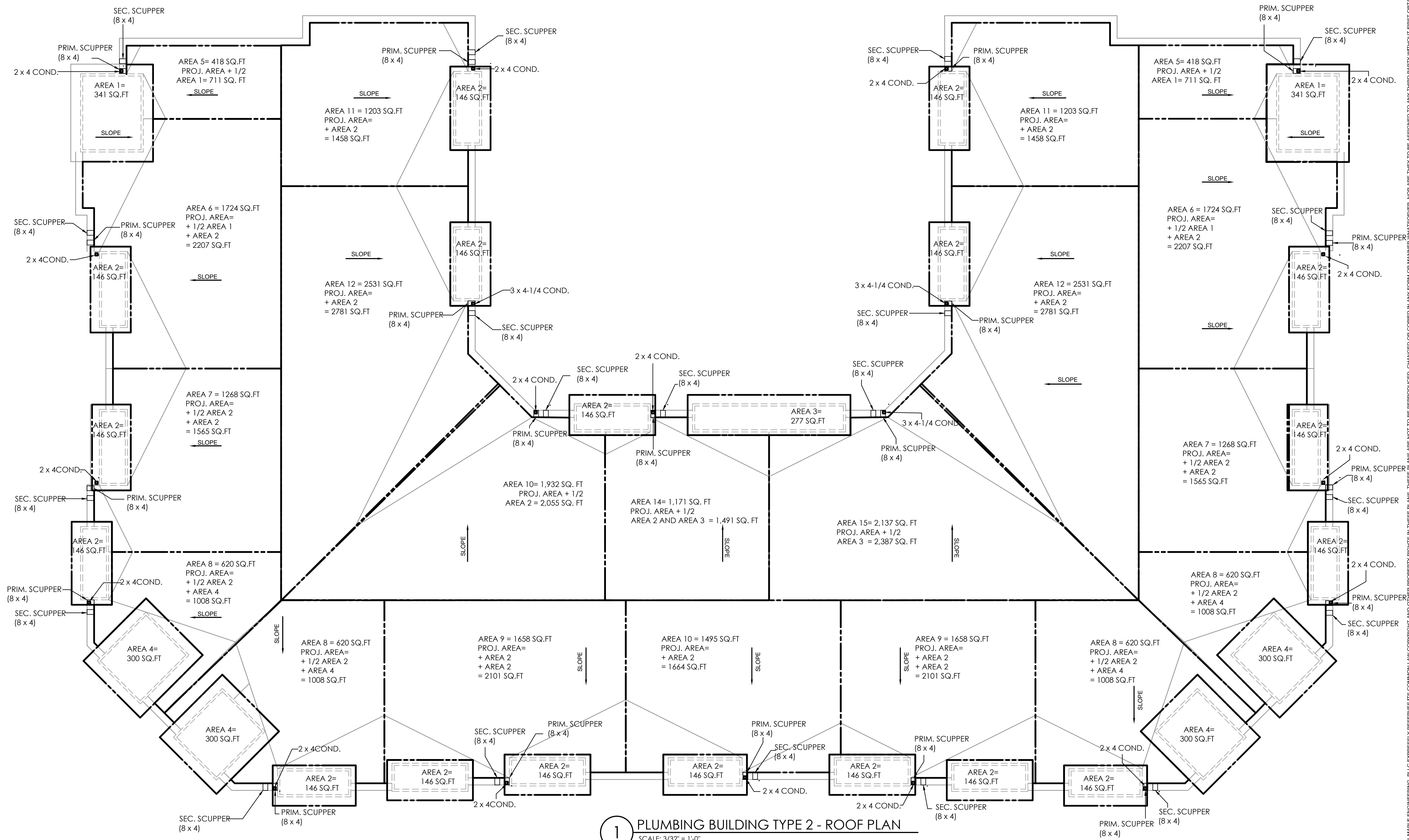
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FIRE RATING LEGEND	
	1-HR WALL
	2-HR WALL
	FLOOR/CEILING IS 1-HR RATED

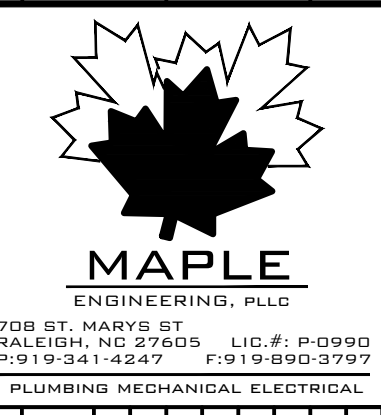
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1 PLUMBING BUILDING TYPE 2 - ROOF PLAN
SCALE: 3/32" = 1'-0"

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Fort Meyers, Florida
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INITIALS	
DESCRIPTION	
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CHECKED BY:	ZLT
SHEET TITLE:	PLUMBING BUILDING TYPE 2 - ROOF PLAN
SHEET NUMBER:	P1.24

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RECTANGULAR CONDUCTORS (VERT.)	
DIMENSIONS (IN)	CAPACITY (GPM) RAINFALL RATE = 4.5 IN/HR
2	30
2x2	30
1-1/2 x 2-1/2	30
2-1/2	54
2-1/2 x 2-1/2	54
2-1/2 x 3	92
2 x 4	92
3 x 4-1/4	192
3-1/2 x 4	192

BASED UPON CHAPTER 11 OF THE 2020 FL PLUMBING CODE.

SCUPPER CALCs (AREA 15)	
BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	2137
PARAPET 1 (OR SIMILAR) LENGTH (FT)	16.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	29.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	6.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	2248
PROJ AREA + UPPER ROOF AREA (SQFT)	2387
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	105
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	105
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	3

SCUPPER CALCs (AREA 14)	
BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	1171
PARAPET 1 (OR SIMILAR) LENGTH (FT)	6.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	33.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	6.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	1279
PROJ AREA + UPPER ROOF AREA (SQFT)	1491
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	60
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	60
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	2

SCUPPER CALCs (AREA 13)	
BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	1932
PARAPET 1 (OR SIMILAR) LENGTH (FT)	19.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	12.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	6.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	1997
PROJ AREA + UPPER ROOF AREA (SQFT)	2070
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	93
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	93
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	3

SCUPPER CALCs (AREA 12)	
BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	2531
PARAPET 1 (OR SIMILAR) LENGTH (FT)	26.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	26.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	2635
PROJ AREA + UPPER ROOF AREA (SQFT)	2781
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	123
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	123
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	2

SCUPPER CALCs (AREA 11)	
BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	1203
PARAPET 1 (OR SIMILAR) LENGTH (FT)	16.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	34.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	1312
PROJ AREA + UPPER ROOF AREA (SQFT)	1458
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	61
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	61
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	2

SCUPPER CALCs (AREA 10)	
BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	1268
PARAPET 1 (OR SIMILAR) LENGTH (FT)	34.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	21.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	1372
PROJ AREA + UPPER ROOF AREA (SQFT)	1664
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	64
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	64
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	2

SCUPPER CALCs (AREA 9)	
BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	1658
PARAPET 1 (OR SIMILAR) LENGTH (FT)	14.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	52.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	1809
PROJ AREA + UPPER ROOF AREA (SQFT)	2101
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	85
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	85
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	3

SCUPPER CALCs (AREA 8)	
BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	620
PARAPET 1 (OR SIMILAR) LENGTH (FT)	11.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	61.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	789
PROJ AREA + UPPER ROOF AREA (SQFT)	1008
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	37
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	37
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	2

SCUPPER CALCs (AREA 7)	
BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	1268
PARAPET 1 (OR SIMILAR) LENGTH (FT)	12.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	24.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	1346
PROJ AREA + UPPER ROOF AREA (SQFT)	1565
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	63
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	63
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	2

SCUPPER CALCs (AREA 6)	
BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	1724
PARAPET 1 (OR SIMILAR) LENGTH (FT)	24.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	52.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	1890
PROJ AREA + UPPER ROOF AREA (SQFT)	2207
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	88
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	88
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	3

SCUPPER CALCs (AREA 5)	
BASED ON 2020 FLPC SEC 1106	
ROOF AREA (SQFT)	418
PARAPET 1 (OR SIMILAR) LENGTH (FT)	35.0
PARAPET 1 (OR SIMILAR) HEIGHT (FT)	3.0
PARAPET 2 (OR SIMILAR) LENGTH (FT)	28.0
PARAPET 2 (OR SIMILAR) HEIGHT (FT)	5.0
ROOF AREA + 1/2 VERT. AREAS (SQFT)	541
PROJ AREA + UPPER ROOF AREA (SQFT)	711
60 MIN. RAINFALL RATE (IN/HR)	4.5
60 MIN. RAINFALL RATE (GPM)	25
# OF SCUPPERS	1
REQ'D GPM PER SCUPPER	25
SCUPPER DIMENSIONS (WxH, IN)	8 x 4
SELECTED HEAD (IN)	2

Inspiration at Southpoint Apartments
Zimmer Development Company
Fort Meyers, Florida
PERMIT SET



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ENGINEERING, PLLC
708 ST. MARKS ST
RALEIGH, NC 27605 LIC.# P-0090
P.O. BOX 241-4847 F319-850-3797
PLUMBING MECHANICAL ELECTRICAL

PROGRESS DATE:	10/15/21
ISSUE DATE:	11/24/21
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SHEET TITLE:	PLUMBING ROOF CALCs - BUILDING TYPE 2
SHEET NUMBER:	P1.25

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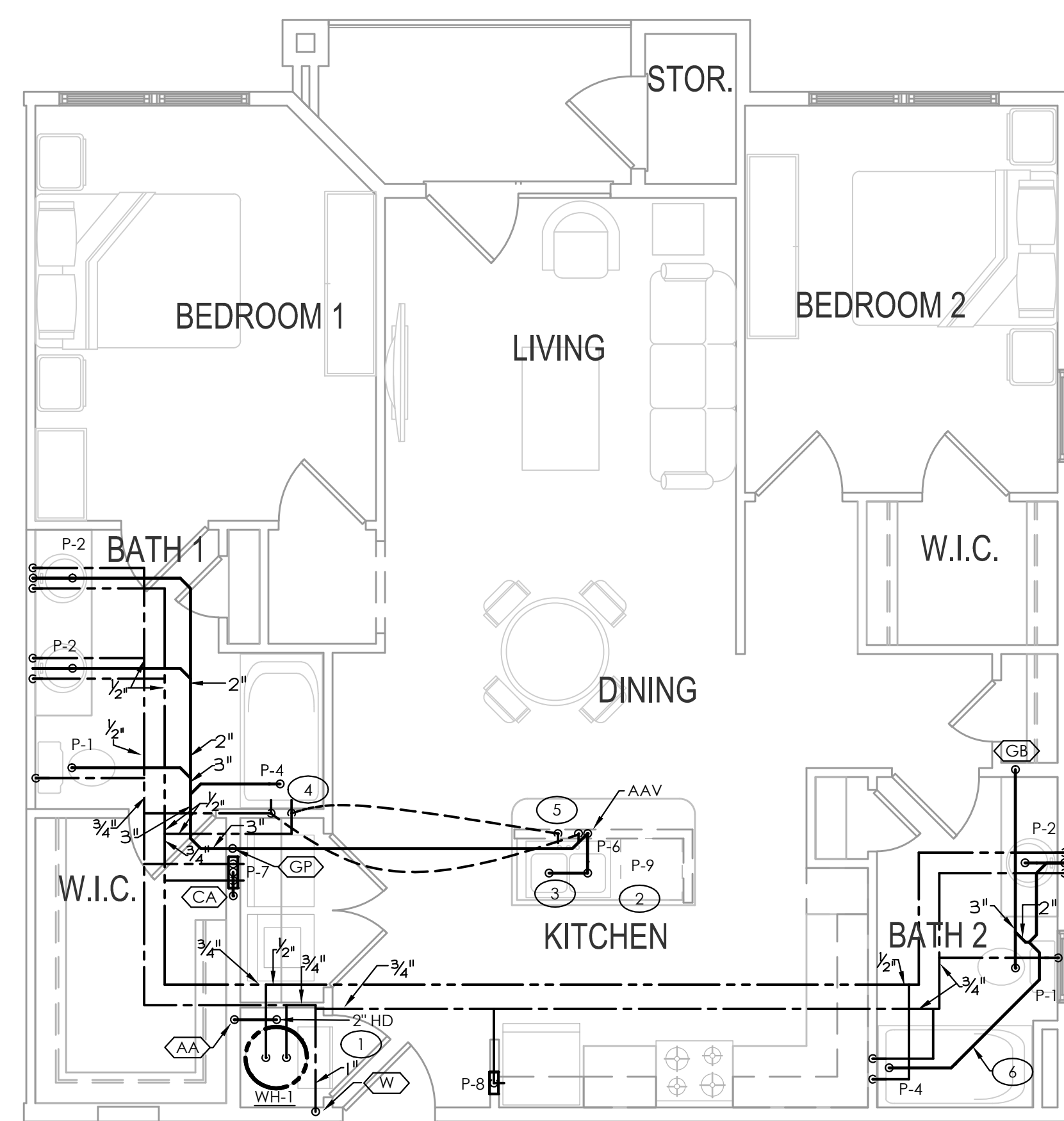
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- GENERAL NOTES - THIS SHEET**
- SEE OVERALL BUILDING PLANS FOR ROUTING OF MAIN WATER & SEWER PIPING.
 - SEE BUILDING PLANS & RISER SHEETS FOR CONTINUATIONS OF RISER TAGS & ADDITIONAL INFORMATION.
 - SEE RISERS FOR STACK DESIGNATIONS & DIMENSIONS.
 - WATER PIPING IS NOT TO BE SHARED BETWEEN UNITS.
 - SEE BUILDING PLANS FOR RATED WALL & FLOOR INFORMATION.
 - P.C. TO ENSURE SHUT-OFF VALVES IN MECHANICAL CLOSETS WILL BE ACCESSIBLE ONCE AIR HANDLER IS INSTALLED.
 - P.C. TO ENSURE WASTE/VENT/WATER STACK LOCATIONS DO NOT INTERFERE W/ MECHANICAL DUCTWORK.
 - P.C. TO VERIFY TUB/SHOWER & WASHER/DRYER LAYOUT W/ ARCHITECTURAL PLANS.
 - MECHANICAL CLOSET HUB DRAIN TO RUN TO STORM SEWER NO P-TRAP REQUIRED.

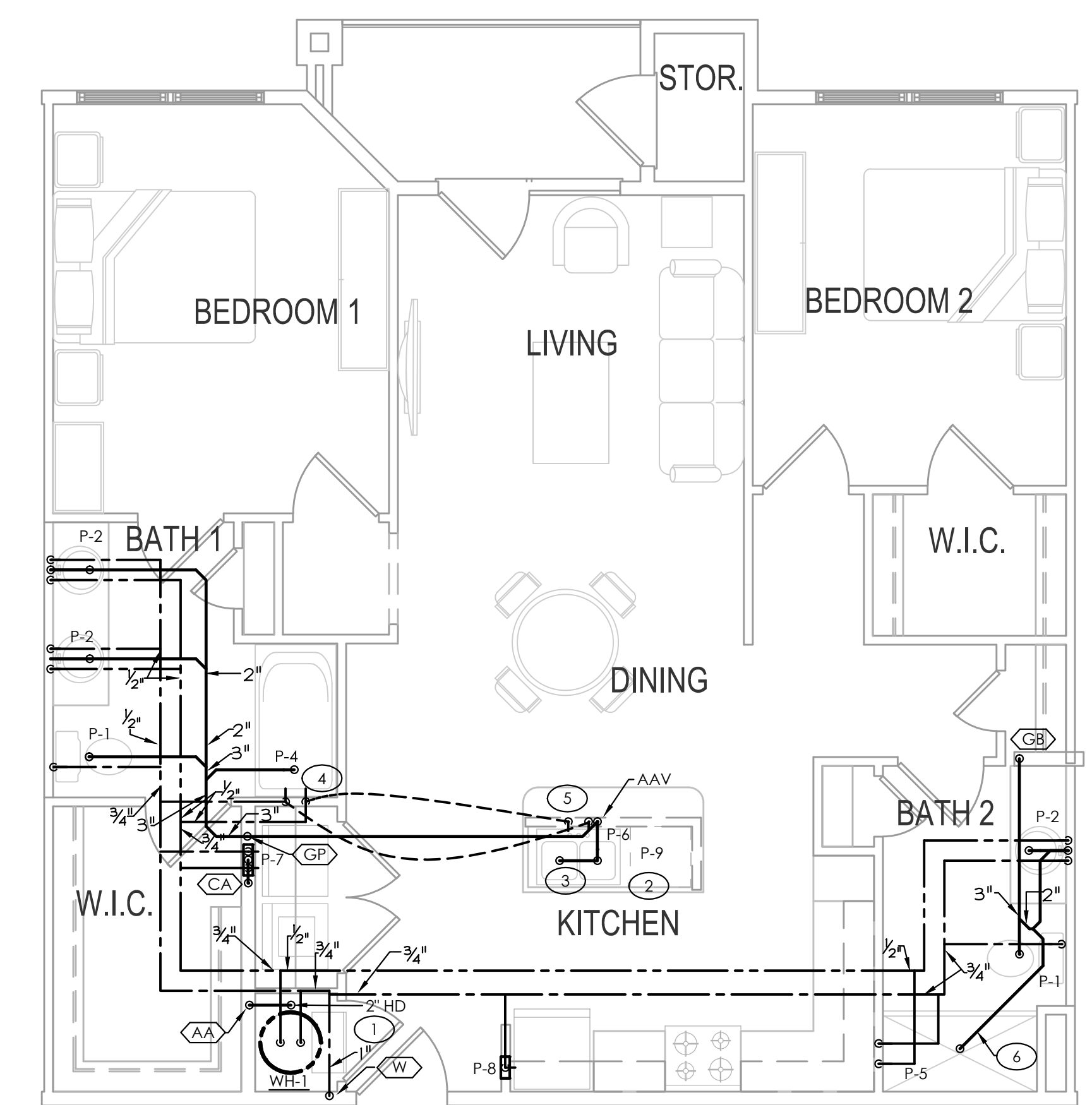
- TAGGED NOTES - THIS SHEET**
- WATER HEATER BELOW HVAC UNIT IN CLOSET. DRAIN TO AREA HUB DRAIN. SEE DETAIL. COORDINATE EXACT LOCATION WITH M.C. AND AREA MECHANICAL EQUIPMENT. COORDINATE EXACT HUB DRAIN LOCATION WITH WATER HEATER DRAIN PAN; MUST BE VISIBLE AND ACCESSIBLE.
 - PROVIDE DISHWASHER CONNECTIONS.
 - PROVIDE GARBAGE DISPOSAL CONNECTION. ENSURE KNEE CLEARANCES ARE MAINTAINED IN ADA UNITS. HW/CW DOWN IN WALL TO BELOW FLOOR.
 - HW/CW UP FROM BELOW FLOOR TO KITCHEN SINK.
 - P.C. TO ENSURE THAT DISTANCE FROM TRAP TO VENT DOES NOT EXCEED 8FT.

NOTE: WATER HEATER IS TO BE NO MORE THAN 32" TALL IN UNITS WITH STACKED WATER HEATERS AND AIR HANDLERS IN THE SAME MECHANICAL CLOSET.

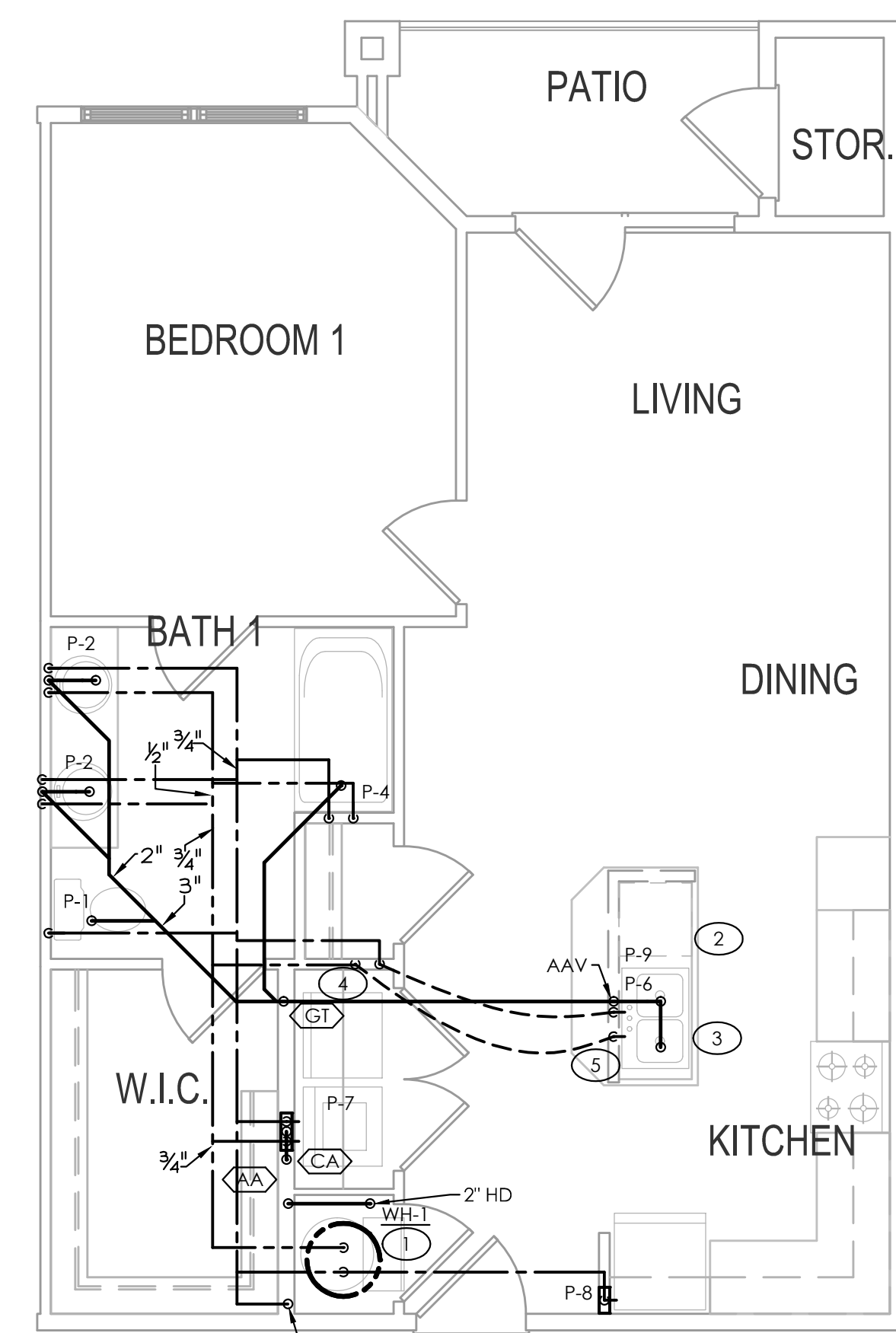
NOTE: WATER HEATER AND AIR HANDLER TO BE LOCATED IN MECHANICAL CLOSET. MECHANICAL CLOSET OF TYPE 1.0 FAIR HOUSING AND OF TYPE 1.2, 1.3, 2.0, 2.1 UNITS IS A RETURN PLENUM. ALL MATERIALS MUST BE PLENUM RATED. WATER AND DRAIN PIPING TO BE COPPER OR PLENUM RATED CPVC; NO PVC, NO PE-X. DRAIN PAN MUST BE METAL; NO PLASTIC. HUB DRAIN MUST BE METAL; NO PLASTIC.



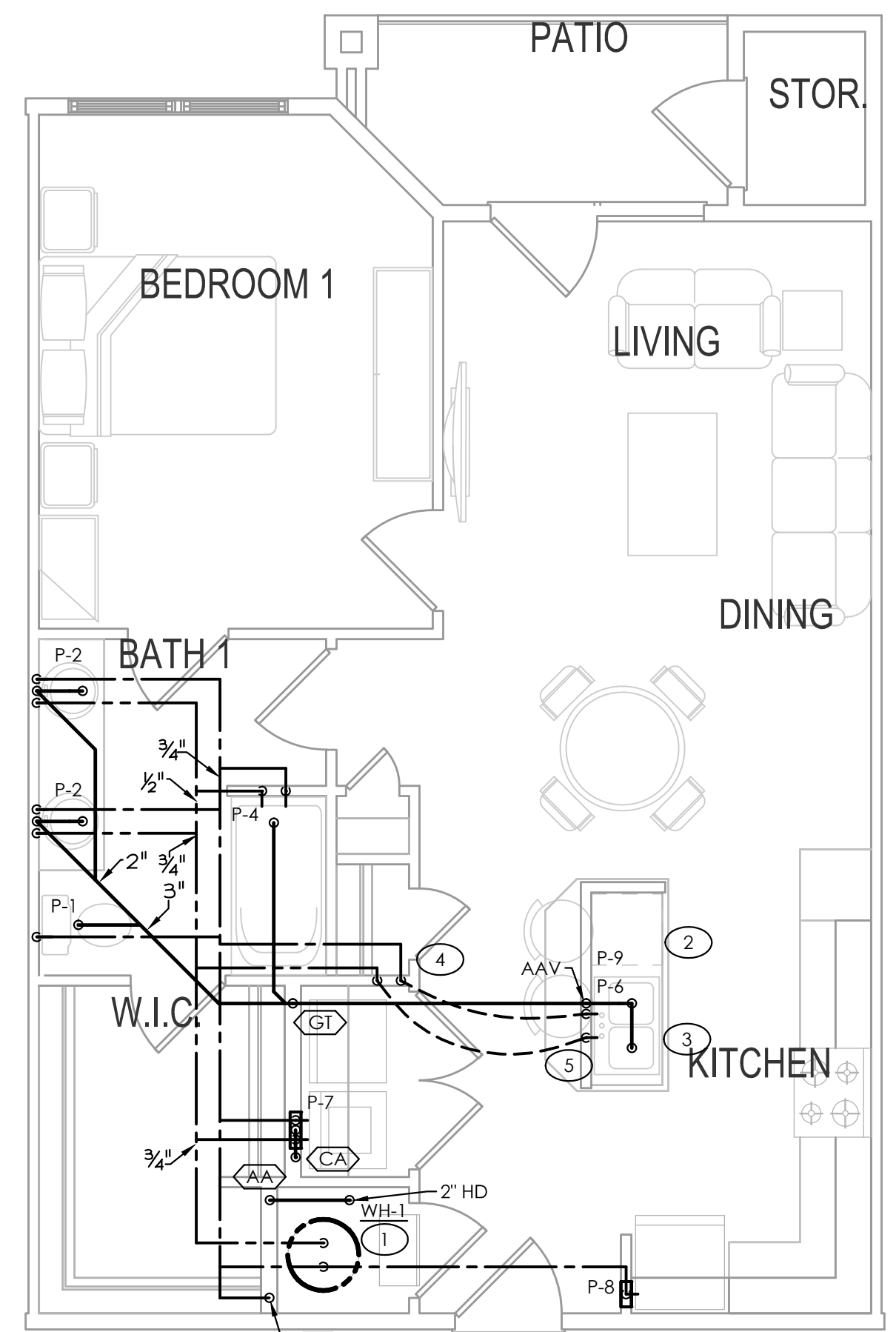
6 PLUMBING FAIR HOUSING UNIT TYPE 2.0 (EXTERIOR)
SCALE: 1/4" = 1'-0"



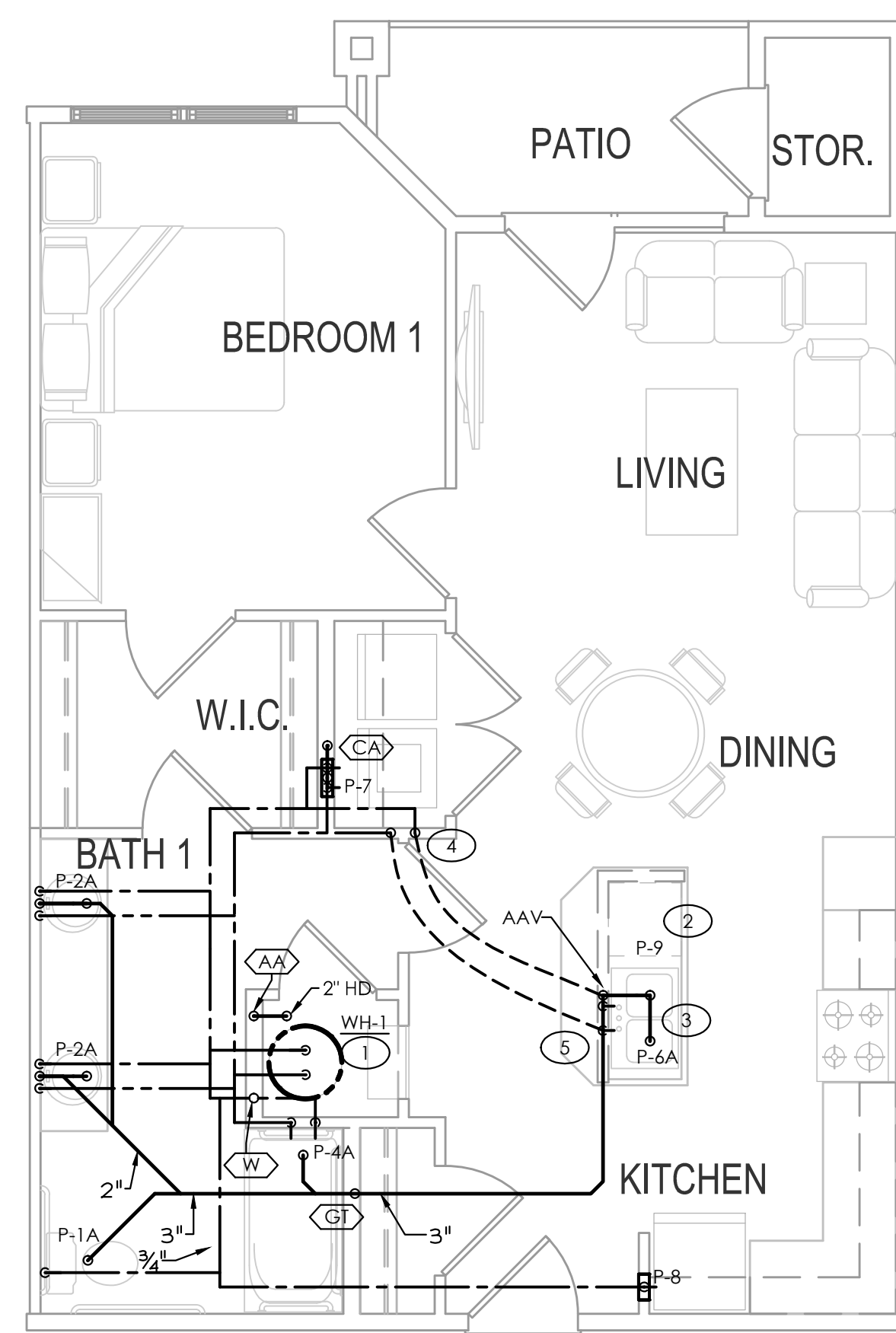
5 PLUMBING FAIR HOUSING UNIT TYPE 2.0 (INTERIOR)
SCALE: 1/4" = 1'-0"



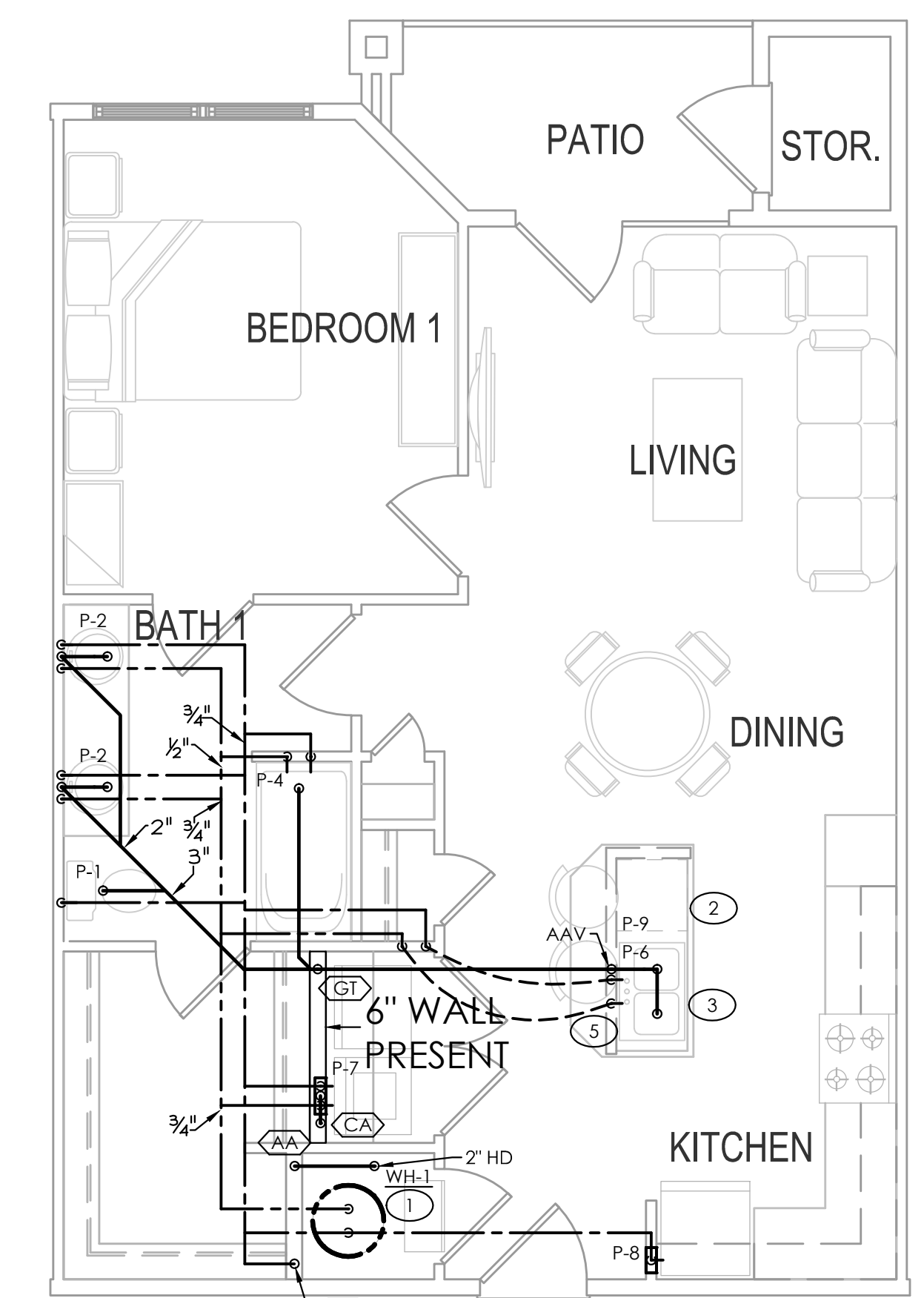
4 PLUMBING FAIR HOUSING UNIT TYPE 1.3
SCALE: 1/4" = 1'-0"



3 PLUMBING FAIR HOUSING UNIT TYPE 1.2
SCALE: 1/4" = 1'-0"

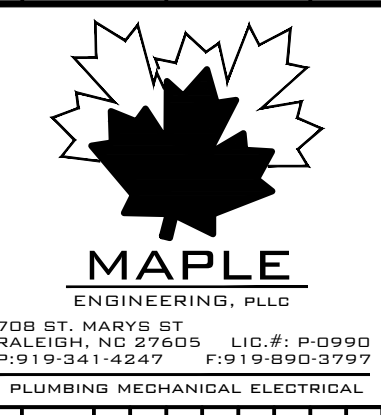


2 PLUMBING MOBILITY UNIT TYPE 1.0
SCALE: 1/4" = 1'-0"



1 PLUMBING FAIR HOUSING UNIT TYPE 1.0
SCALE: 1/4" = 1'-0"

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SHEET TITLE:	PLUMBING UNIT PLANS
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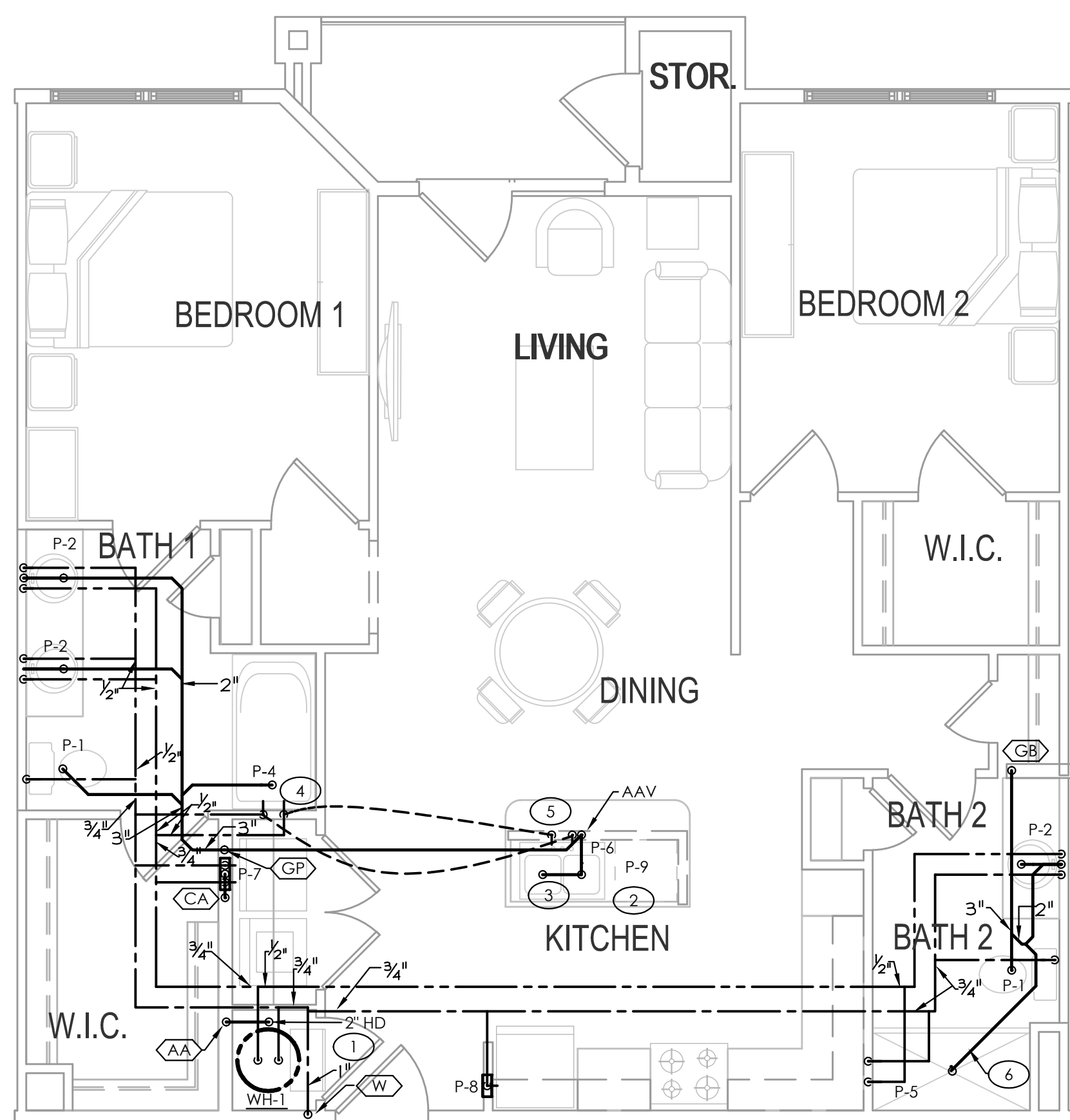
GENERAL NOTES - THIS SHEET

1. SEE OVERALL BUILDING PLANS FOR ROUTING OF MAIN WATER & SEWER PIPING.
2. SEE BUILDING PLANS & RISER SHEETS FOR CONTINUATIONS OF RISER TAGS & ADDITIONAL INFORMATION.
3. SEE RISERS FOR STACK DESIGNATIONS & DIMENSIONS.
4. WATER PIPING IS NOT TO BE SHARED BETWEEN UNITS.
5. SEE BUILDING PLANS FOR RATED WALL & FLOOR INFORMATION.
6. P.C. TO ENSURE SHUT-OFF VALVES IN MECHANICAL CLOSETS WILL BE ACCESSIBLE ONCE AIR HANDLER IS INSTALLED.
7. P.C. TO ENSURE WASTE/VENT/WATER STACK LOCATIONS DO NOT INTERFERE W/ MECHANICAL DUCTWORK.
8. P.C. TO VERIFY TUB/SHOWER & WASHER/DRYER LAYOUT W/ ARCHITECTURAL PLANS.
9. MECHANICAL CLOSET HUB DRAIN TO RUN TO STORM SEWER NO P-TRAP REQUIRED.

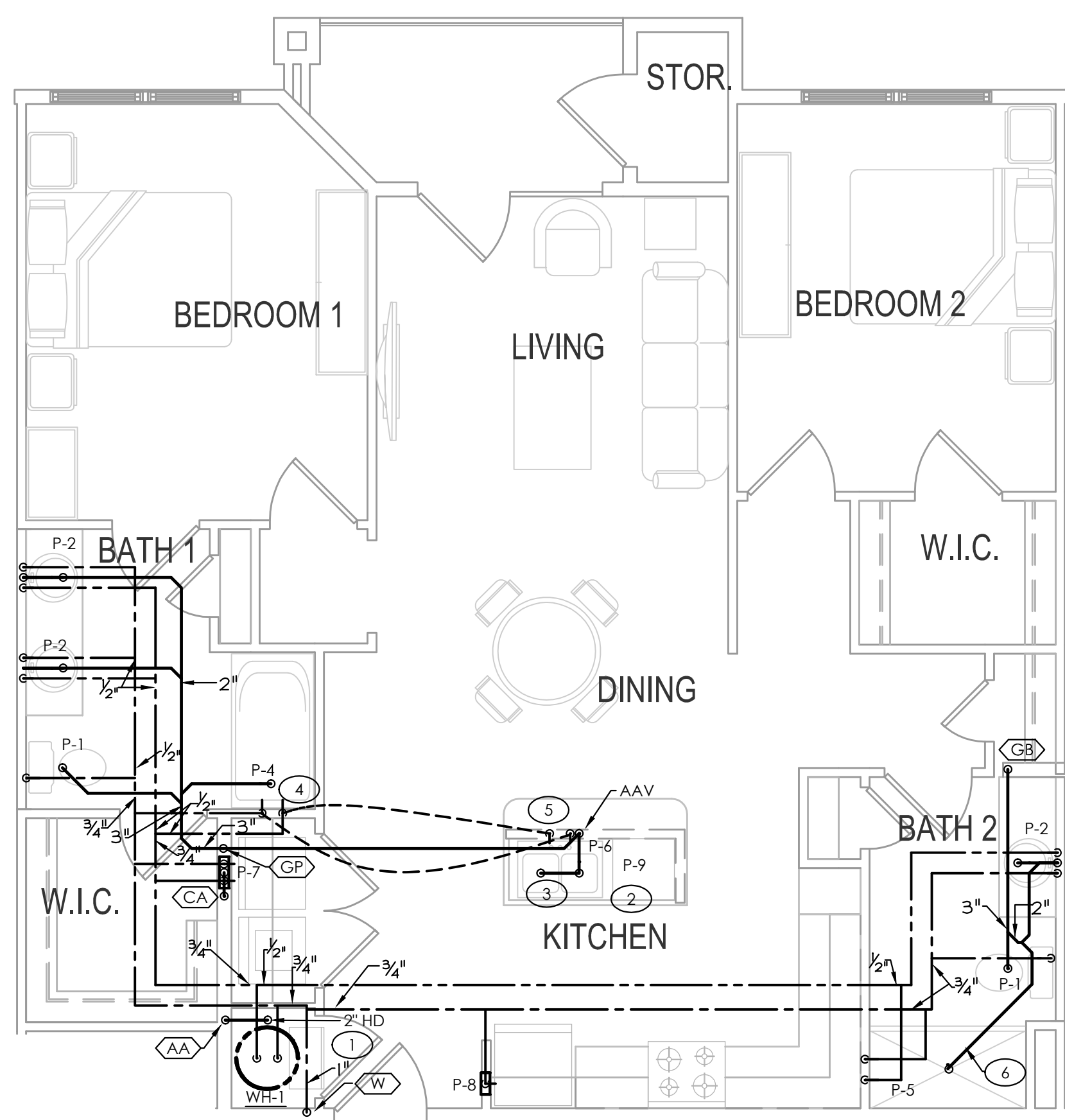
TAGGED NOTES - THIS SHEET

- 1 WATER HEATER BELOW HVAC UNIT IN CLOSET. DRAIN TO AREA HUB DRAIN. SEE DETAIL. COORDINATE EXACT LOCATION WITH M.C. AND AREA MECHANICAL EQUIPMENT. COORDINATE EXACT HUB DRAIN LOCATION WITH WATER HEATER DRAIN PAN; MUST BE VISIBLE AND ACCESSIBLE.
- 2 PROVIDE DISHWASHER CONNECTIONS.
- 3 PROVIDE GARBAGE DISPOSAL CONNECTION. ENSURE KNEE CLEARANCES ARE MAINTAINED IN ADA UNITS.
- 4 HW/CW DOWN IN WALL TO BELOW FLOOR.
- 5 HW/CW UP FROM BELOW FLOOR TO KITCHEN SINK.
- 6 P.C. TO ENSURE THAT DISTANCE FROM TRAP TO VENT DOES NOT EXCEED 8FT.

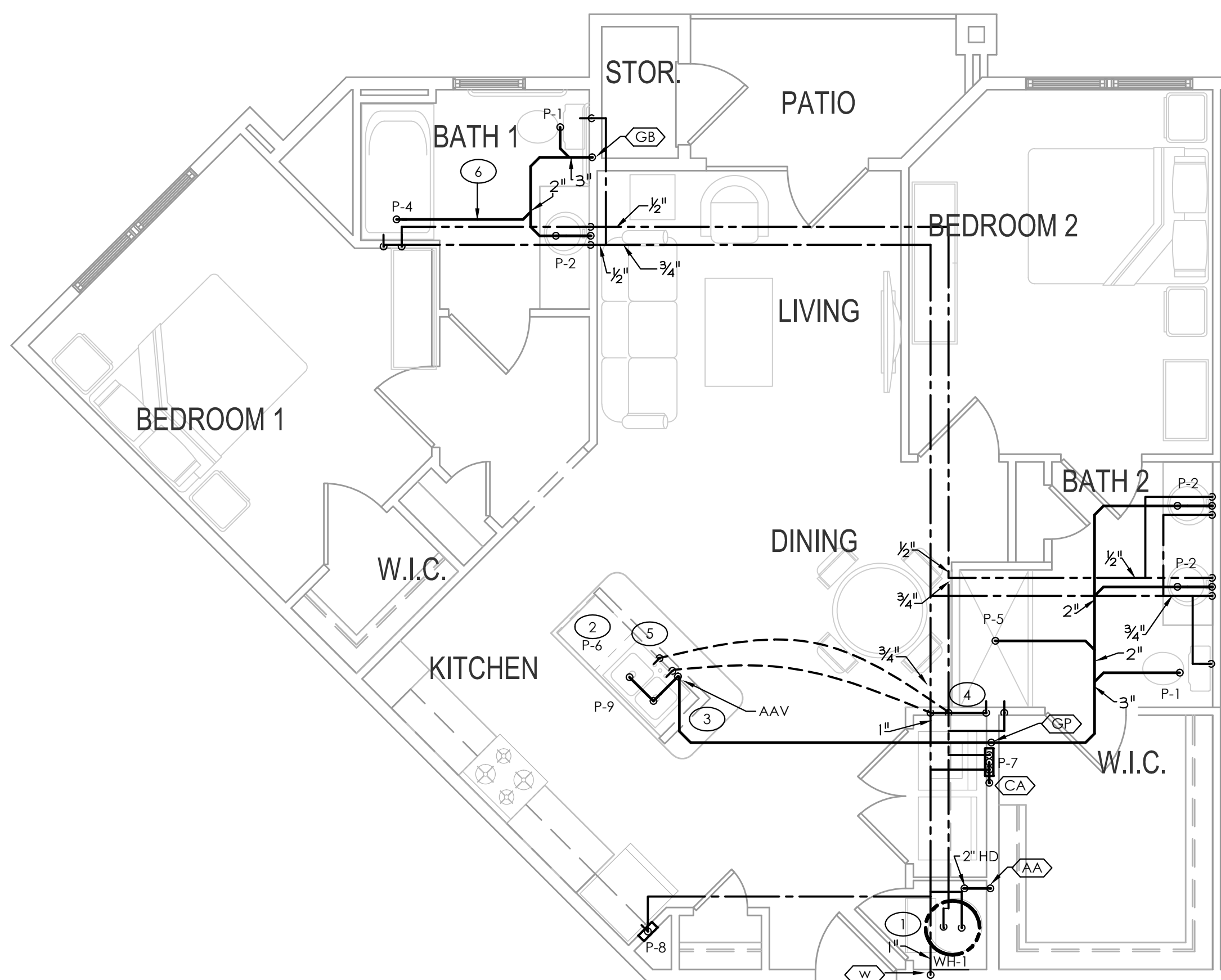
NOTE:
WATER HEATER IS TO BE NO MORE THAN 32" TALL IN UNITS WITH STACKED WATER HEATERS AND AIR HANDLERS IN THE SAME MECHANICAL CLOSET.



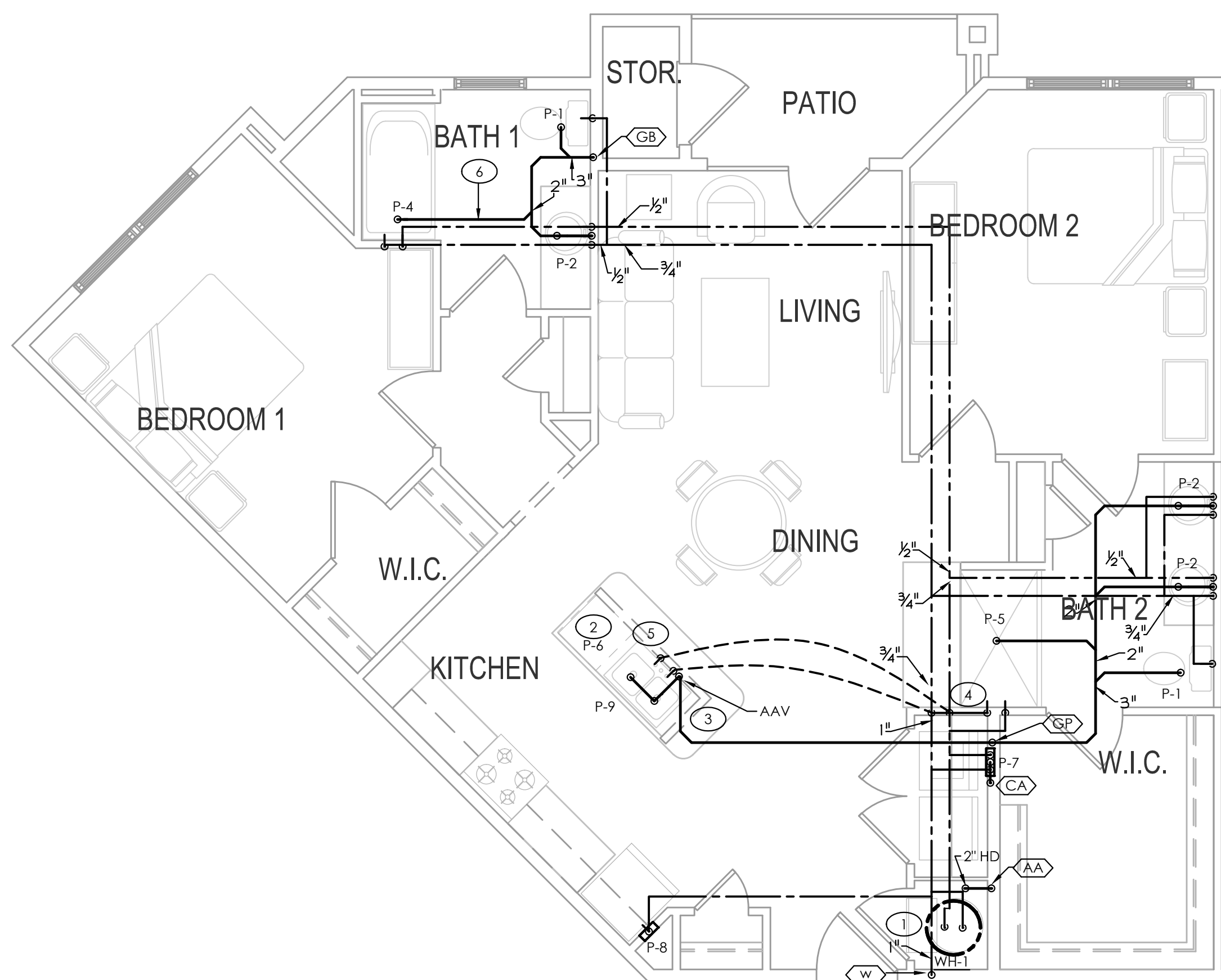
4 PLUMBING FAIR HOUSING UNIT TYPE 2.0 (INTERIOR WITH SHAFT)
SCALE: 1/4" = 1'-0"



3 PLUMBING FAIR HOUSING UNIT TYPE 2.0 (INTERIOR WITH IDF)
SCALE: 1/4" = 1'-0"



2 PLUMBING MOBILITY UNIT TYPE 2.1
SCALE: 1/4" = 1'-0"



1 PLUMBING FAIR HOUSING UNIT TYPE 2.1
SCALE: 1/4" = 1'-0"

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PLUMBING MECHANICAL ELECTRICAL

PROGRESS DATE:	10/15/21
ISSUE DATE:	11/24/21
REVISIONS NUMBER	DATE INITIALS DESCRIPTION
PROJECT NO:	010819
DRAWN BY:	JLL
CHECKED BY:	ZLT
SHEET TITLE:	PLUMBING UNIT PLANS
SHEET NUMBER:	

P1.31

11/24/2021 11:47 AM
PLC2 08P1.31.DWG

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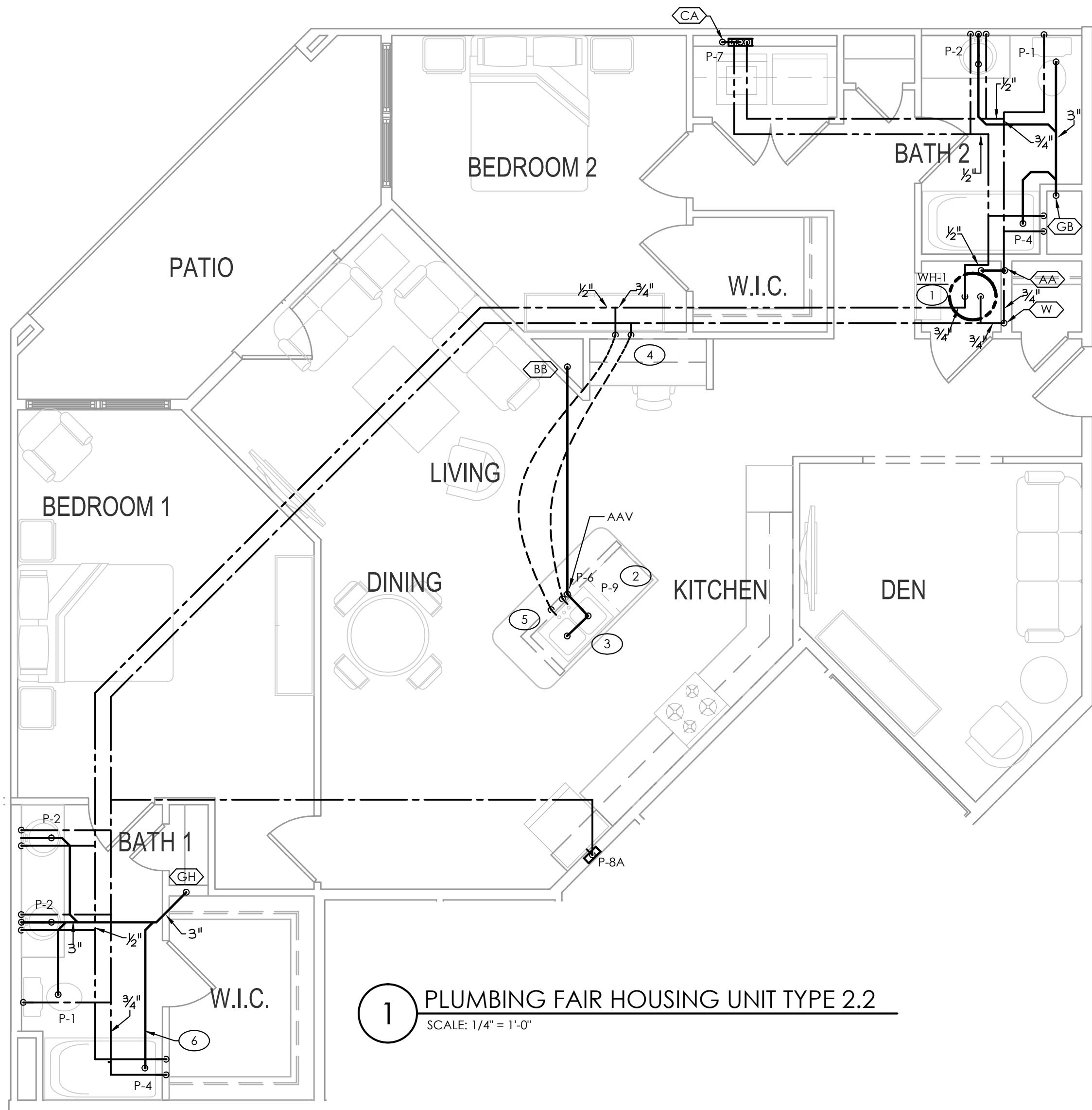
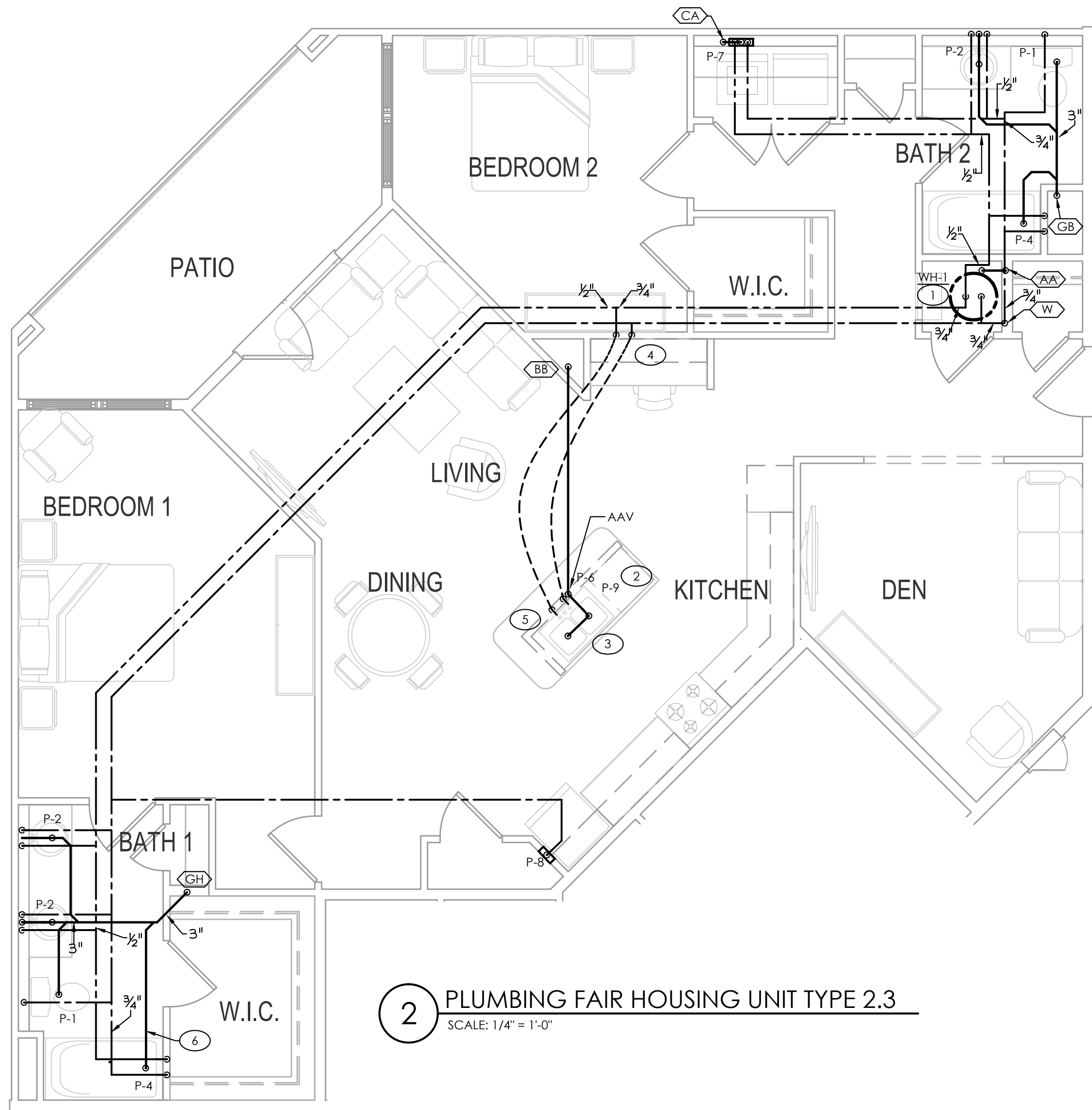
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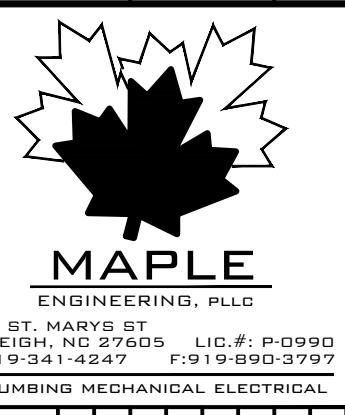
- GENERAL NOTES - THIS SHEET**
- SEE OVERALL BUILDING PLANS FOR ROUTING OF MAIN WATER & SEWER PIPING.
 - SEE BUILDING PLANS & RISER SHEETS FOR CONTINUATIONS OF RISER TAGS & ADDITIONAL INFORMATION.
 - SEE RISERS FOR STACK DESIGNATIONS & DIMENSIONS.
 - WATER PIPING IS NOT TO BE SHARED BETWEEN UNITS.
 - SEE BUILDING PLANS FOR RATED WALL & FLOOR INFORMATION.
 - P.C. TO ENSURE SHUT-OFF VALVES IN MECHANICAL CLOSETS WILL BE ACCESSIBLE ONCE AIR HANDLER IS INSTALLED.
 - P.C. TO ENSURE WASTE/VENT/WATER STACK LOCATIONS DO NOT INTERFERE W/ MECHANICAL DUCTWORK.
 - P.C. TO VERIFY TUB/SHOWER & WASHER/DRYER LAYOUT W/ ARCHITECTURAL PLANS.
 - MECHANICAL CLOSET HUB DRAIN TO RUN TO STORM SEWER NO P-TRAP REQUIRED.

- TAGGED NOTES - THIS SHEET**
- WATER HEATER BELOW HVAC UNIT IN CLOSET. DRAIN TO AREA HUB DRAIN. SEE DETAIL. COORDINATE EXACT LOCATION WITH M.C. AND AREA MECHANICAL EQUIPMENT. COORDINATE EXACT HUB DRAIN LOCATION WITH WATER HEATER DRAIN PAN; MUST BE VISIBLE AND ACCESSIBLE.
 - PROVIDE DISHWASHER CONNECTIONS.
 - PROVIDE GARBAGE DISPOSAL CONNECTION. ENSURE KNEE CLEARANCES ARE MAINTAINED IN ADA UNITS.
 - HW/CW DOWN IN WALL TO BELOW FLOOR.
 - HW/CW UP FROM BELOW FLOOR TO KITCHEN SINK.
 - P.C. TO ENSURE THAT DISTANCE FROM TRAP TO VENT DOES NOT EXCEED 8FT.

NOTE:
WATER HEATER IS TO BE NO MORE THAN 32" TALL IN UNITS WITH STACKED WATER HEATERS AND AIR HANDLERS IN THE SAME MECHANICAL CLOSET.



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PROGRESS DATE:	10/15/21	PROJECT NO:	010819
ISSUE DATE:	11/24/21	DRAWN BY:	JLL
REVISIONS NUMBER:		CHECKED BY:	ZLT
DATE		SHEET TITLE:	PLUMBING UNIT PLANS
INITIALS		SHEET NUMBER:	P1.32
DESCRIPTION			

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PROGRESS DATE:	10/15/21
ISSUE DATE:	11/24/21
REVISIONS NUMBER	
DATE	
INITIALS	
DESCRIPTION	

PROJECT NO: 010819

DRAWN BY: JLL

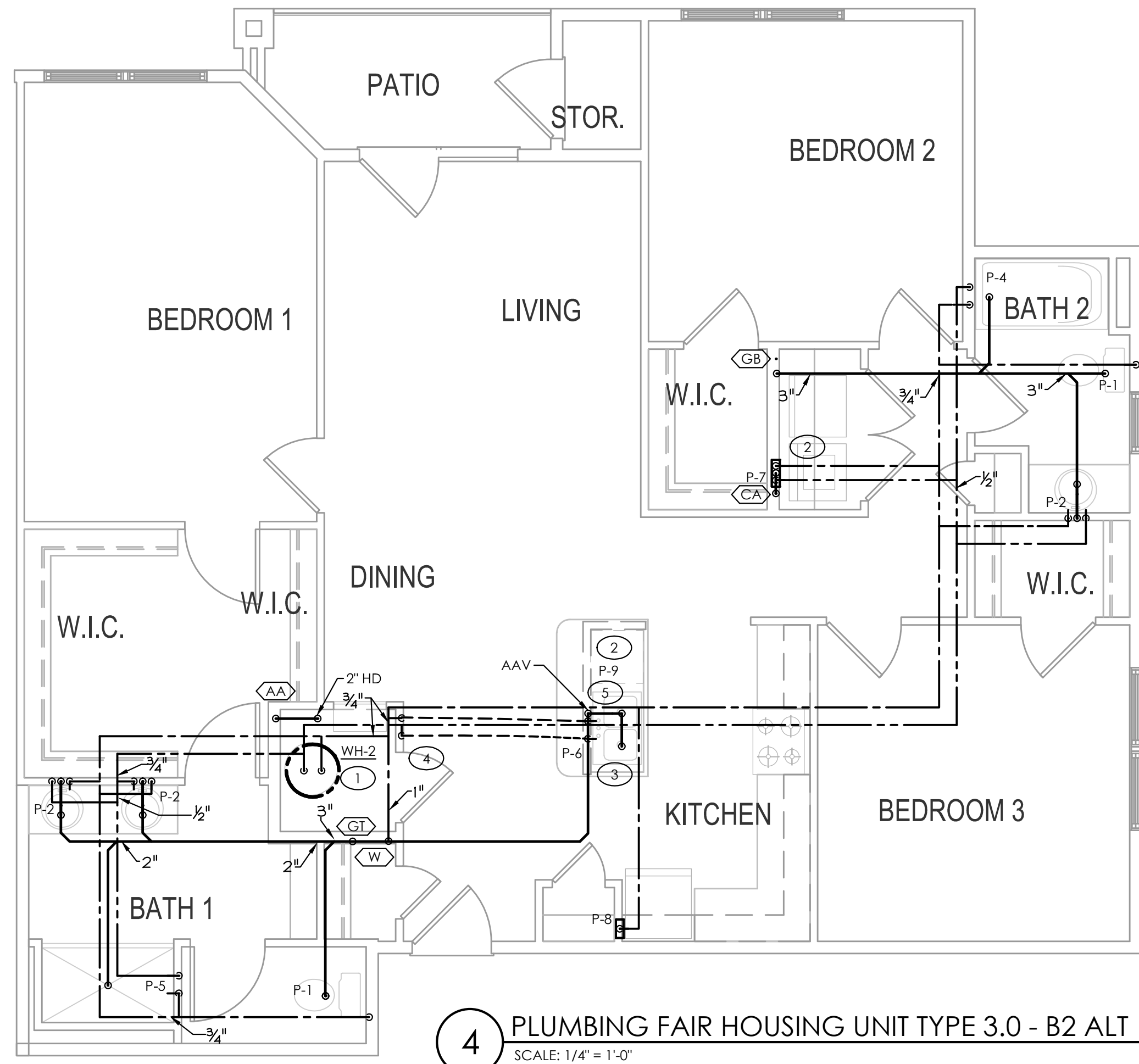
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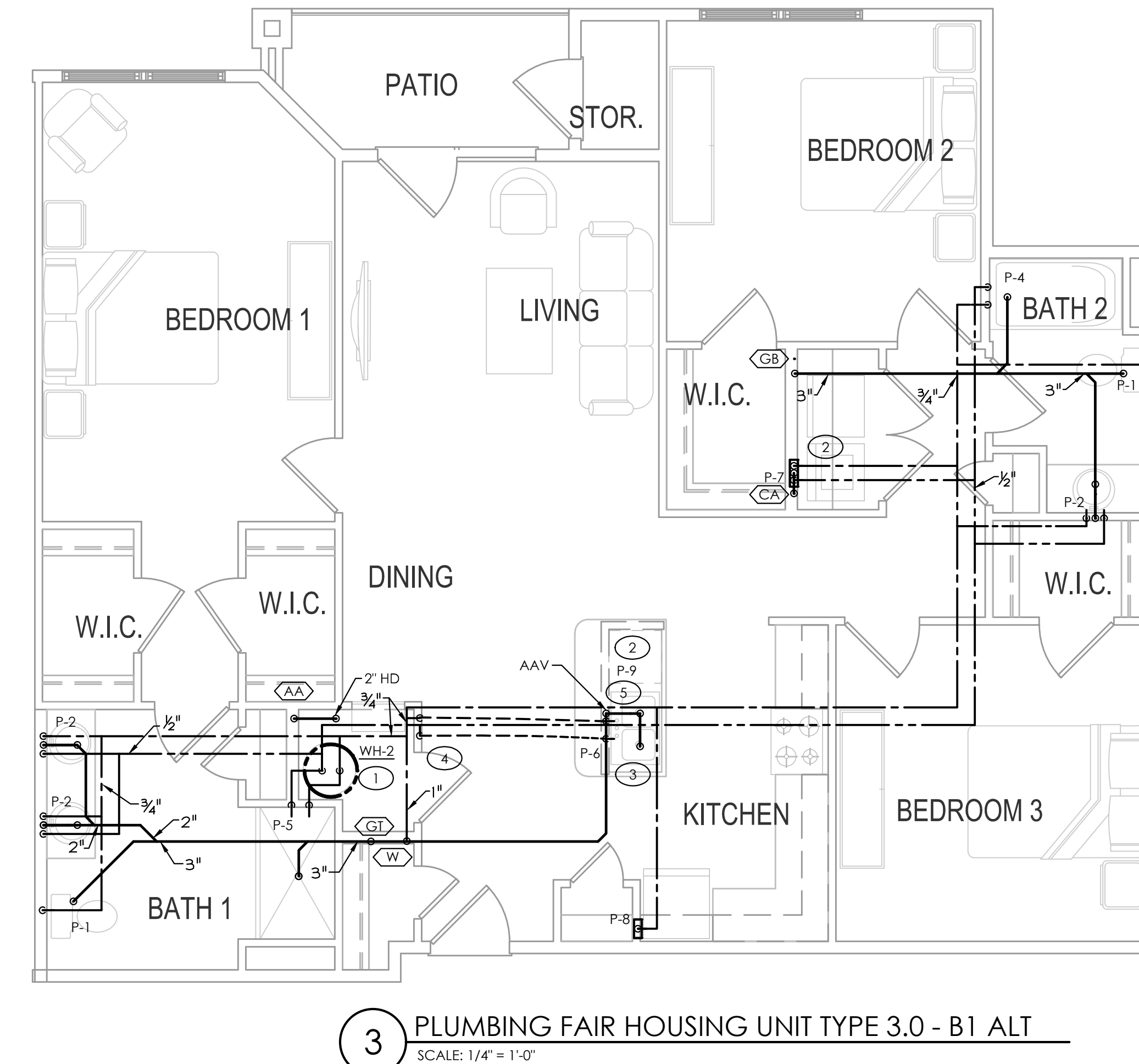
PLUMBING UNIT PLANS

SHEET NUMBER:

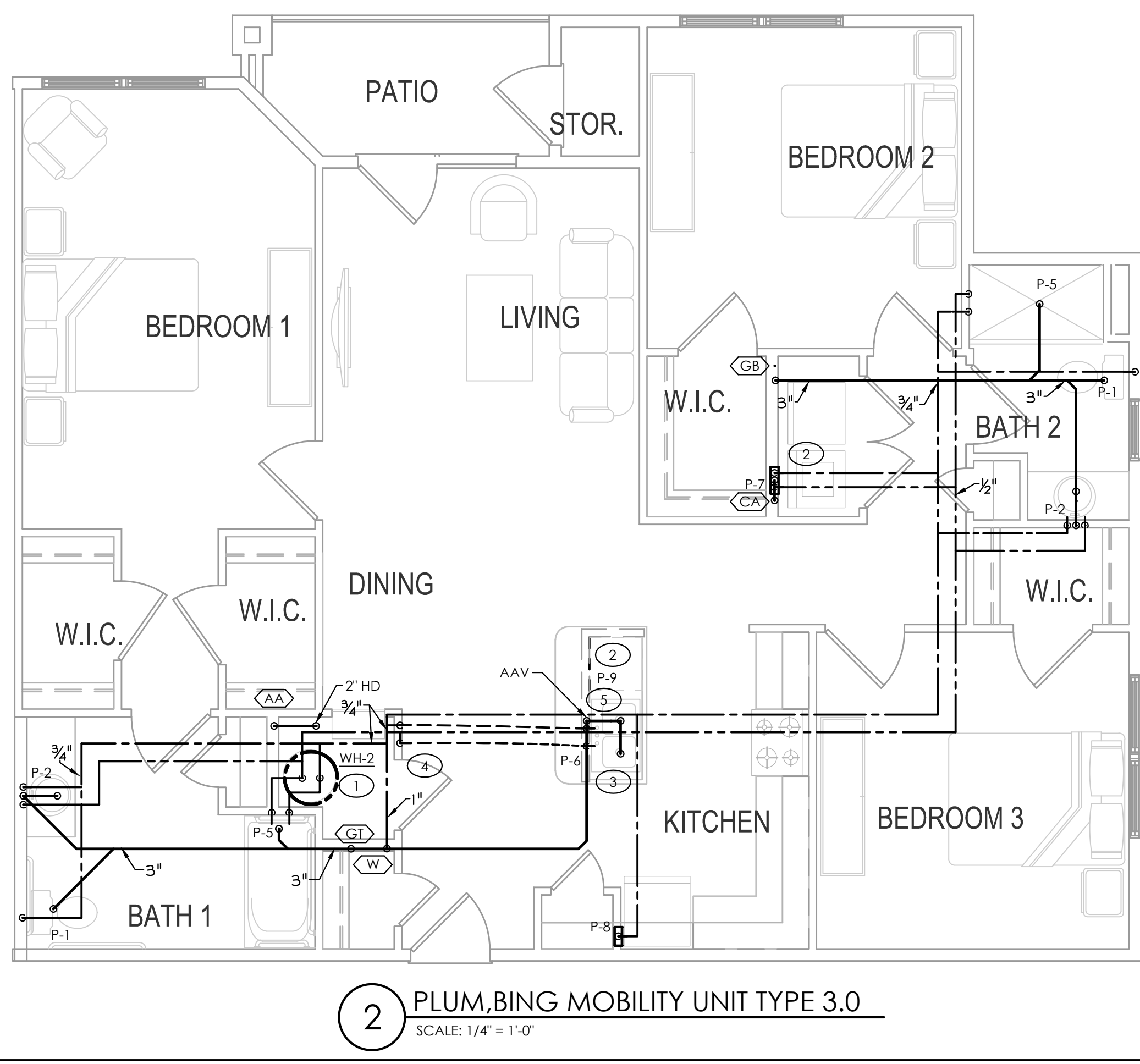
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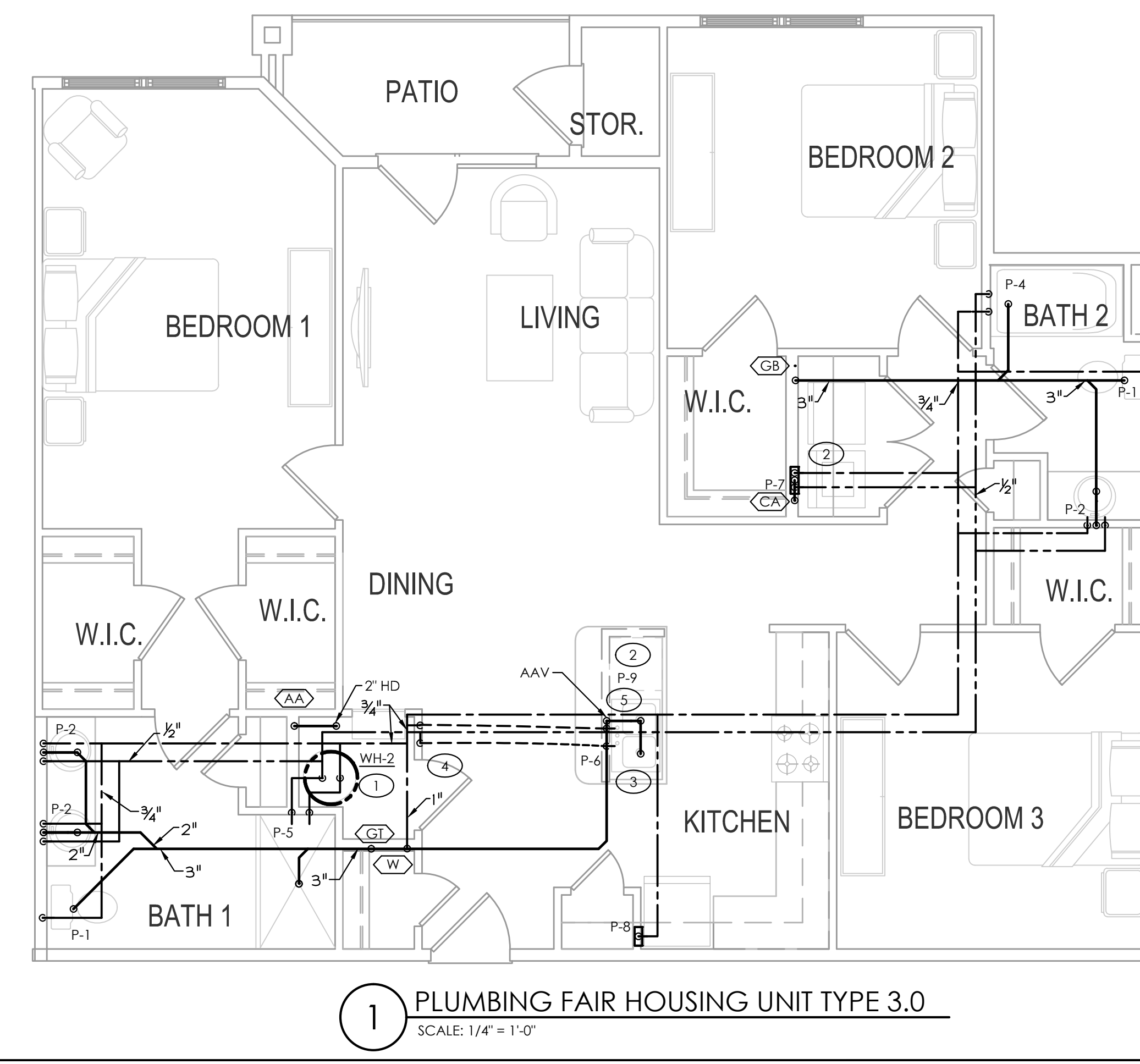
4 PLUMBING FAIR HOUSING UNIT TYPE 3.0 - B2 ALT
SCALE: 1/4" = 1'-0"



3 PLUMBING FAIR HOUSING UNIT TYPE 3.0 - B1 ALT
SCALE: 1/4" = 1'-0"



2 PLUMBING MOBILITY UNIT TYPE 3.0
SCALE: 1/4" = 1'-0"



1 PLUMBING FAIR HOUSING UNIT TYPE 3.0
SCALE: 1/4" = 1'-0"

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PROGRESS DATE: 10/15/21

ISSUE DATE: 11/24/21

REVISIONS

NUMBER

DATE

INITIALS

DESCRIPTION

DRAWN BY:

JLL

CHECKED BY:

ZLT

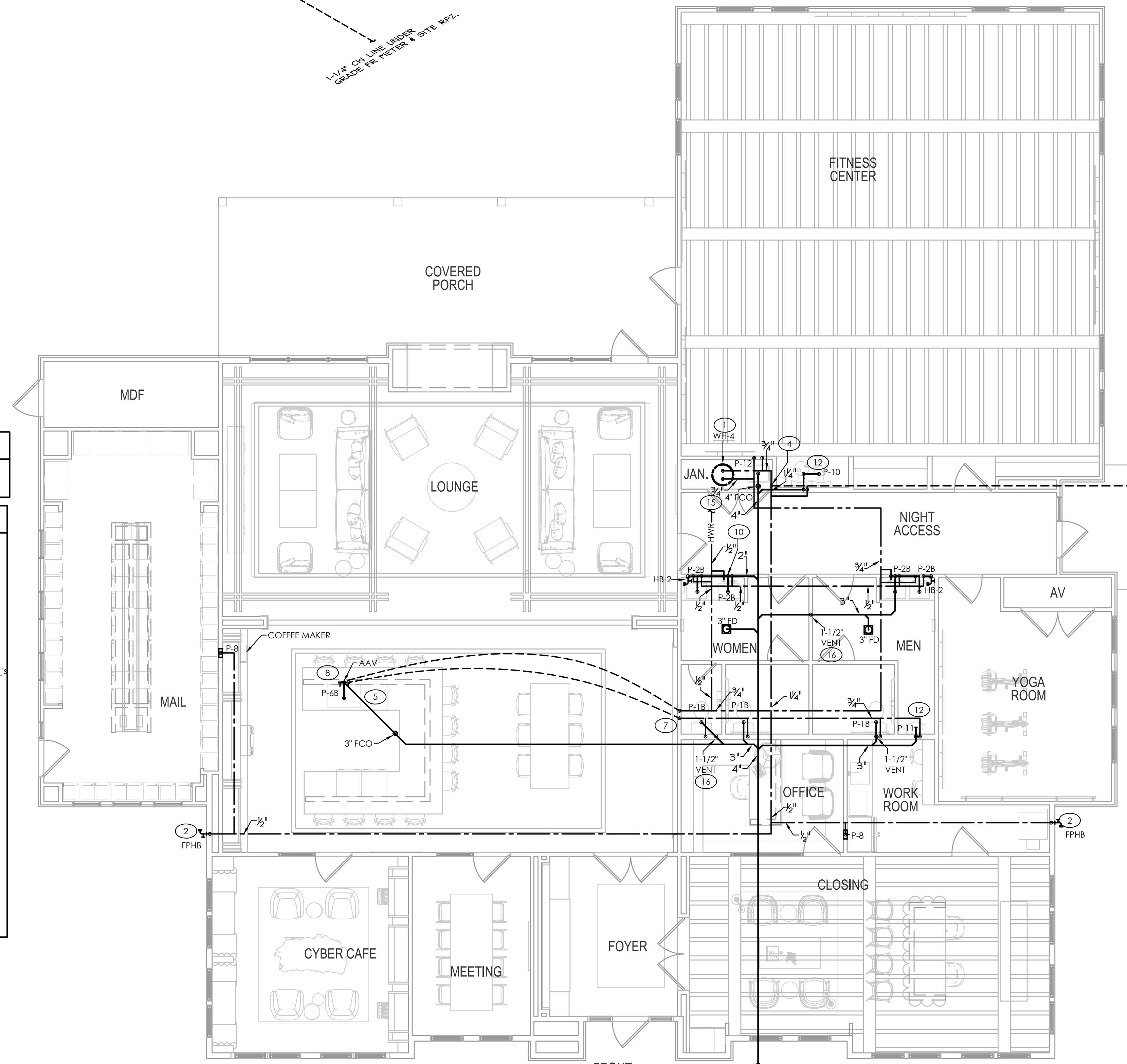
SHEET TITLE:

PLUMBING

CLUBHOUSE PLAN

SHEET NUMBER:

P2.10



1 PLUMBING CLUBHOUSE PLAN
SCALE: 3/16" = 1'-0"

3 WATER RISER
NO SCALE

2 WASTE/VENT RISER
NO SCALE

GENERAL NOTES - THIS SHEET

- 1. WATER SERVICE AND BUILDING SEWER PIPING MUST BE SEPARATED PER 2020 FLPC 603.2.

TAGGED NOTES - THIS SHEET

- 1 WATER HEATER ON PLATFORM ABOVE SERVICE SINK. SHOWN OFFSET FOR CLARITY. DRAIN TO SERVICE SINK.
- 2 CW DOWN IN WALL TO FREEZE-PROOF HOSE BIB. ENSURE PIPING IS ON WARM SIDE OF INSULATION.
- 3 1 1/4" CW LINE BELOW GRADE FROM METER AND SITE RPZ.
- 4 CW UP FROM BELOW SLAB TIGHT TO WALL. PROVIDE W/ BV-1 LOW ON WALL.
- 5 PROVIDE DISHWASHER CONNECTIONS.
- 7 1/2" HW/CW DOWN TO BELOW SLAB. PROVIDE WITH BV-1'S & EXTEND HW/CW BELOW SLAB TO KITCHENETTE AREA.
- 8 HW/CW UP WALL FROM BELOW SLAB TO SERVE KITCHENETTE SINK.
- 9 NOT USED.
- 10 2" WASTE DOWN.
- 11 NOT USED.
- 12 PROVIDE INDIVIDUAL SHOCK ARRESTORS ON HW/CW LINES. SEE SHOCK ARRESTOR SCHEDULE.
- 13 NOT USED.
- 14 NOT USED.
- 15 1/2" HOT WATER RETURN TO RP-1 AT WH-4
- 16 PORTION OF BRANCH LINE IS PART OF CIRCUIT VENT SYSTEM. MAXIMUM SLOPE 8%. TURN DOWN AS NECESSARY AFTER MOST DOWNSTREAM FIXTURE. IF SLOPE REQUIREMENTS CANNOT BE MAINTAINED, ADDITIONAL VENTS WILL BE REQUIRED.

NOTE: WASTE VENT TO HAVE 10' CLEARANCE FROM ALL BUILDING AIR INTAKES.

NOTE: WASTE VENT THROUGH ROOF TO BE LOCATED ON BACK SIDE OF ROOF FACING POOL.

NOTE: CONFIRM EXACT SIZE, LOCATION, INVERT, & DIRECTION OF UTILITY CONNECTIONS BEFORE BEGINNING WORK.

1-1/4" CW LINE UNDER GRADE FR METER & SITE RPZ.

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PLC2108RP210.DWG

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FIRE RATING LEGEND
 - - - - 1-HR WALL
 * POOL EQUIPMENT AND CHEM. HAVE 1-HR RATED CEILING



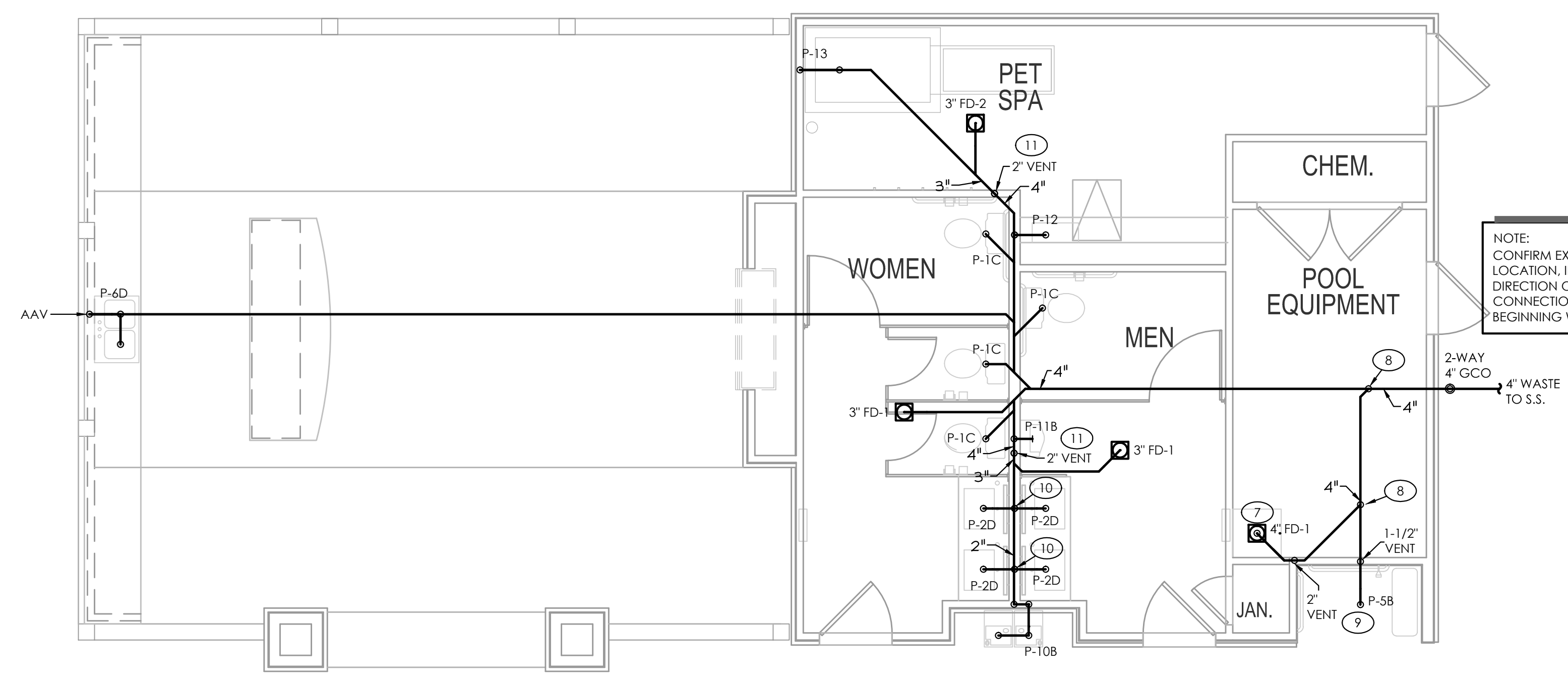
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GENERAL NOTES - THIS SHEET

1. WATER SERVICE & BUILDING SEWER PIPING MUST BE SEPARATED PER 2020 FLPC 603.2.

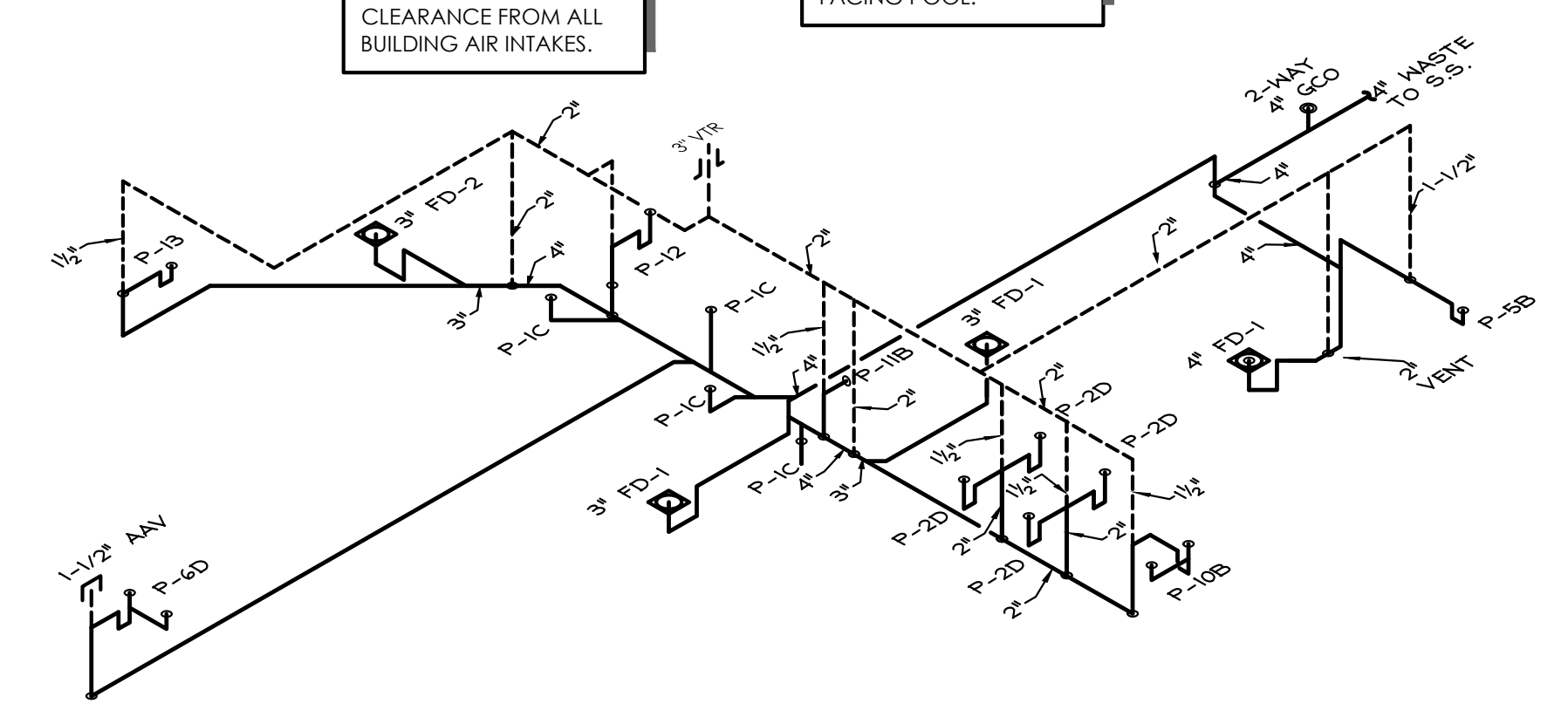
- TAGGED NOTES - THIS SHEET**
- ① WATER HEATER, ABOVE IN ATTIC, DRAIN TO EXTERIOR AWAY FROM FOOT TRAFFIC. COORDINATE EXACT LOCATION WITH M.C. AND AREA MECHANICAL EQUIPMENT.
 - ② CW DOWN IN WALL TO FREEZE-PROOF HOSE BIB. ENSURE PIPING IS ON WARM SIDE OF INSULATION. PROVIDE WITH BV-1 IN ACCESS PANEL. LOW ON WALL.
 - ③ CW UP IN WALL TO ABOVE CEILING FROM BELOW GRADE. PROVIDE W/ BV-1 LOW ON WALL.
 - ④ PROVIDE RATED SURROUND FOR SHOWER VALVE.
 - ⑤ BACKFLOW PREVENTER, BFP-1, LOCATED ALONG WALL FOR POOL EQUIPMENT. DRAIN TO FLOOR DRAIN IN AREA. ENSURE REQ'D CLEARANCES CAN BE MAINTAINED.
 - ⑥ 1" CW TO POOL EQUIPMENT. COORDINATE WITH POOL CONTRACTOR.
 - ⑦ SUMP PIT. COORDINATE EXACT LOCATION WITH POOL EQUIPMENT AND POOL CONTRACTOR.
 - ⑧ WASTE LINE FROM SUMP PIT IS LOWER THAN WASTE FROM FIXTURES. WASTE FROM FIXTURES TO DROP VERTICALLY IN AREA TO CONNECT TO WASTE LINE FROM SUMP PIT. SEE RISER.
 - ⑨ P.C. TO ENSURE SHOWER DRAIN IS LOCATED BELOW PERMANENT AWNING. COORDINATE WITH ARCHITECT.
 - ⑩ 2" WASTE DOWN IN WALL.
 - ⑪ PORTION OF BRANCH LINE IS PART OF CIRCUIT VENT SYSTEM. MAXIMUM SLOPE 8%. TURN DOWN AS NECESSARY AFTER MOST DOWNSTREAM FIXTURE. IF SLOPE REQUIREMENTS CANNOT BE MAINTAINED, ADDITIONAL VENTS WILL BE REQUIRED.
 - ⑫ CW/HW DOWN IN WALL TO BELOW SLAB.
 - ⑬ CW/HW UP TO SINK FROM BELOW SLAB.



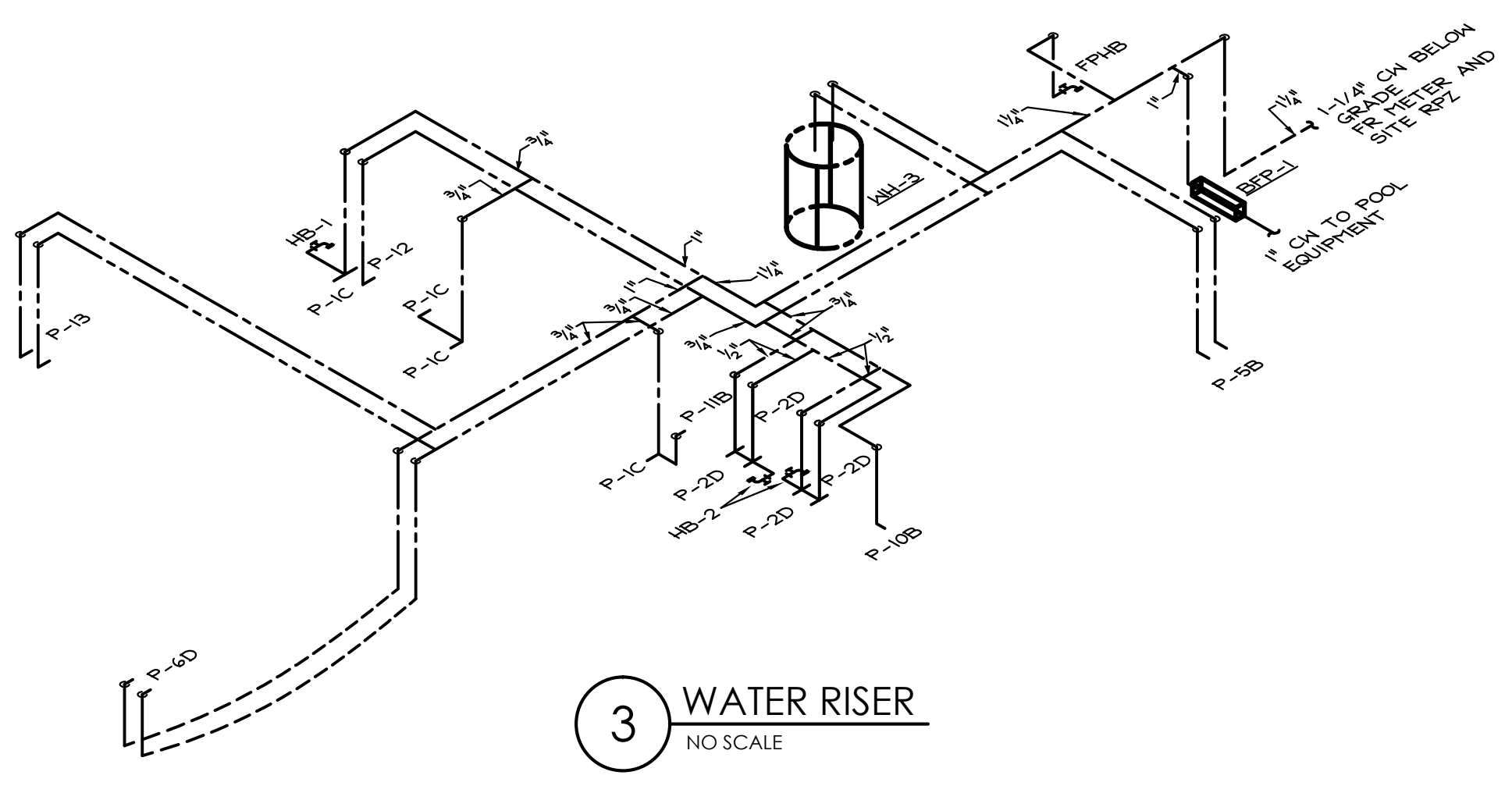
2 PLUMBING POOL HOUSE PLAN - WASTE
 SCALE: 1/4" = 1'-0"

NOTE: WASTE VENT TO HAVE 10' CLEARANCE FROM ALL BUILDING AIR INTAKES.

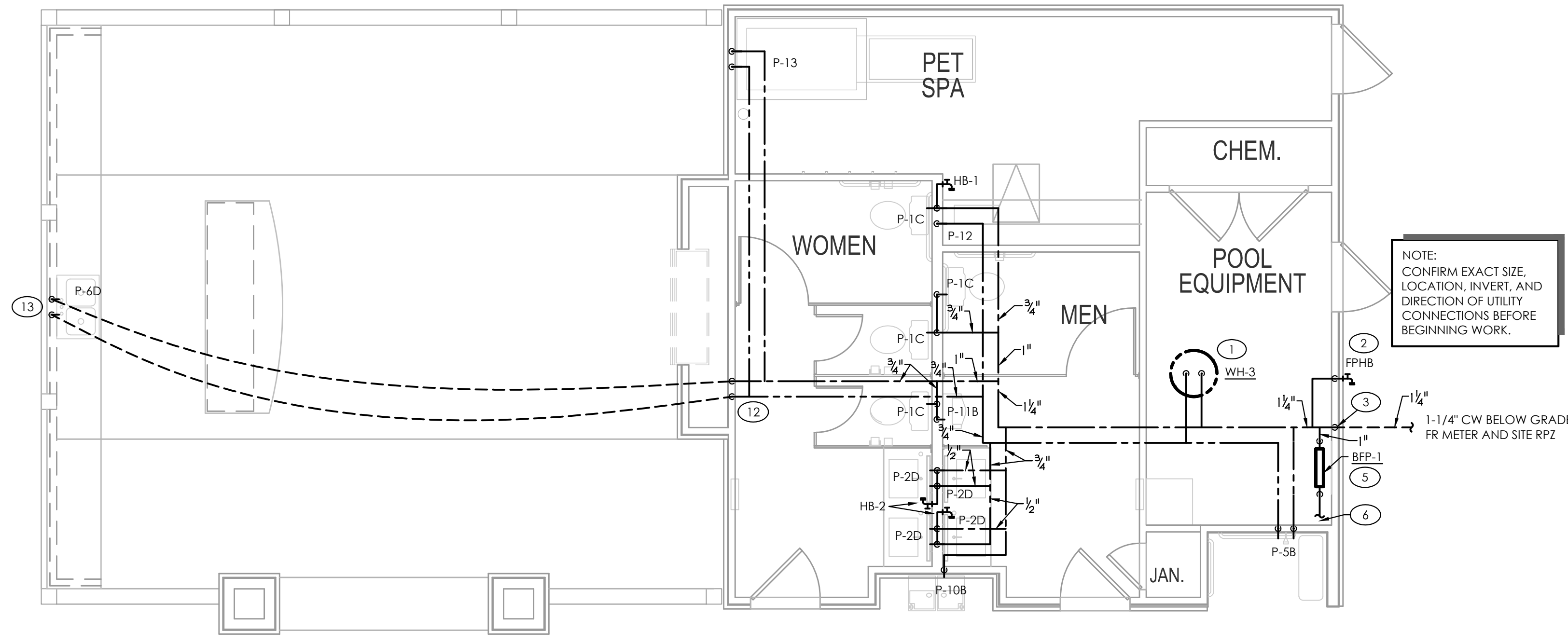
NOTE: WASTE VENT THROUGH ROOF TO BE LOCATED ON BACK SIDE OF ROOF FACING POOL.



4 WASTE/VENT RISER
 NO SCALE

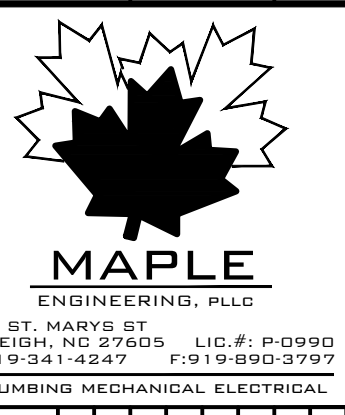


3 WATER RISER
 NO SCALE



1 PLUMBING POOL HOUSE PLAN - WATER
 SCALE: 1/4" = 1'-0"

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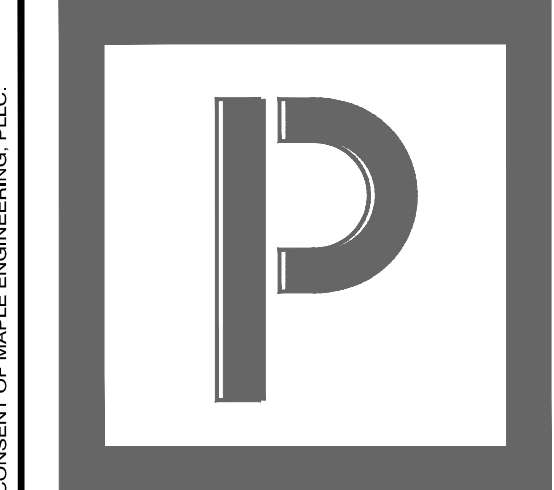
PROGRESS DATE:	10/15/21
ISSUE DATE:	11/24/21
REVISIONS NUMBER:	INITIALS DESCRIPTION

PROJECT NO: **010819**
 DRAWN BY: JLL
 CHECKED BY: ZLT
 SHEET TITLE: **PLUMBING POOL HOUSE PLAN**
 SHEET NUMBER:

P3.10

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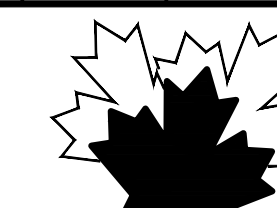
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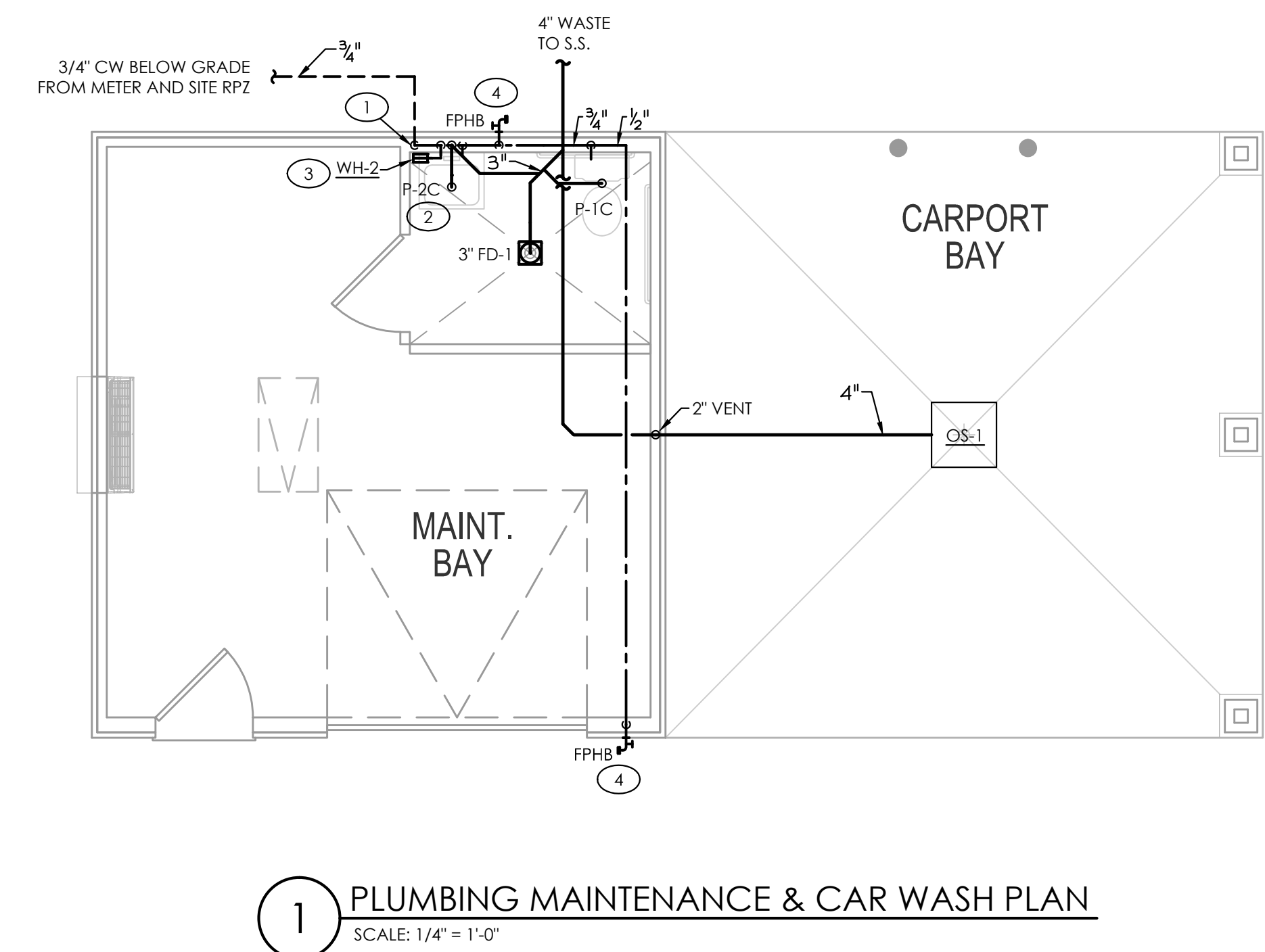
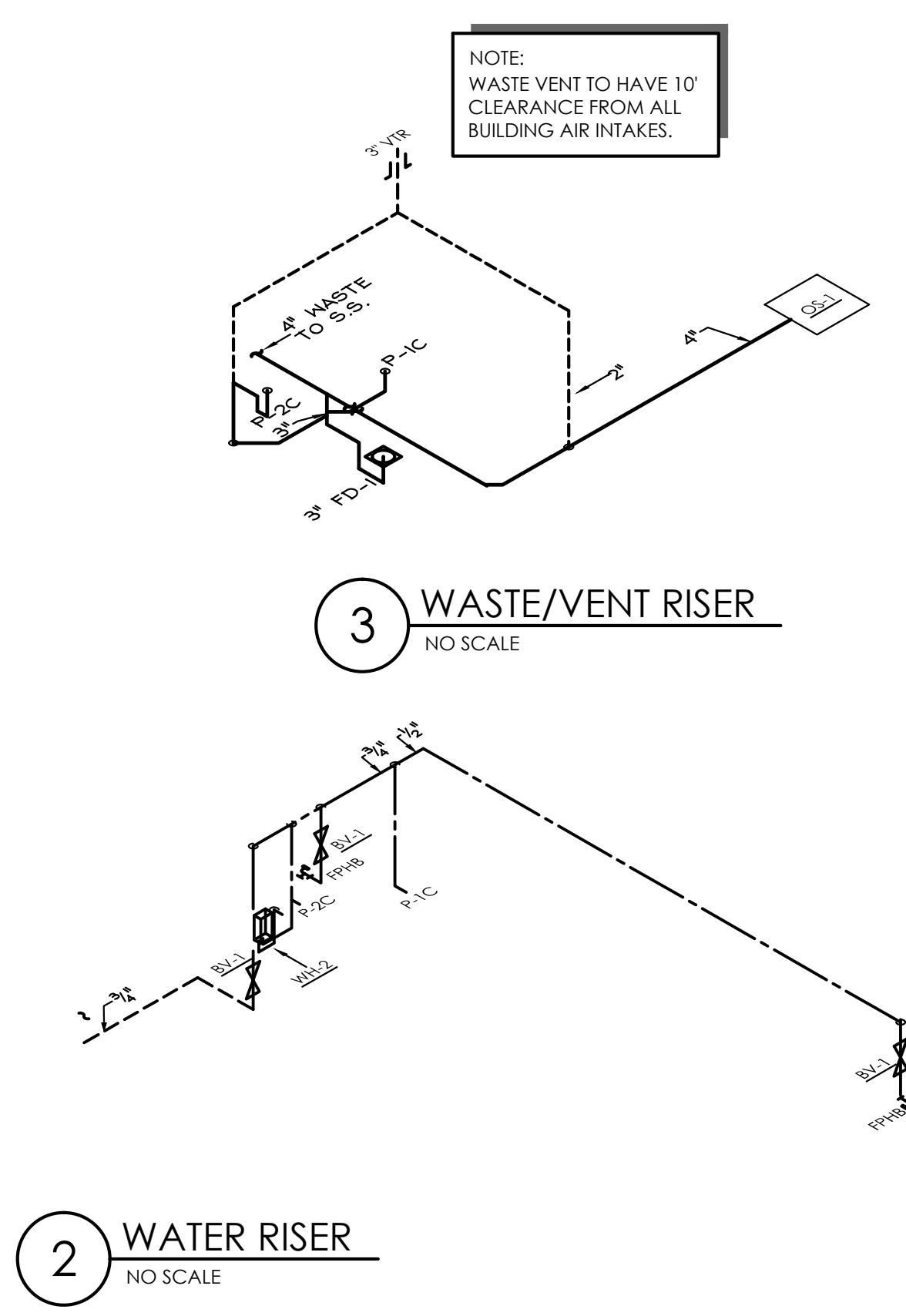
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PLUMBING MECHANICAL ELECTRICAL

GENERAL NOTES - THIS SHEET

1. WATER SERVICE & BUILDING SEWER PIPING MUST BE SEPARATED PER 2020 FLPC 603.2.

TAGGED NOTES - THIS SHEET

- 1 CW UP IN WALL TO PLUMBING FIXTURES. ENSURE PIPING IS ON WARM SIDE OF INSULATION. PROVIDE W/ BV-1 IN ACCESS PANEL. LOW ON WALL.
- 2 PROVIDE TEMPERING VALVE, TV-1, BELOW SINK. SET TO 100°F.
- 3 TANKLESS WATER HEATER, WH-2, LOCATED ON WALL BELOW SINK. ENSURE ADA CLEARANCES ARE MAINTAINED. DRAIN TO FLOOR DRAIN IN AREA.
- 4 CW DOWN IN WALL TO FREEZE-PROOF HOSE BIB. ENSURE PIPING IS ON WARM SIDE OF INSULATION. PROVIDE W/ BV-1 IN ACCESS PANEL. LOW ON WALL.



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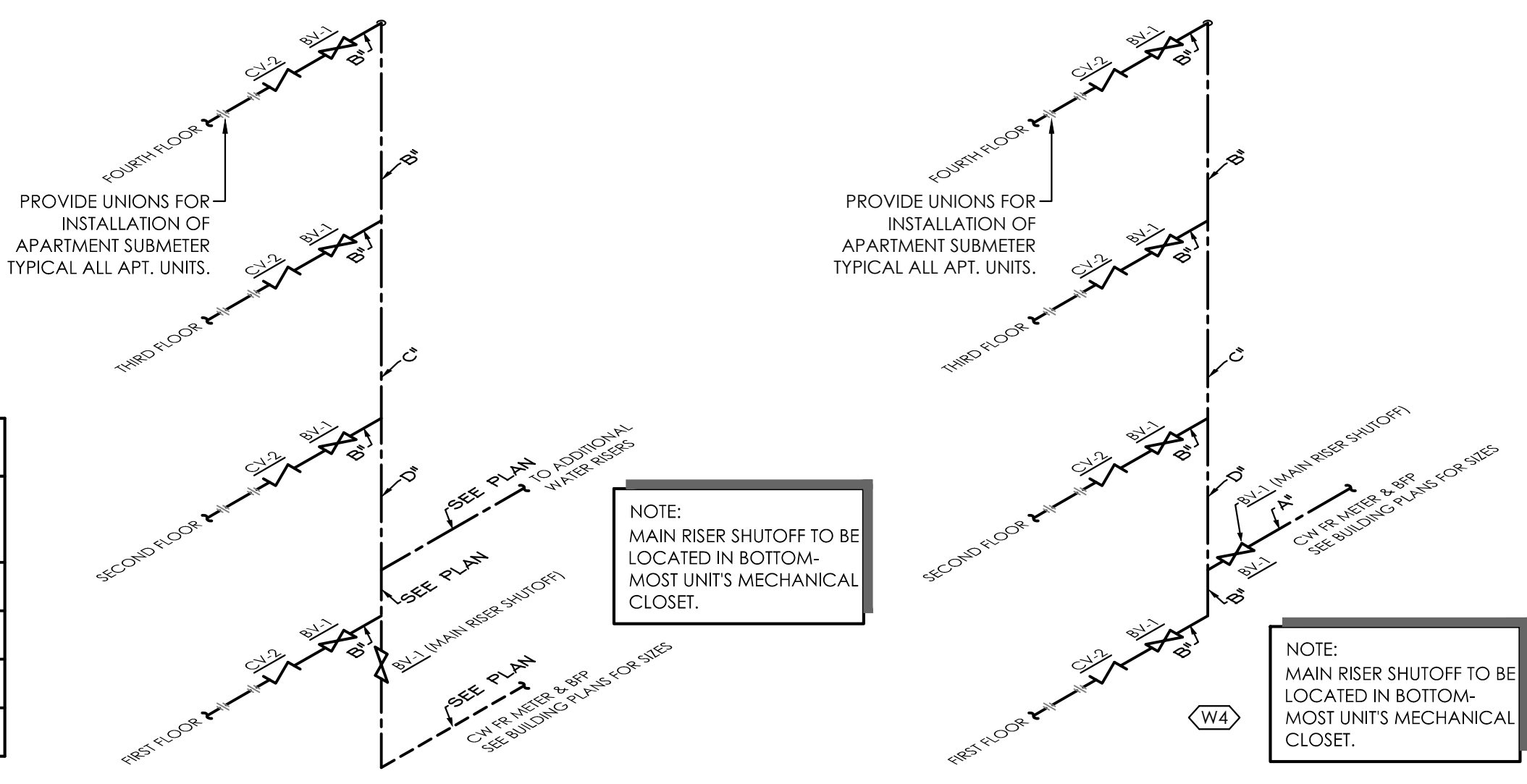
PROGRESS DATE:	10/15/21
ISSUE DATE:	11/24/21
REVISIONS NUMBER	INITIALS DESCRIPTION

PROJECT NO:	010819
DRAWN BY:	III
CHECKED BY:	ZLT
SHEET TITLE:	PLUMBING MAINTENANCE & CAR WASH BUILDING
SHEET NUMBER:	P5.10

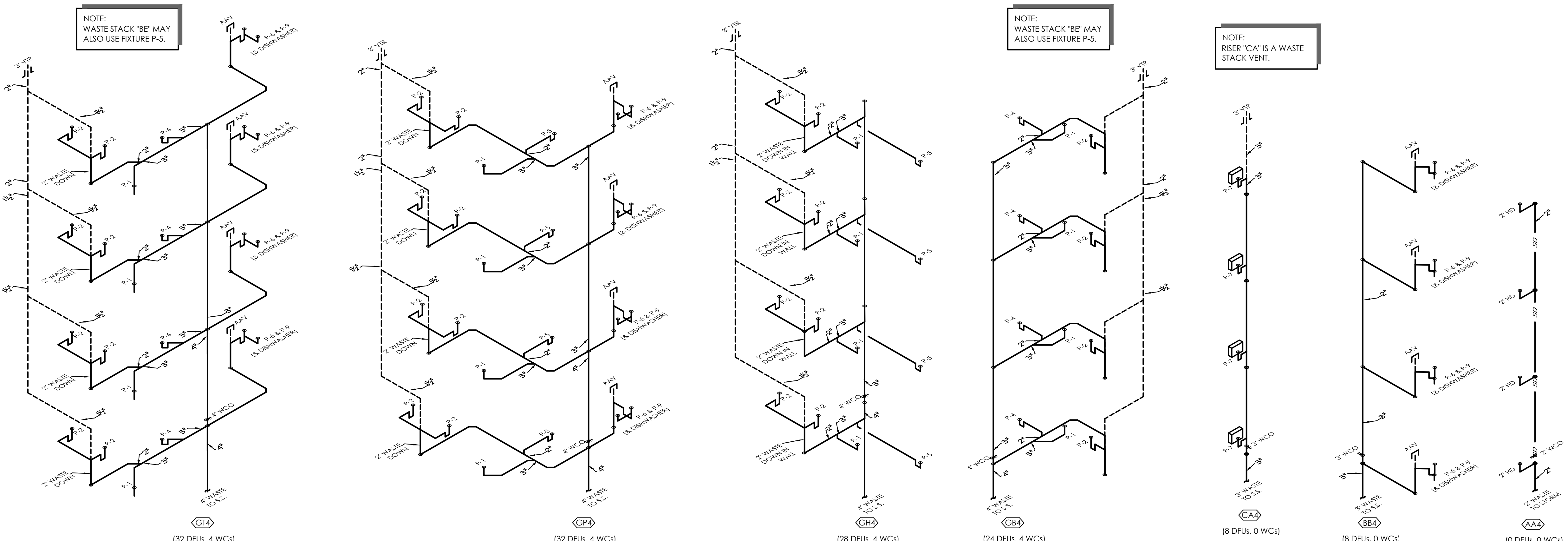
P5.10

NOTE: SEE UNIT PLANS FOR UNIT WATER LINE SIZING.
 NOTE: CLEARLY LABEL ALL VALVES.
 NOTE: SEE UNIT PLANS FOR UNIT WATER LINE SIZING.
 NOTE: CLEARLY LABEL ALL VALVES.

# BATHROOMS PER UNIT	A (IN)	B (IN)	C (IN)	D (IN)
1	1/2"	3/4"	1"	1/4"
2	1/2"	1"	1 1/4"	1/4"
3	1/2"	1"	1 1/4"	1/2"
4	1/2"	1"	1 1/4"	1/2"



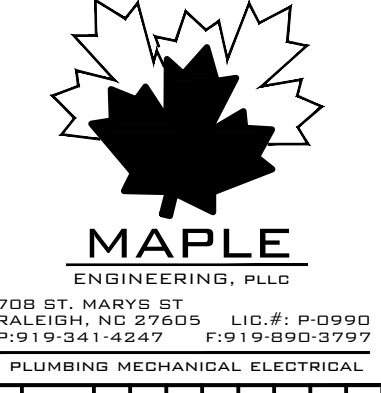
2 WATER RISER
 NO SCALE



NOTE: VTRs TO COMBINE AREA VTRs INTO ONE VTR.
 NOTE: SEE UNIT PLANS FOR ADA FIXTURE DESIGNATIONS.
 NOTE: P.C. TO PROVIDE A CLEANOUT AT THE BASE OF ALL WASTE STACKS.
 NOTE: RISER STACKS ARE DIAGRAMMATIC & SHOW DFU VALUES ONLY. SEE UNIT PLANS FOR EXACT PIPING LAYOUTS.
 NOTE: ALL WASTE STACK VENTS TO BE INSTALLED PER 2020 FLPC SECTION 913.

1 WASTE/VENT RISERS - STACKS
 NO SCALE

Inspiration at Southpoint Apartments
 Zimmer Development Company
 Fort Meyers, Florida
 PERMIT SET



PROGRESS DATE:	10/15/21		
ISSUE DATE:	11/24/21		
REVISIONS NUMBER	DATE	INITIALS	DESCRIPTION

PROJECT NO: **010819**
 DRAWN BY: JJI
 CHECKED BY: ZLT
 SHEET TITLE: **PLUMBING RISERS**
 SHEET NUMBER: **P6.01**

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