

BID SET

TERRACES AT HIGH MOUNTAIN LANDSCAPE

4130 HIGH MOUNTAIN ROAD NE
HUNTSVILLE, AL 35811



16 JUNE 2021



A1 SHEET LIST											
#	DRAWING TITLE	SUBTITLE	SD	DD	PERMIT	CD	COMMENTS	ISSUE DATE (YYYY-MM-DD)	CURRENT REVISION		
									#	DATE (YYYY-MM-DD)	DESCRIPTION
LANDSCAPE											
L.000	COVER	LANDSCAPE	•	•	•	•		16 JUNE 2021			
L.001	GENERAL INFORMATION	INDEX	•	•	•	•		16 JUNE 2021			
L.100	OVERALL SITE PLAN		•	•	•	•		16 JUNE 2021			
L.201	MATERIALS PLAN A		•	•	•	•		16 JUNE 2021			
L.202	MATERIALS PLAN B		•	•	•	•		16 JUNE 2021			
L.203	MATERIALS PLAN C		•	•	•	•		16 JUNE 2021			
L.204	POOL AREA ENLARGEMENT				•	•		16 JUNE 2021			
L.205	PARK ENLARGEMENTS				•	•		16 JUNE 2021			
L.210	SITE STRUCTURES	COMPACTOR ENCLOSURE		•	•	•		16 JUNE 2021			
L.211	SITE STRUCTURES	PAVILION		•	•	•		16 JUNE 2021			
L.212	SITE STRUCTURES	POOL EQUIPMENT ROOM		•	•	•		16 JUNE 2021			
L.213	SITE SECTIONS		•	•	•	•		16 JUNE 2021			
L.230	OVERALL SITE FURNISHINGS PLAN				•	•		16 JUNE 2021			
L.231	POOL AREA FURNISHINGS PLAN			•	•	•		16 JUNE 2021			
L.232	PARK FURNISHINGS PLAN				•	•		16 JUNE 2021			
L.300	OVERALL LAYOUT PLAN				•	•		16 JUNE 2021			
L.301	POOL AREA LAYOUT PLAN				•	•		16 JUNE 2021			
L.302	PARK LAYOUT PLAN				•	•		16 JUNE 2021			
L.400	FINE GRADING AND DRAINAGE KEY PLAN				•	•		16 JUNE 2021			
L.402	POOL AREA GRADING AND DRAINAGE PLAN				•	•		16 JUNE 2021			
L.404	PARK GRADING AND DRAINAGE PLAN				•	•		16 JUNE 2021			
L.500	OVERALL IRRIGATION PLAN					•	•	16 JUNE 2021			
L.501	IRRIGATION PLAN A					•	•	16 JUNE 2021			
L.502	IRRIGATION PLAN B					•	•	16 JUNE 2021			
L.503	IRRIGATION PLAN C					•	•	16 JUNE 2021			
L.600	OVERALL PLANTING PLAN					•	•	16 JUNE 2021			
L.601	PLANTING PLAN A					•	•	16 JUNE 2021			
L.602	PLANTING PLAN B					•	•	16 JUNE 2021			
L.603	PLANTING PLAN C					•	•	16 JUNE 2021			
L.610	PLANT SCHEDULES			•	•	•		16 JUNE 2021			
L.611	PLANTING DETAILS				•	•	•	16 JUNE 2021			
L.700	HARDSCAPE DETAILS			•	•	•		16 JUNE 2021			
L.701	HARDSCAPE DETAILS			•	•	•		16 JUNE 2021			
L.702	HARDSCAPE DETAILS			•	•	•		16 JUNE 2021			
L.800	OVERALL SITE LIGHTING PLAN			•	•	•		16 JUNE 2021			
L.801	SITE LIGHTING PLAN A				•	•		16 JUNE 2021			
L.802	SITE LIGHTING PLAN B				•	•		16 JUNE 2021			
L.803	SITE LIGHTING PLAN C				•	•		16 JUNE 2021			
L.804	POOL AREA LIGHTING PLAN				•	•		16 JUNE 2021			
L.805	PARK LIGHTING PLAN				•	•		16 JUNE 2021			

PROJECT DESCRIPTION	
THE HIGH MOUNTAIN MULTIFAMILY DEVELOPMENT IS LOCATED ON A 10.7 ACRE PARCEL AT THE INTERSECTION OF HIGH MOUNTAIN ROAD AND HARRIS HILL BOULEVARD IN HUNTSVILLE, ALABAMA. THE PROJECT INCLUDES THE DESIGN OF (6) 3-STORY APARTMENT BUILDINGS TERRACED INTO THE HILLSIDE AND A 2-STORY CLUBHOUSE BUILDING. THE PROPOSED CONFIGURATION INCLUDES 198 LIVING UNITS, 295 PARKING SPACES, AND 15 BIKE PARKING SPACES.	
THE SITE WILL INCLUDE ENTRY FEATURES, SIGNAGE, STREETSCAPING, BUILDING FOUNDATION PLANTINGS, A COMPACTOR ENCLOSURE, DOG PARK, AND RESIDENT PLAZA TO INCLUDE A POOL. THE SITE IS BISECTED BY A CENTRAL AXIS OF GARDEN TERRACES, WHICH WILL ALSO SERVE AS A MIRROR LINE FOR BUILDING ARRANGEMENT. ON-SITE PARKING WILL BE COMPRISED OF SURFACE PARKING LOTS TERRACED INTO THE HILLSIDE AND VEHICULAR CIRCULATION RAMPS AT THE PERIMETER OF THE SITE. STORM WATER WILL BE HANDLED AT THE SE PAN-HANDLE CORNER OF THE SITE. ADDITIONAL SITE ELEMENTS WILL INCLUDE A CENTRAL GARDEN TERRACES, SITE RETAINING WALLS, AND PEDESTRIAN WALKING PATHS. A PORTION OF THE SITE ALONG THE WESTERN AND NORTHERN EDGES WILL REMAIN IN ITS NATURAL STATE AS DESIGNATED BY THE SLOPE DEVELOPMENT DISTRICT.	
PROJECT TEAM	
OWNER	ZIMMER DEVELOPMENT COMPANY 111 PRINCESS STREET WILMINGTON, NC 28401 T: 910.783.4669 CONTACTS: ADAM TUCKER (adamtucker@zdc.com)
ARCHITECT	3NORTH 470 TREDGEAR STREET RICHMOND, VA 23219 T: 804.232.8900 F: 804.232.2092 CONTACTS: DANIEL STRAIT (dstrait@3north.com) KATIE HARRIGAN (harrigan@3north.com)
CIVIL	SCHOEL ENGINEERING 7500 MEMORIAL PARKWAY SW, SUITE 209 HUNTSVILLE, AL 35802 T: 256.539.1221 F: 256.539.1220 CONTACTS: JAMES PARSONS (jparsons@schoel.com) CHRISTI ROBINSON (robinson@schoel.com)
MEP	ONEIL ENGINEERING SERVICES 1480 OAKBRIDGE COURT POWHEATAN, VA 23139 T: 256.539.1221 F: 256.539.1220 CONTACTS: JAMES WILLIS (jamesw@oneil-engineering.com) PATRICK ONEIL (patrick@oneil-engineering.com) MALCOLM LYLE (malcolm@oneil-engineering.com)
STRUCTURAL	EHLERT BRYAN STRUCTURAL ENGINEERS 8609 WESTWOOD CENTER DRIVE, SUITE 800 TYSONS, VA 22182 T: 703.854.1039 CONTACTS: DOUG DOWNOR (ddownor@ehlert-bryan.com)

HATCH LEGEND	
HATCH LEGEND	
	EARTH
	CONCRETE
	SAND/MORTAR/GROUT/PLASTER
	BRICK
	CMU
	STEEL
	WOOD
	PLYWOOD
	BATT INSULATION
	RIGID INSULATION
	SPRAY FOAM INSULATION
	GYPSUM BOARD

SYMBOLS		ABBREVIATIONS																				GENERAL NOTES		VICINITY MAP	
DRAWING TITLE	<div><div>DRAWING NAME</div><div>SCALE: 1/4" = 1'-0"</div><div>1</div></div>	ABV	ABOVE	CORR	CORRIDOR	FCU	FAN COIL UNIT	LT	LIGHT	PLAS	PLASTER	STOR	STORAGE	<div>1. SEE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.</div> <div>2. ALL WORK SHALL CONFORM WITH ALL GOVERNING LAWS, CODES & ORDINANCES INCLUDING, BUT NOT LIMITED TO, THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, THE INTERNATIONAL BUILDING CODE AND THE INTERNATIONAL RESIDENTIAL CODE. IF POTENTIAL CONFLICTS ARISE, THE CONTRACTOR SHALL NOT PROCEED WITH THE EFFECTED WORK AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY.</div> <div>3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION. THIS SHALL SPECIFICALLY INCLUDE ON-SITE PROCEDURES AS THEY RELATE TO THE SAFETY OF THE CONSTRUCTION CREW AND THE GENERAL PUBLIC. IN ADDITION, IT SHALL SPECIFICALLY INCLUDE THE PROTECTION OF ANY EXISTING STRUCTURES TO AVOID DAMAGE RELATING TO OR ARISING FROM WORK WITHIN THIS CONTRACT.</div> <div>4. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS OR AMBIGUITIES DISCOVERED IN THE CONTRACT DOCUMENTS DURING BIDDING, DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL NOT PROCEED WITH WORK IN ANY AREA OF CONFLICT UNTIL THE ISSUE HAS BEEN RESOLVED.</div> <div>5. THE CONTRACTOR SHALL PROVIDE CLEAN-UP OF DEBRIS AND TRASH AT INTERVALS REQUIRED TO KEEP THE SITE AND WORK AREAS REASONABLY CLEAN OF UNSAFE AND UNSIGHTLY ACCUMULATION. THE CONTRACTOR SHALL ALSO PROVIDE A PROFESSIONAL CLEANING AT PROJECT COMPLETION. SEE SPECIFICATIONS FOR REQUIREMENTS.</div> <div>6. WHERE POTENTIAL HAZARDOUS MATERIALS ARE ENCOUNTERED DURING WORK WITHIN THIS CONTRACT, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR USING NECESSARY PRECAUTIONS DURING WORK AND /OR DISPOSAL. IF UNOBSERVED SUSPECT MATERIALS ARE UNCOVERED DURING WORK WITHIN THIS CONTRACT, THE CONTRACTOR SHALL STOP WORK IN THE AREA IMMEDIATELY AND NOTIFY THE ARCHITECT.</div>											
FINISH FLOOR HEIGHT	<div><div>200'-0"</div><div>LEVEL T.F.F.E.</div></div>	AFF	ABOVE FINISH FLOOR	FE	FIRE EXTINGUISHER	FE	FIRE EXTINGUISHER	LT WT	LIGHT WEIGHT	PLAM	PLASTIC LAMINATE	STRUC	STRUCTURE												
ELEVATION KEY	<div><div>1</div><div>AXXX</div></div>	ACT	ACOUSTICAL TILE	CF	CUBIC FEET	FEC	FIRE EXTINGUISHER CABINET	LF	LINEAR FOOT	PL	PLYWOOD	SYM	SYMMETRY (ICAL)												
SECTION/DETAIL KEY	<div><div>1</div><div>AXXX</div></div>	ACC	ACOUSTIC (AL)	CY	CUBIC YARD	FA	FIRE ALARM / FRESH AIR	LL	LIVE LOAD	PWD	POLYVINYL CHLORIDE	SUSP	SUSPENDED												
INTERIOR ELEVATION KEY	<div><div>2</div><div>AXXX1</div></div>	ADJ	ADJACENT	DTL	DETAIL	FLSH	FLASHING	MFR	MANUFACTURER	PVC	POLYVINYL CHLORIDE	SSTL	STAINLESS STEEL												
ROOM NAME, #, SF	<div><div>ROOM NAME</div><div>100'</div><div>200 SF</div></div>	AHU	AIR HANDLING UNIT	FLR	FLOOR (ING)	FD	FLOOR DRAIN	MAS	MASONRY	PCF	POUNDS PER CUBIC FOOT	TEL	TELEPHONE												
KEYED NOTE	<div><div>X</div></div>	ALUM	ALUMINUM	DIA	DIAMETER	FLUOR	FLUORESCENT	MO	MASONRY OPENING	PFL	POUNDS PER LINEAL FOOT	TV	TELEVISION												
WINDOW TAG	<div><div>XXX-WX</div></div>	ANCH	ANCHOR BOLT	DISP	DIMENSION	FT	FOOT OR FEET	MTL	METAL	PSF	POUNDS PER SQUARE FOOT	TEMP	TEMPERED												
DOOR TAG	<div><div>XXX-DX</div></div>	APPROX	APPROXIMATE	DIV	DIVISION	FTG	FOOTING	MAX	MAXIMUM	PSI	POUNDS PER SQUARE INCH	T	TUBE												
CENTER LINE	<div><div>t</div></div>	APC	ARCHITECTURAL PRECAST	DR	DOOR	FND	FOUNDATION	MECH	MECHANICAL	QT	QUARRY TILE	THK	THICK												
BREAK INDICATOR	<div><div>1</div><div>AXXX</div></div>	BRG	BEARING	DRY	DRYER	GA	GALVANIZED	MED	MEDIUM	R	RUBBER	THR	THRESHOLD												
		BLW	BELOW	DBL	DOUBLE	GALV	GENERAL CONTRACTOR	MBR	MEMBER	RA	RADIUS	T&G	TONGUE AND GROOVE												
		BLDG	BUILDING	DH	DOUBLE HUNG	GC	GENERAL CONTRACTOR	MATL	MATERIAL	RAD	RADIUS	T.O.	TOP OF												
		BLK	BLOCK	DN	DOWN	GL	GLASS/GLAZING	M	METER	ROD	ROOF DRAIN	TOC	TOP OF CURB												
		BLKG	BLOCKING	DWG	DRAWING	RCP	REINFORCED CONCRETE PIPE	MIN	MINIMUM	REF	REFERENCE (REFER)	TP	TREAD												
		BD	BOARD	DF	DRINKING FOUNTAIN	GCMU	GLAZED CONCRETE	MIR	MIRROR	REF	REFERENCE (REFER)	TOW	TOP OF WALL												
		BM	BEAM	EA	EACH	GR	GRADE	MISC	MISCELLANEOUS	RFL	REFLECT (ED)	TJ	THROUGHJOIST												
		BO	BOTTOM OF	E	EAST	GRNT	GRANITE	MOD	MODULAR	REFR	REFRIGERATOR	TYP	TYPICAL												
		BRK	BRICK	EJ	EXPANSION JOINT	GFCMU	GROUND FACE CMU	MTD	MORTAR	REFR	REFRIGERATOR	UC	UNDERCUT												
		BTW	BETWEEN	ELEC	ELECTRIC (AL)	GPDW	GYPSUM DRYWALL	NAT	NATURAL	REQ	REQUIRED	UNF	UNFURNISHED												
		BUR	BUILT UP ROOFING	EWG	ELECTRIC WATER COOLER	HTG	HEATING	NRC	NOISE REDUCTION	RESIL	RESILIENT	UNO	UNLESS NOTED OTHERWISE												
		BOW	BOTTOM OF WALL	ELEV	ELEVATION	HVAC	HEATING VENTILATING	NOM	NOMINAL	RND	ROUND	UR	URNAL												
		CPT	CARPET	EMER	EMERGENCY	INT	INTERIOR	NIC	NORTH	RM	ROOM	VB	VAPOR BARRIER												
		CTR	CAST IRON	ENCL	ENCLOSURE	RL	RAIN LEADER	NOT IN CONTRACT	NOT IN CONTRACT	RO	ROUGH OPENING	VERT	VERTICAL												
		CL	CEILING	EQUIP	EQUIPMENT	HGT	HEIGHT	NTS	NOT TO SCALE	RO	ROUGH OPENING	VEST	VESTIBULE												
		CLG	CEILING	EQUIP	EQUIPMENT	HGT	HEIGHT	NTS	NOT TO SCALE	RO	ROUGH OPENING	VEST	VESTIBULE												
		CLT	CERAMIC TILE	EXT	EXTERIOR	HM	HOLLOW METAL	NO	NUMBER	SAF	SELF ADHERED FLASHING	VCT	VINYL COMPOSITE TILE												
		CIR	CIRCLE	EXT-G	EXISTING	HOZ	HORIZONTAL	OC	ON CENTER	SCHED	SCHEDULE	VGS	VINYL SHEET GOODS												
		CLR	CLEAR (ANCE)	(E)	EXISTING DIMENSION	HOSE	HOSE BIB	OPN	OPENING	SCHED	SCHEDULE	VGS	VINYL SHEET GOODS												
		CLOS	CLOSET	EXP	EXPOSED (EXPOSURE)	HR	HOUR	OFF	OFFICE	SPLT	SPLIT FACE CMU	VNC	VINYL WALL COVERING												
		CO	CLEAN OUT	EXT	EXTERIOR	INCL	INCLUDE	OPNG	OPENING	SECT	SECTION	WA	WASHER												
		COL	COLUMN	EIFS	EXTERIOR INSULATION	INSUL	INSULATION	OPP	OPPOSITE	SHT	SHEET	WF	WATERPROOFING												
		COMP	COMPOSITION	FOS	FACE OF CONCRETE	INT	INTERIOR	OPPH	OPPOSITE HAND	S	SOUTH	WWF	WELDED WIRE FABRIC												
		CONC	CONCRETE	FACE OF CONCRETE	FACE OF CONCRETE	JAN	JANITOR CLOSET	OD	OUTSIDE DIAMETER	SC	SOLID CORE	W	WEST												
		CMU	CONCRETE MASONRY UNIT	FACE OF MASONRY	FACE OF MASONRY	JT	JOINT	OD	OUTSIDE DIAMETER	SC	SOLID CORE	W	WEST												
		CONST	CONSTRUCTION	FOS	FACE OF STUDS	JT	JOIST	OH	OVERHEAD	SD	SPECIFICATION	WN	WINDOW												
		CONT	CONTINUOUS OR CONTINUE	FIN	FINISH FLOOR ELEVATION	KIT	KITCHEN	PT	PRESSURE TREATED	SG	SQUARE	W/	WITH												
		CLL	CONTRACT LIMIT LINE	FINISH (ED)	FINISH (ED)	LABEL	LABEL	PNT	PAINTED (ED)	STD	STANDARD	W/O	WITHOUT												
		CIP	CAST IN PLACE	F.O.I.O.	FURNISH BY OWN, INSTL BY OWNER	LAM	LAMINATE	PVMT	PAVEMENT	STD	STANDARD	W/O	WITHOUT												
		CJ	CONTROL JOINT	F.O.I.C.	FURNISH BY OWN, INSTL BY GC	LAV	LAVATORY	PAIR	PAIR	STC	STORAGE	W	WOOD												
		CG	CORNER GUARD	FIXT	FIXTURE	LH	LEFT HAND	PERIM	PERIMETER	STL	STEEL	W	WOOD												
						L	STEEL ANGLE																		

HARRIS HILL BOULEVARD

HUNTSVILLE, AL 35811

1

2

3

4

5

6

REVISIONS

BID SET

TERRACES AT HIGH MOUNTAIN
4130 HIGH MOUNTAIN ROAD NE
HUNTSVILLE, AL 35811

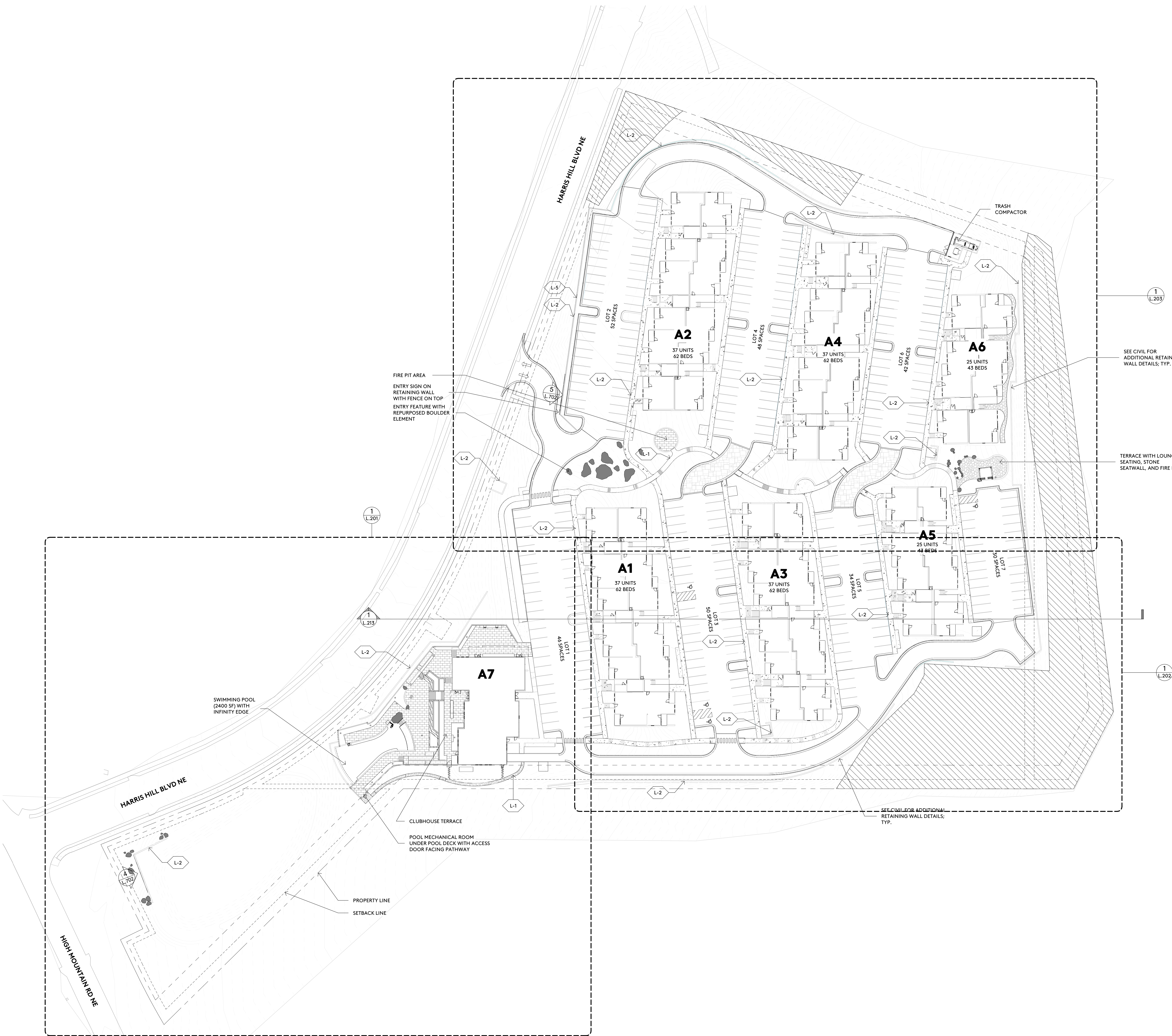
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GENERAL INFORMATION

3
NORTH

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16 JUNE 2021



SITE LEGEND

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE

MATERIALS KEY

- CONCRETE PAVING (4" THICK, REINFORCED)
- COLORLED CONCRETE PAVING (4" THICK, REINFORCED)
- LARGE FORMAT CONCRETE PAVER (PEDESTRIAN RATED)
- LARGE FORMAT CONCRETE PAVER (VEHICULAR RATED)
- LAWN
- SLOPE STABILIZATION ZONE AREA OF NON-DISTURBANCE
- DECOMPOSED GRANITE WITH BINDER
- BOULDER

LANDSCAPE NOTES

- L-1 5' WIDE CONCRETE PATHWAY, TYP.
- L-2 RETAINING WALL; SEE CIVIL
- L-3 POOL AREA STAIRS ON CONCRETE, TYP.; SEE DETAILS
- L-4 PARK AREA STAIRS ON AGGREGATE, TYP.; SEE DETAILS
- L-5 42" HEIGHT ALUMINUM GUARDRAIL
- L-6 ADA RAMP
- L-7 CIP RETAINING WALL WITH STONE VENEER; SEE DETAILS
- L-8 COMPOSITE WOOD STEPS
- L-9 BICYCLE PARKING
- L-10 CONCRETE TRANSFORMER PAD
- L-11 STEPPING STONES
- L-12 BOULDERS ON SITE
- L-13 PLANTING AREA IN HARDSCAPE

LAYOUT NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY PRIOR TO BEGINNING CONSTRUCTION FOR LOCATION OF ALL UTILITY LINES. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY CONFLICTS. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
- BASE INFORMATION HAS BEEN PROVIDED BY OWNER. 3NORTH ASSUMES NO RESPONSIBILITY FOR ACCURACY OF BASE INFORMATION. CONTRACTOR TO NOTIFY 3NORTH IMMEDIATELY OF ANY DISCREPANCIES IN BASE INFORMATION AND EXISTING FIELD CONDITIONS.
- CONTRACTOR TO ENSURE THAT ALL HARDSCAPE AREAS AND PATHS MEET MINIMUM LINEAR DIMENSIONS SHOWN TO ENSURE ACCESSIBILITY.
- ALL WALKS SHALL HAVE A MINIMUM CROSS SLOPE FOR POSITIVE DRAINAGE AND SHALL NOT EXCEED 2% CROSS SLOPE UNLESS APPROVED BY OWNER/ARCHITECT.
- EXPANSION JOINTS SHALL OCCUR WHERE PAVED SURFACES MEET WALLS AND WHERE HORIZONTAL SURFACES MEET VERTICAL SURFACES.
- CONTRACTOR TO VERIFY EXISTING ELEVATIONS AND UTILITY LOCATIONS (INCLUDING WATER, ELECTRIC, SEWER, DRAINAGE, AND MANHOLE LOCATION).
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE IRRIGATION SYSTEM. ALL NEW PLANTING BEDS SHALL BE PROVIDED FULL IRRIGATION COVERAGE. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL.
- ALL EXISTING TREES SHOWN ARE TO BE PRESERVED.
- CONTRACTOR TO REPAIR AND REPLACE EXISTING PAVING WHERE IMPACTED BY CONSTRUCTION.

OVERALL SITE PLAN

1" = 40'-0"

1

REVISIONS

BID SET

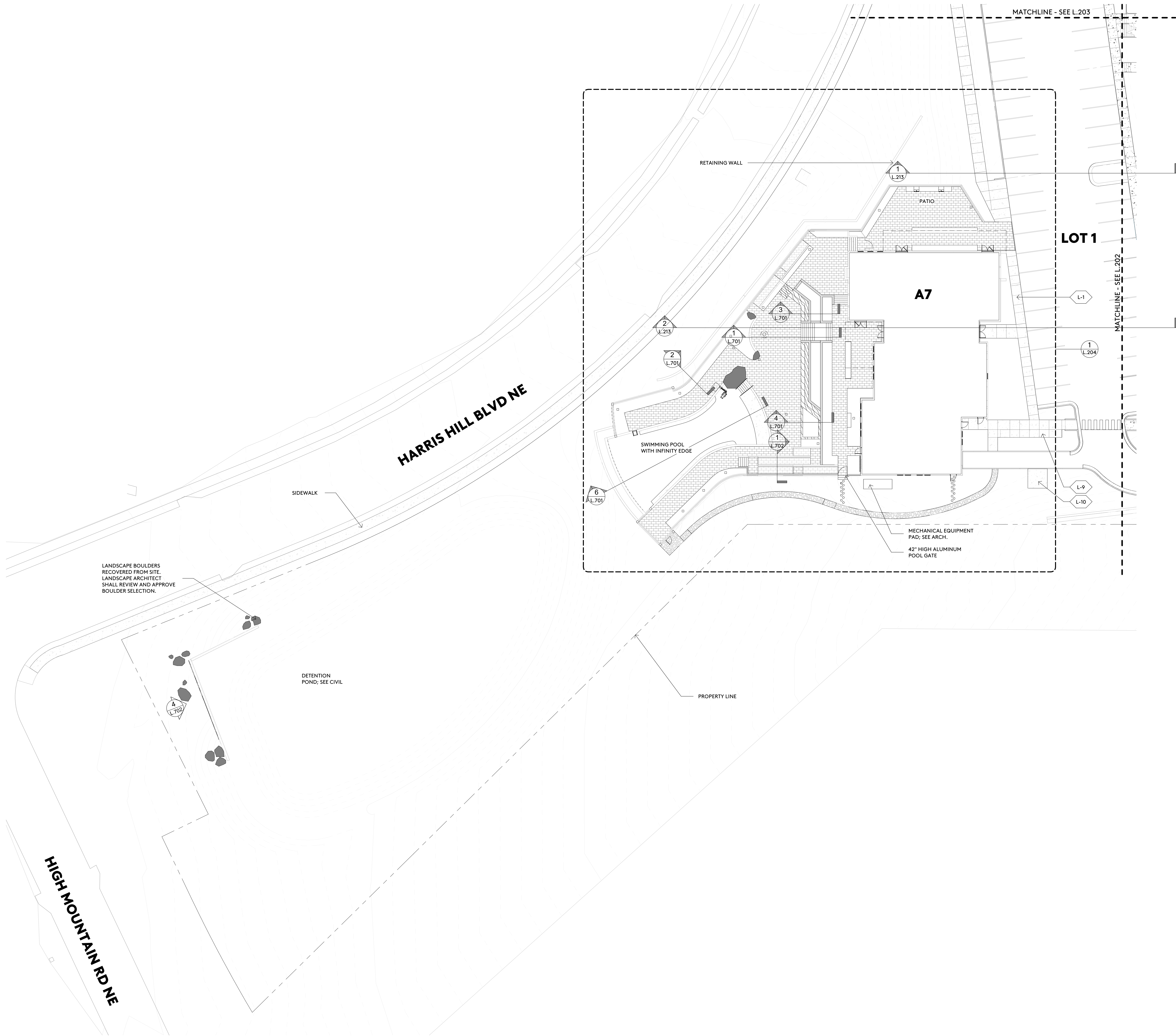
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L.100
OVERALL SITE PLAN
3
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LANDSCAPE NOTES

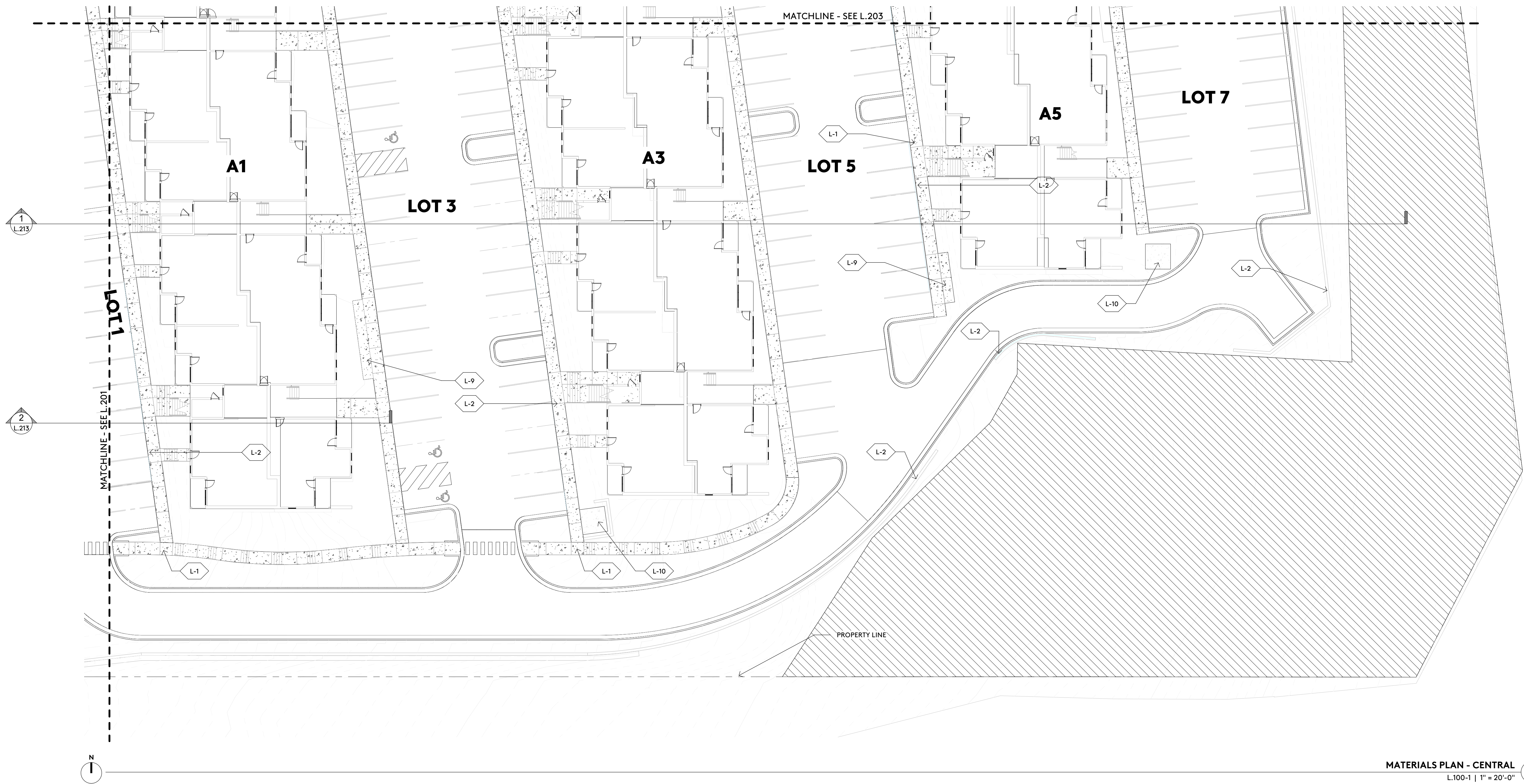
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HARDSCAPE NOTES

- 1. ALL DIMENSIONS ARE AT 90° UNLESS OTHERWISE NOTED.
- 2. ALL DIMENSIONS ARE FROM FACE OF MATERIAL OR EDGE OF SURFACE BEING DIMENSIONED, UNLESS OTHERWISE NOTED. DIMENSIONS TO BUILDING WALL ARE FACE OF WALL AT FINISHED GRADE.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY PRIOR TO BEGINNING CONSTRUCTION FOR LOCATION OF ALL UTILITY LINES. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY CONFLICTS. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
- 4. EXPANSION JOINTS SHALL OCCUR WHERE PAVED SURFACES MEET WALLS AND WHERE HORIZONTAL SURFACES MEET VERTICAL SURFACES, OR WHERE OTHERWISE NOTED ON LAYOUT PLAN. LANDSCAPE ARCHITECT TO APPROVE JOINT FILLER COLOR WHERE VISIBLE AT EXISTING BUILDING. CONTROL JOINTS AS SHOWN ON LAYOUT PLANS.
- 5. CONTRACTOR TO VERIFY EXISTING ELEVATIONS.
- 6. ALL STAIRS TO BE 6" RISE UNLESS OTHERWISE NOTED.
- 7. ALL WALKS SHALL HAVE A MINIMUM CROSS SLOPE FOR POSITIVE DRAINAGE AND SHALL NOT EXCEED 2% CROSS SLOPE UNLESS APPROVED BY OWNER/ARCHITECT.
- 8. ALL WALL DIMENSIONS ARE TO CENTER OF COLUMN OR EDGE OF BUILDING.
- 9. SEE CIVIL SHEETS FOR GRADING.
- 10. ALL POURED CONCRETE STAIRS AND WALLS TO HAVE INTEGRAL COLOR: DAVIS COLORS LIGHT GRAY

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4130 HIGH MOUNTAIN ROAD NE
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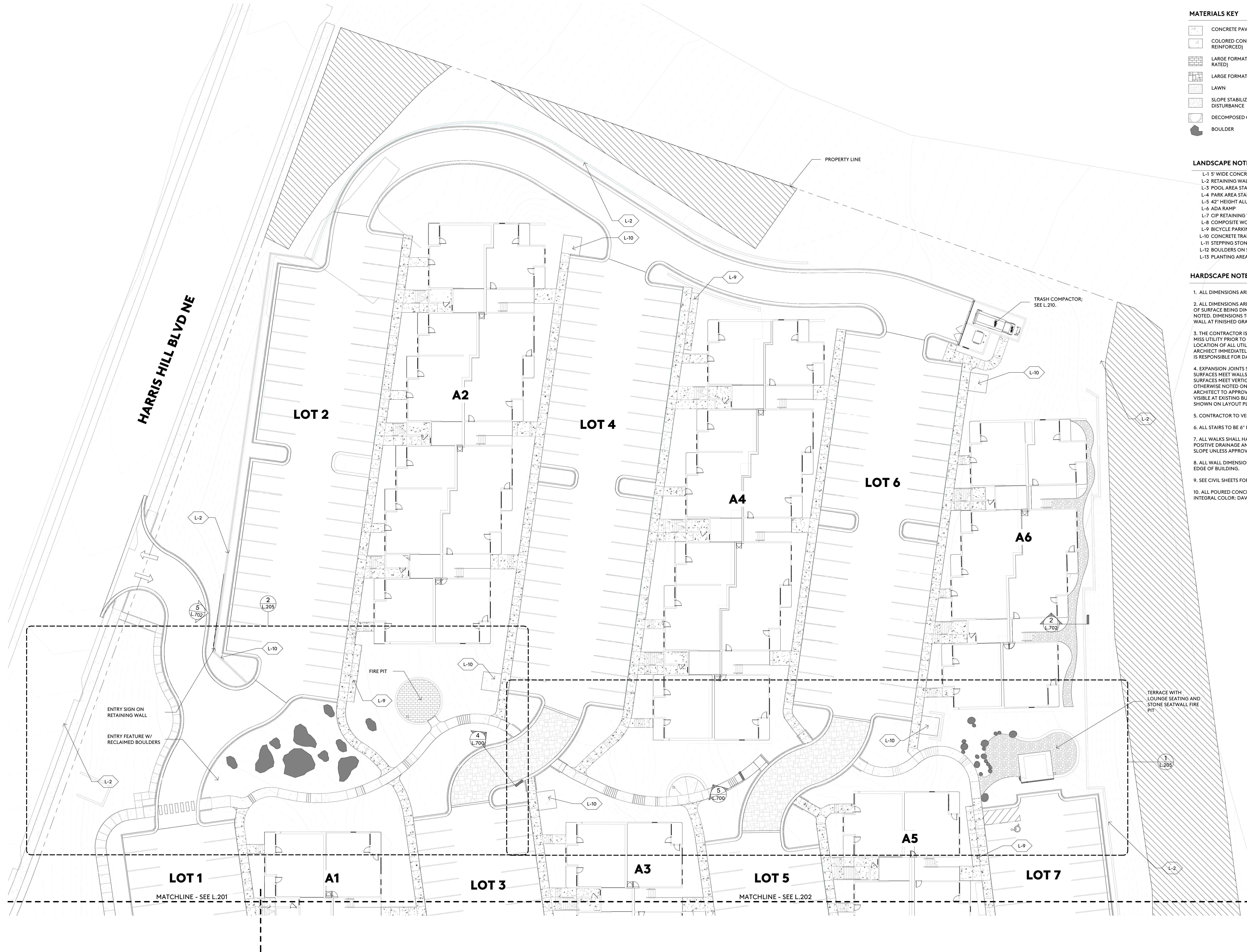
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- SEE CIVIL SHEETS FOR GRADING.
- ALL POURED CONCRETE STAIRS AND WALLS TO HAVE INTEGRAL COLOR: DAVIS COLORS LIGHT GRAY



SITE LEGEND

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE

MATERIALS KEY

- CONCRETE PAVING (4" THICK, REINFORCED)
- COLORADO CONCRETE PAVING (4" THICK, REINFORCED)
- LARGE FORMAT CONCRETE PAVER (PEDESTRIAN RATED)
- LARGE FORMAT CONCRETE PAVER (VEHICULAR RATED)
- LAWN
- SLOPE STABILIZATION ZONE AREA OF NON-DISTURBANCE
- DECOMPOSED GRANITE WITH BINDER
- BOULDER

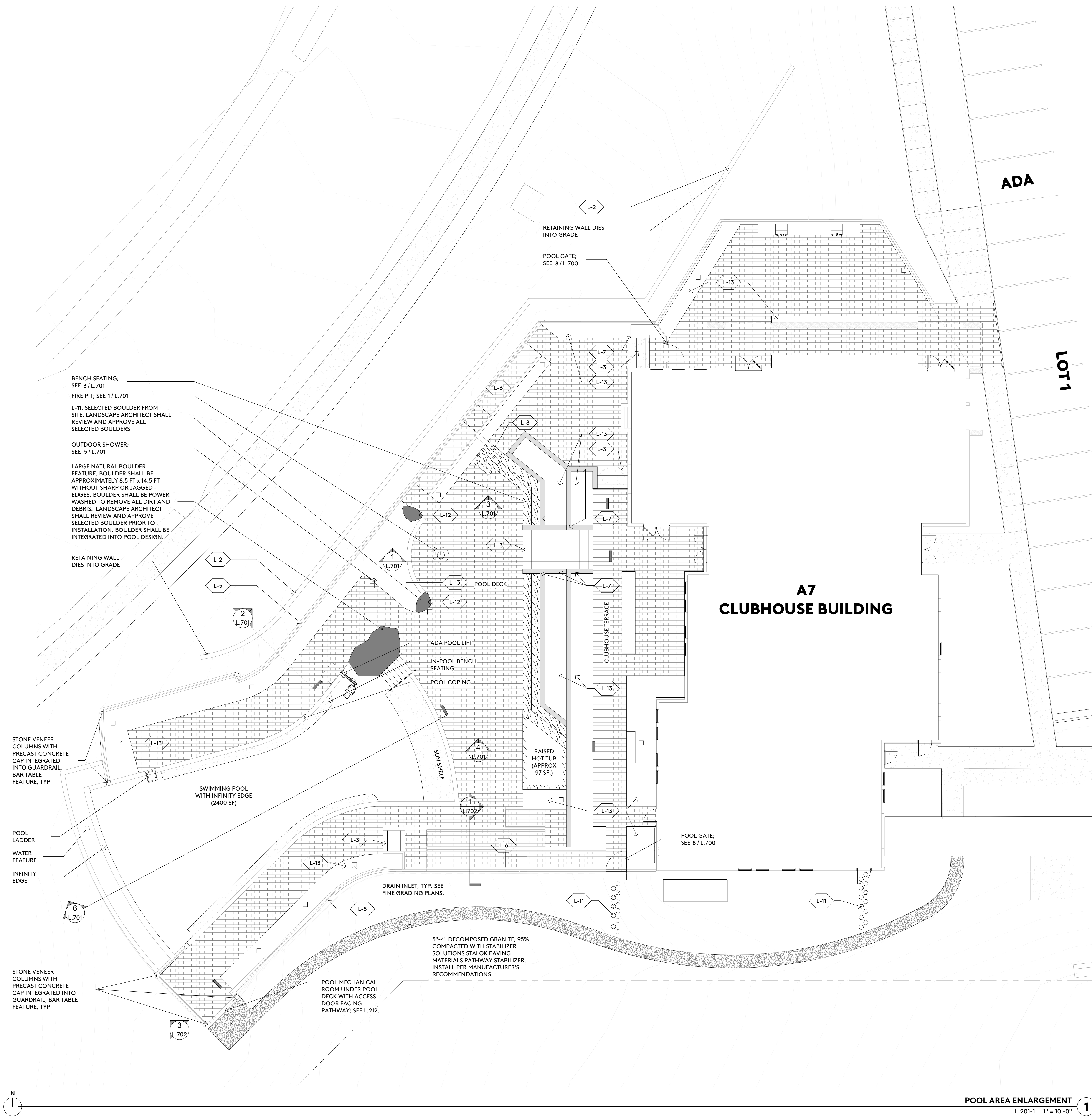
LANDSCAPE NOTES

- L-1 5' WIDE CONCRETE PATHWAY, TYP.
- L-2 RETAINING WALL; SEE CIVIL
- L-3 POOL AREA STAIRS ON CONCRETE, TYP.; SEE DETAILS
- L-4 PARK AREA STAIRS ON AGGREGATE, TYP.; SEE DETAILS
- L-5 42" HEIGHT ALUMINUM GUARDRAIL
- L-6 ADA RAMP
- L-7 CIP RETAINING WALL WITH STONE VENEER; SEE DETAILS
- L-8 COMPOSITE WOOD STEPS
- L-9 BICYCLE PARKING
- L-10 CONCRETE TRANSFORMER PAD
- L-11 STEPPING STONES
- L-12 BOULDERS ON SITE
- L-13 PLANTING AREA IN HARDSCAPE

HARDSCAPE NOTES

- ALL DIMENSIONS ARE AT 90° UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE FROM FACE OF MATERIAL OR EDGE OF SURFACE BEING DIMENSIONED. UNLESS OTHERWISE NOTED, DIMENSIONS TO BUILDING WALL ARE FACE OF WALL AT FINISHED GRADE.
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SITE LEGEND

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE

MATERIALS KEY

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- LAWN
- SLOPE STABILIZATION ZONE AREA OF NON-DISTURBANCE
- DECOMPOSED GRANITE WITH BINDER
- BOULDER

LANDSCAPE NOTES

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TERRACES AT HIGH MOUNTAIN
4130 HIGH MOUNTAIN ROAD NE
HUNTSVILLE, AL 35811

L.204
POOL AREA ENLARGEMENT
3
NORTH

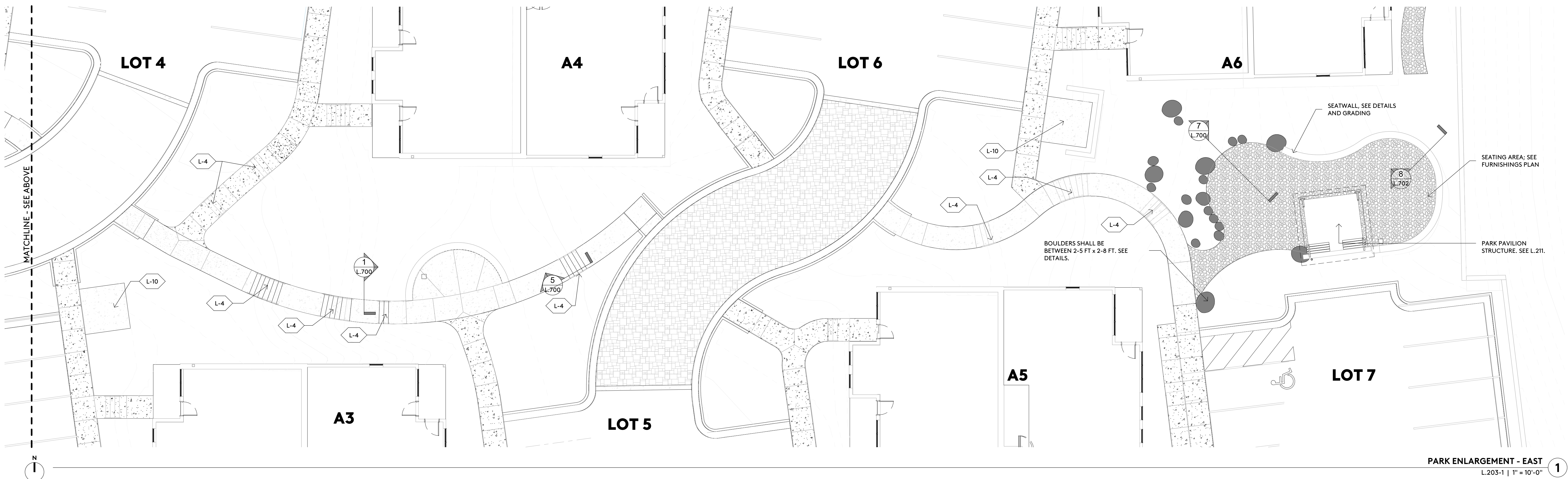
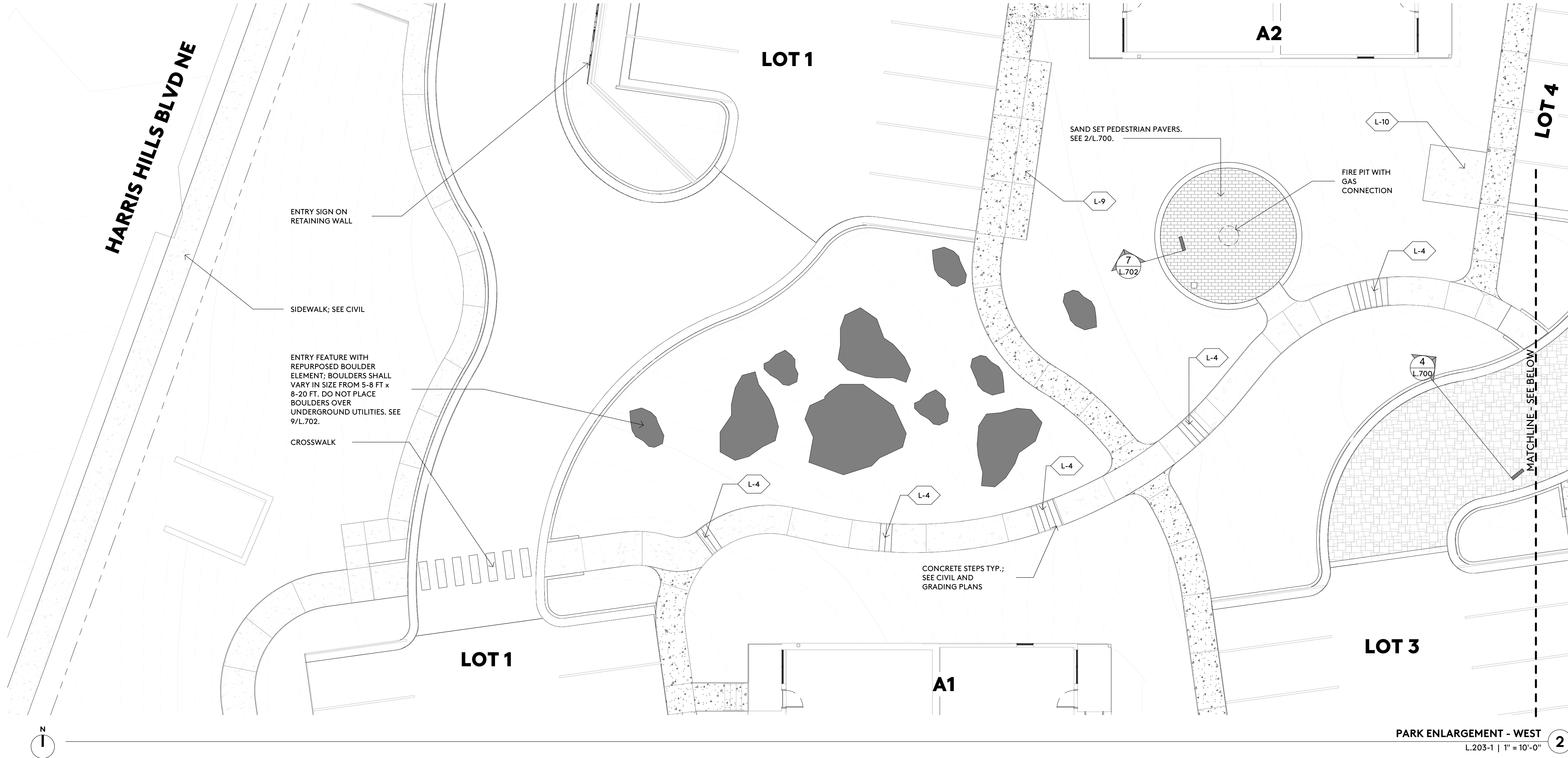
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REVISIONS

BID SET

16 JUNE 2021

POOL AREA ENLARGEMENT 1
L.201-1 | 1" = 10'-0"



SITE LEGEND

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE

MATERIALS KEY

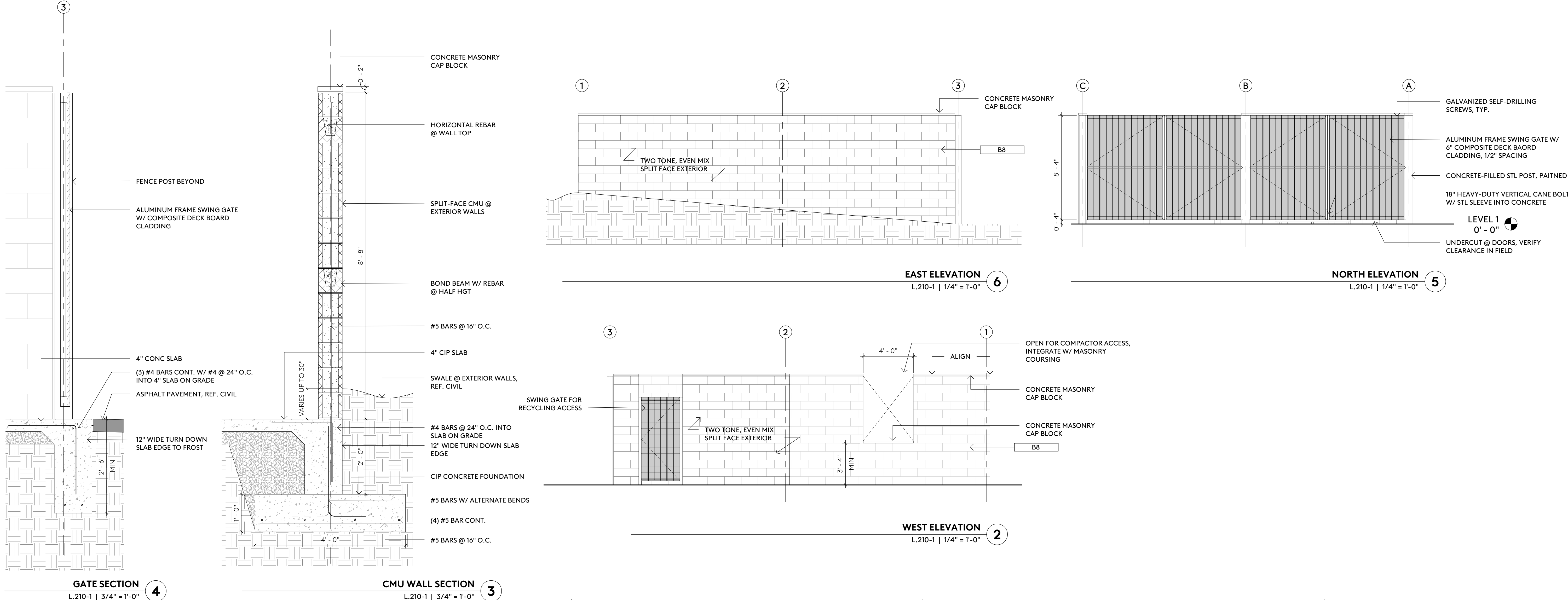
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- GENERAL NOTES**
- REFER TO WALL PARTITION LEGEND FOR ASSEMBLY DETAILS
 - DIMENSIONS SHOWN ARE TO FACE OF STUD, FACE OF MASONRY, FACE OF STOREFRONT SILL / HEAD, OR GRIDLINE, U.O.N.
 - GENERAL CONTRACTOR IS TO COORDINATE ALL DIMENSIONS PRIOR TO INSTALLATION AND VERIFY ANY DISCREPANCIES WITH THE ARCHITECT PRIOR TO INSTALLATION.
 - ALL FIXTURES TO BE INSTALLED COMPLIANT WITH ANSI STANDARDS WHERE REQUIRED BY CODE.
- KEYNOTES**

ASSEMBLY TAG LEGEND AND KEY

ASSEMBLY TAG

AD4A-1.S.A

FINISH MATERIAL
SEE MATERIAL CODE LIST

FRAMING TYPE
SEE FRAMING CODE SCHEDULE

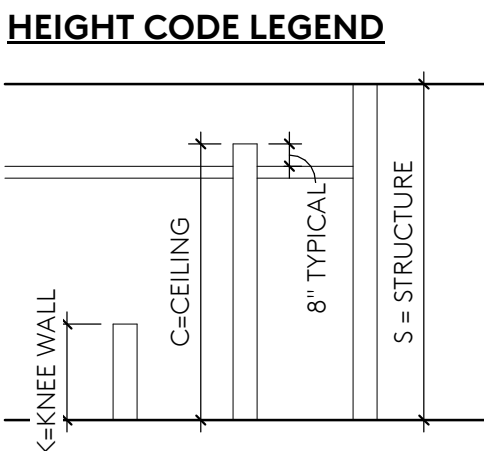
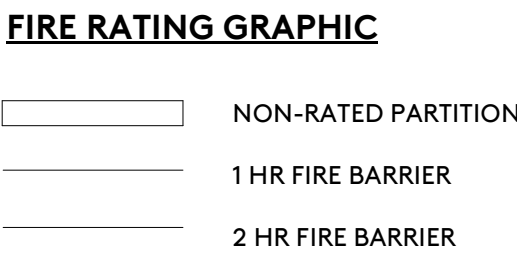
FRAMING WIDTH
SEE NOMINAL WIDTH SCHEDULE

FINISH MATERIAL
SEE MATERIAL CODE LIST

FIRE RATING (IF APPLICABLE)
RATING IN HOURS

HEIGHT CODE (IF APPLICABLE)
SEE HEIGHT CODE LEGEND

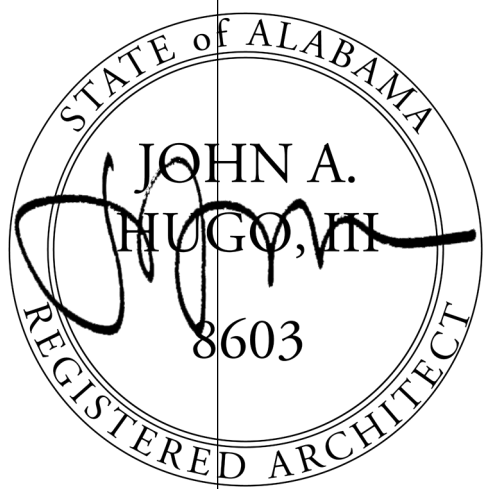
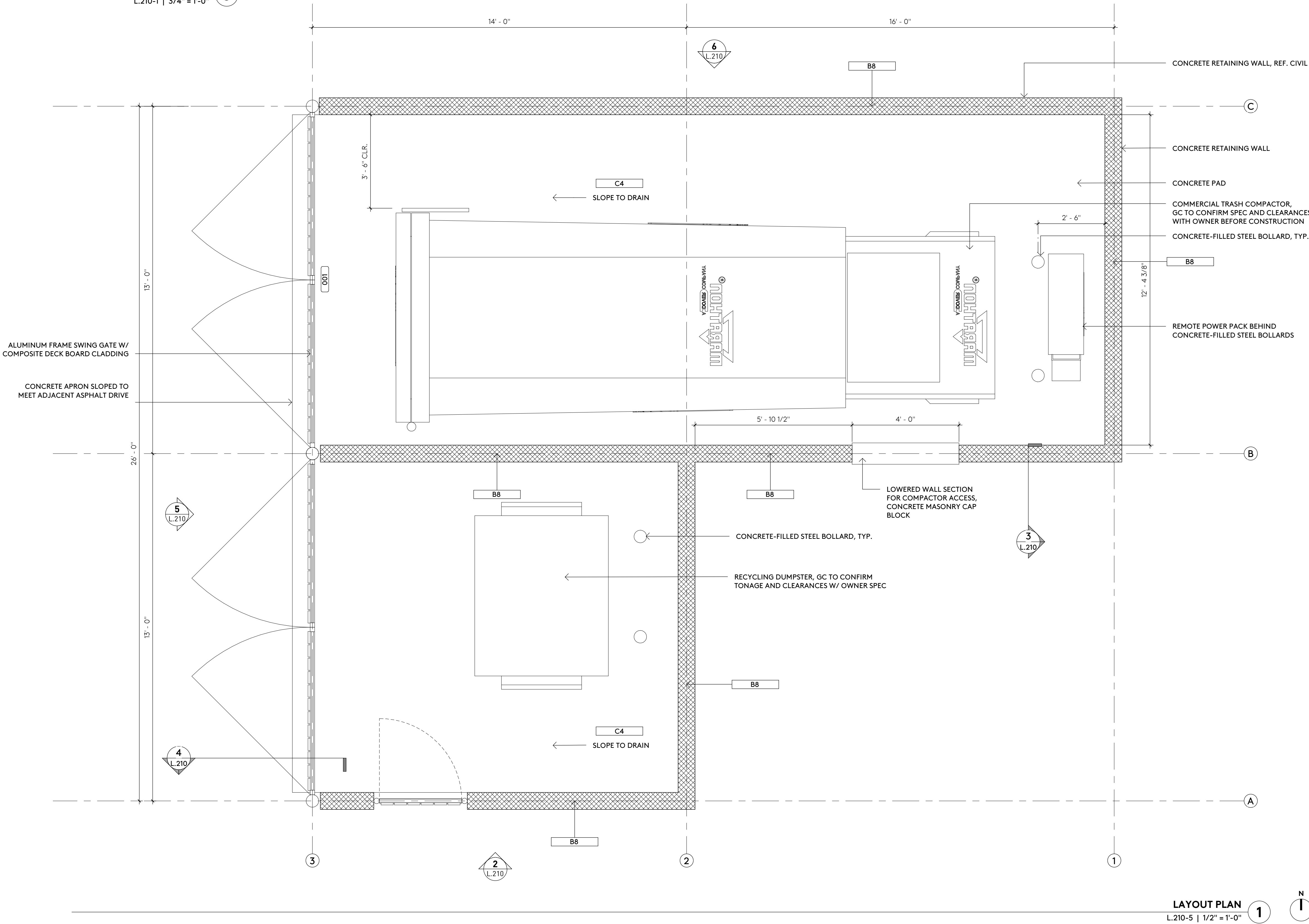
SOUND ATTENUATION (IF APPLICABLE)
SEE ATTENUATION CODE SCHEDULE



NOMINAL WIDTH SCHEDULE

#	METAL STUD	WOOD STUD	CMU
0	N/A	N/A	N/A
1	7/8"	N/A	N/A
2	1 5/8"	N/A	N/A
3	2 1/2"	N/A	N/A
4	3 5/8"	3 1/2"	3 5/8"
5	4"	N/A	N/A
6	6"	5 1/2"	5 5/8"
7	N/A	N/A	N/A
8	N/A	7 1/4"	7 5/8"
9	N/A	N/A	N/A
10	N/A	N/A	9 5/8"
11	N/A	N/A	N/A
12	N/A	N/A	11 5/8"

- MATERIAL CODE LIST**
- A GYPSUM WALLBOARD/CEILINGBOARD
 - B CONCRETE UNIT MASONRY
 - C CONCRETE (IN-SITU)
 - D METAL STUD (LIGHT GAUGE)
 - E METAL FURRING (LIGHT GAUGE)
 - F METAL PANELING
 - G GLASS (STOREFRONT/CURTAIN WALL)
 - H COMPOSITE PANEL (HARDIE)
 - I RIGID INSULATION
 - L STONE (VENEER/DRystack)
 - M MASONRY (BRICK)
 - P TPO/PVC
 - R CARPET
 - S STEEL
 - T TILE
 - U ACOUSTIC CEILING TILE
 - V ACOUSTIC FABRIC
 - W WOOD
 - X GRAVEL
 - Y PLYWOOD/SUBSTRATE
 - Z ASPHALT/TAR



TERRACES AT HIGH MOUNTAIN
4130 HIGH MOUNTAIN ROAD NE
HUNTSVILLE, AL 35811



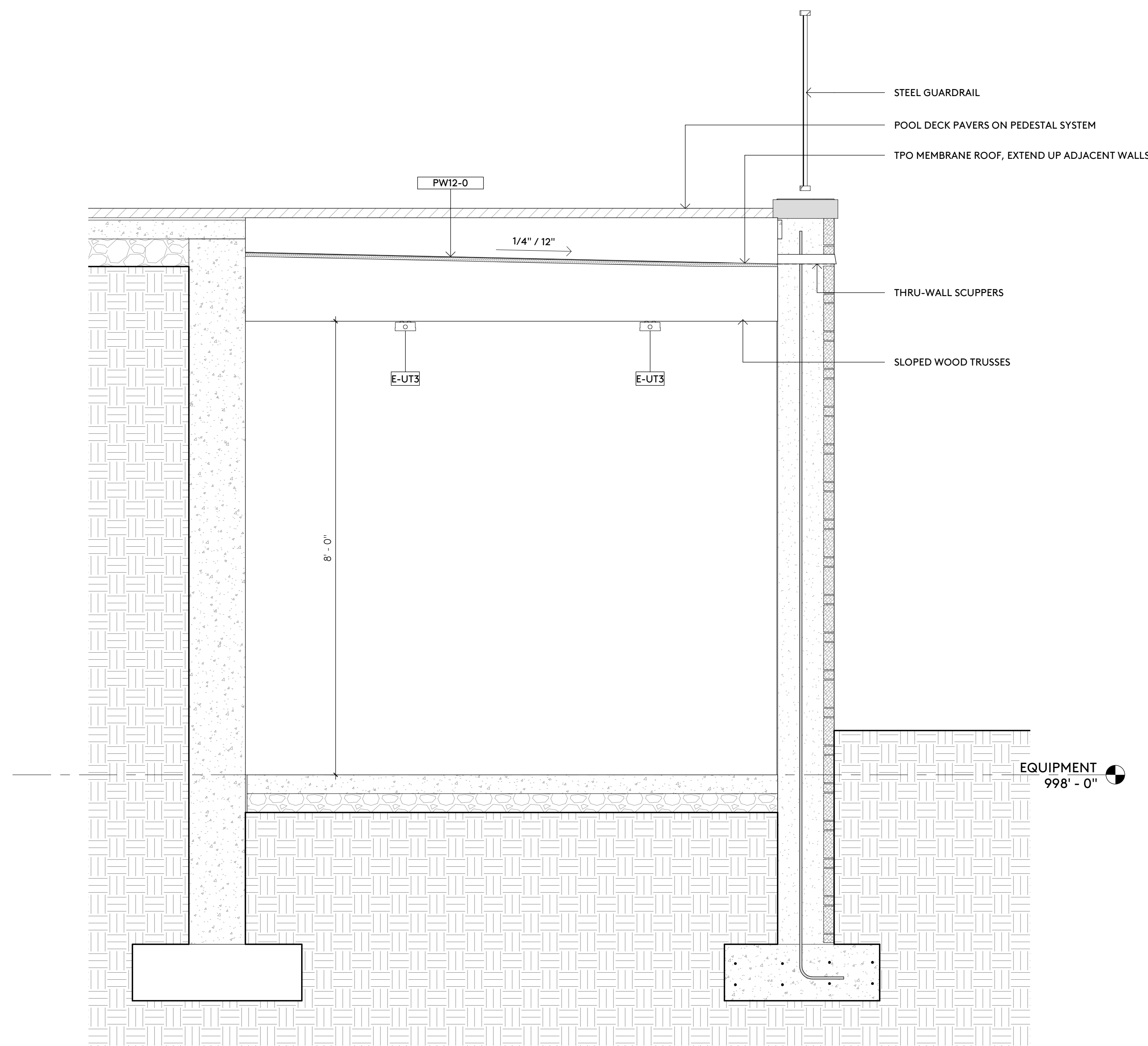
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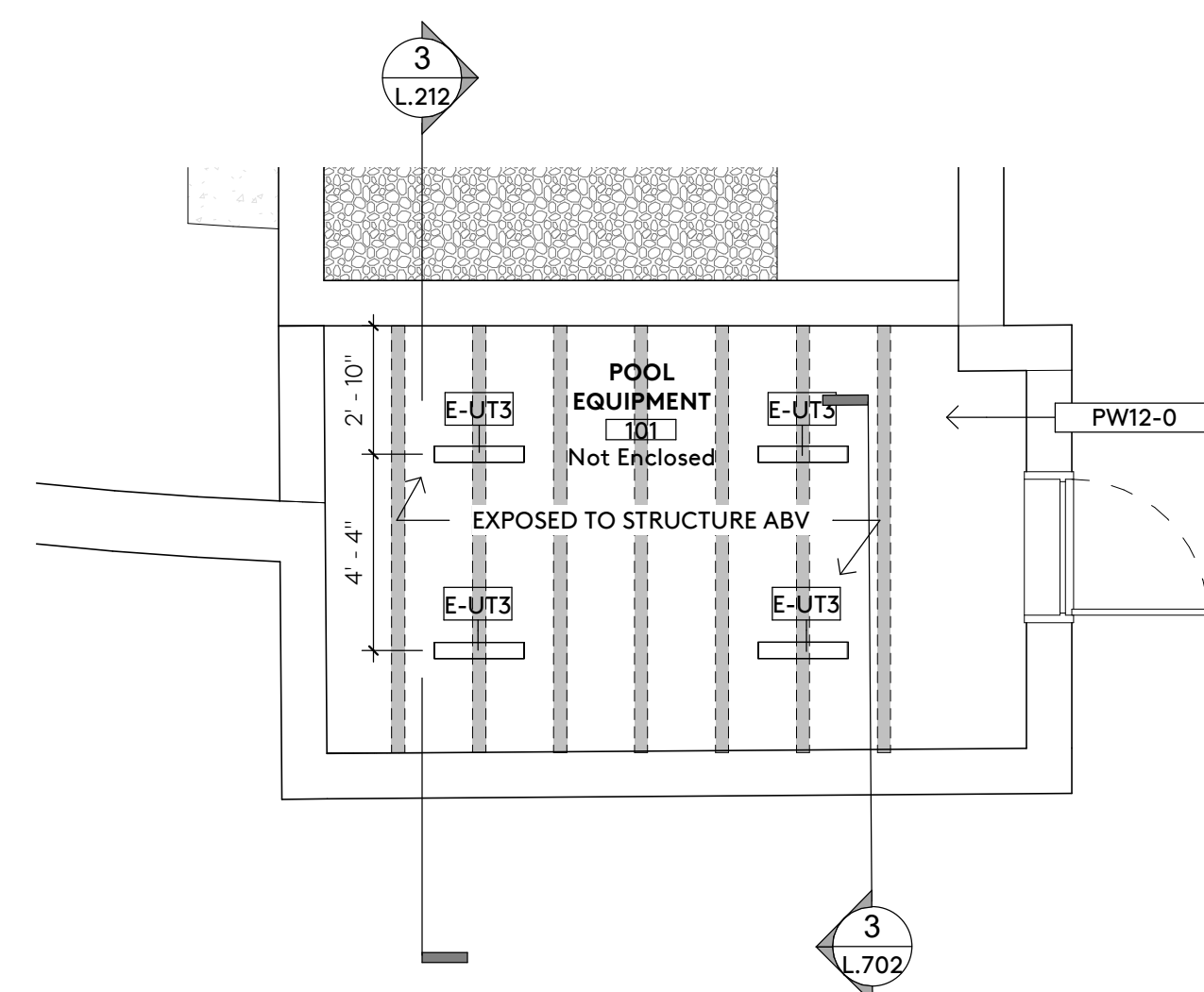
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REVISIONS

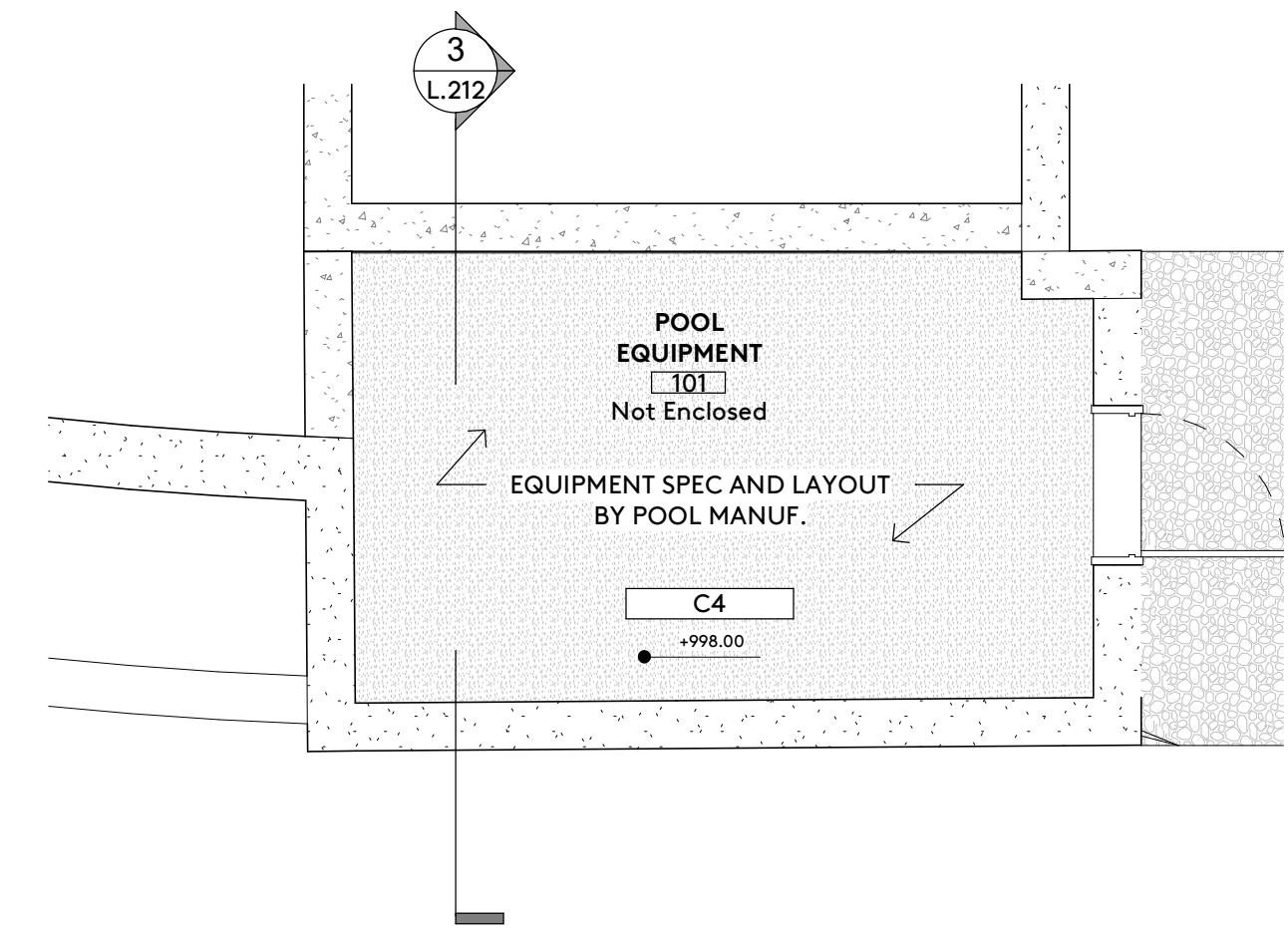
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POOL EQUIPMENT ROOM SECTION 3
L.212-1 | 3/4" = 1'-0"



POOL EQUIPMENT RCP 2
L.212-3 | 1/4" = 1'-0"



POOL EQUIPMENT PLAN 1
L.212-3 | 1/4" = 1'-0"



TERRACES AT HIGH MOUNTAIN
4130 HIGH MOUNTAIN ROAD NE
HUNTSVILLE, AL 35811

16 JUNE 2021



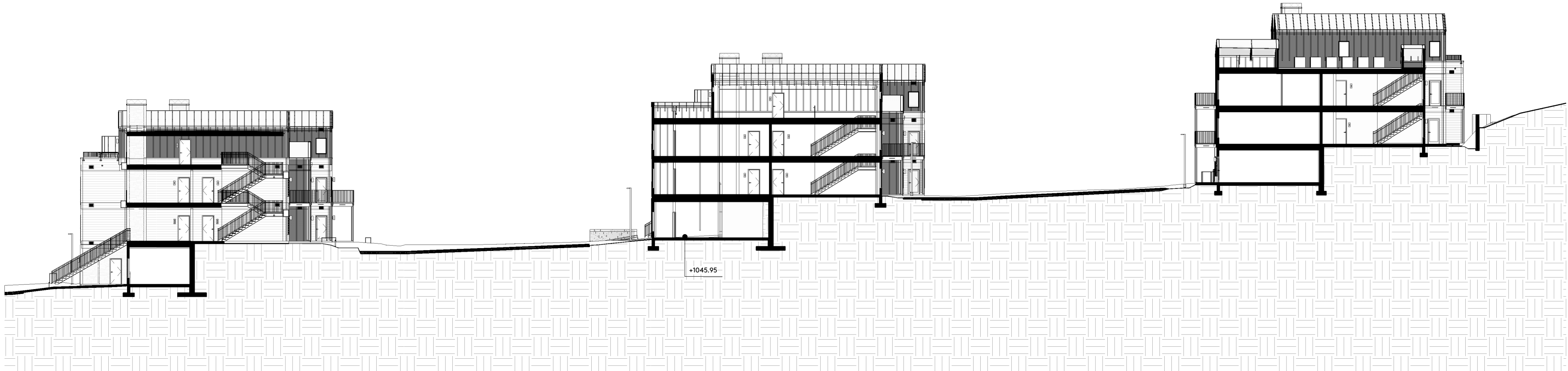
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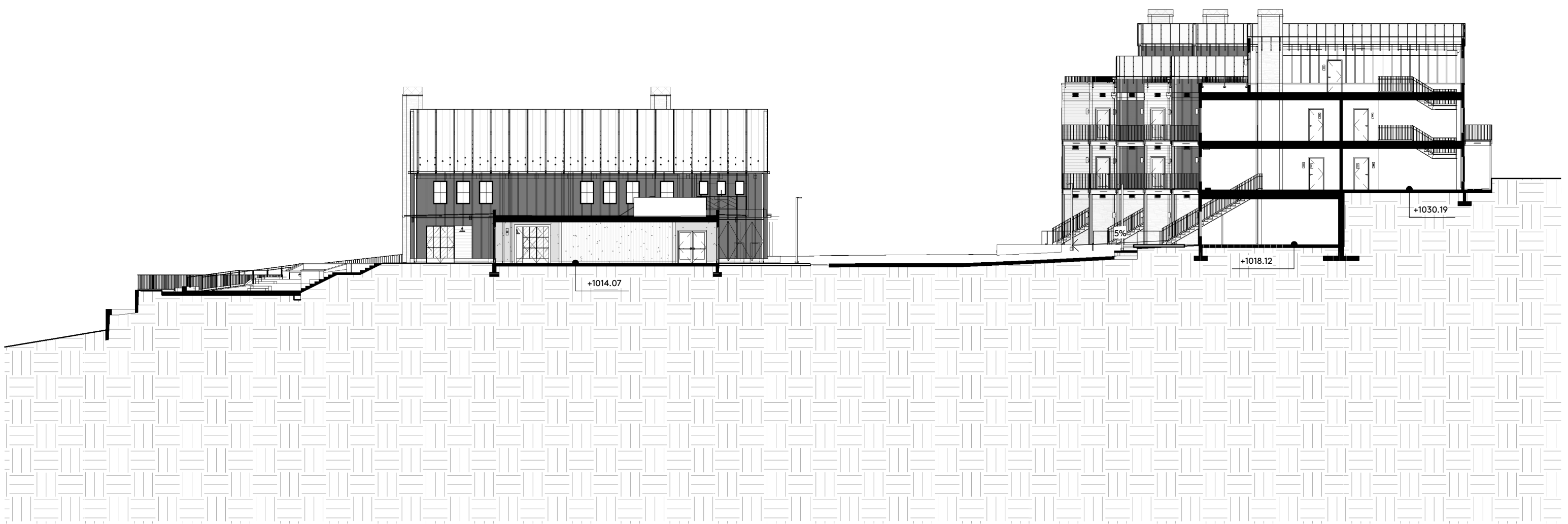
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SITE LEGEND

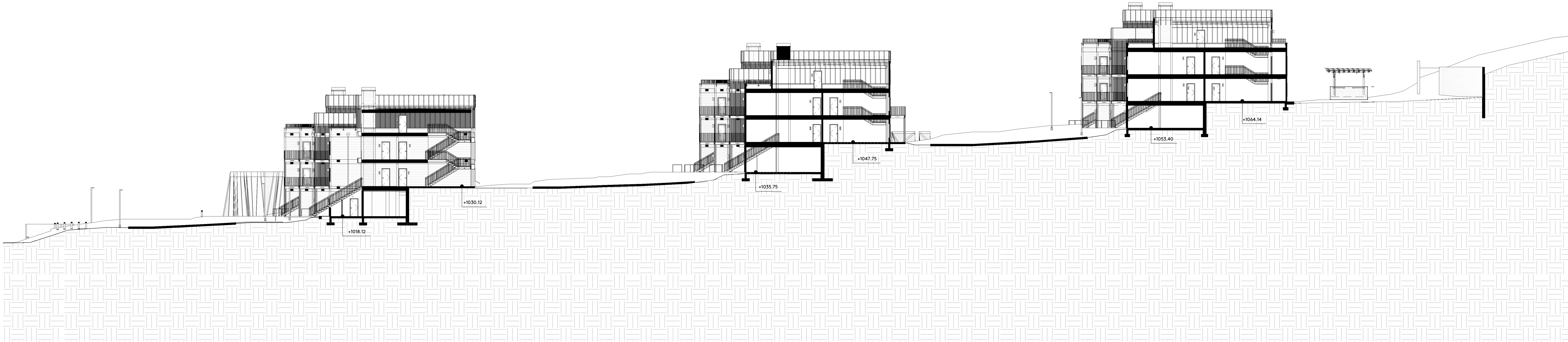
- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE



SITE SECTION 3
3/64" = 1'-0" 3



SITE SECTION 2
L:201'-1" | 3/64" = 1'-0" 2



SITE SECTION 1
L:100'-1" | 3/64" = 1'-0" 1

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TERRACES AT HIGH MOUNTAIN
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HUNTSVILLE, AL 35811

16 JUNE 2021

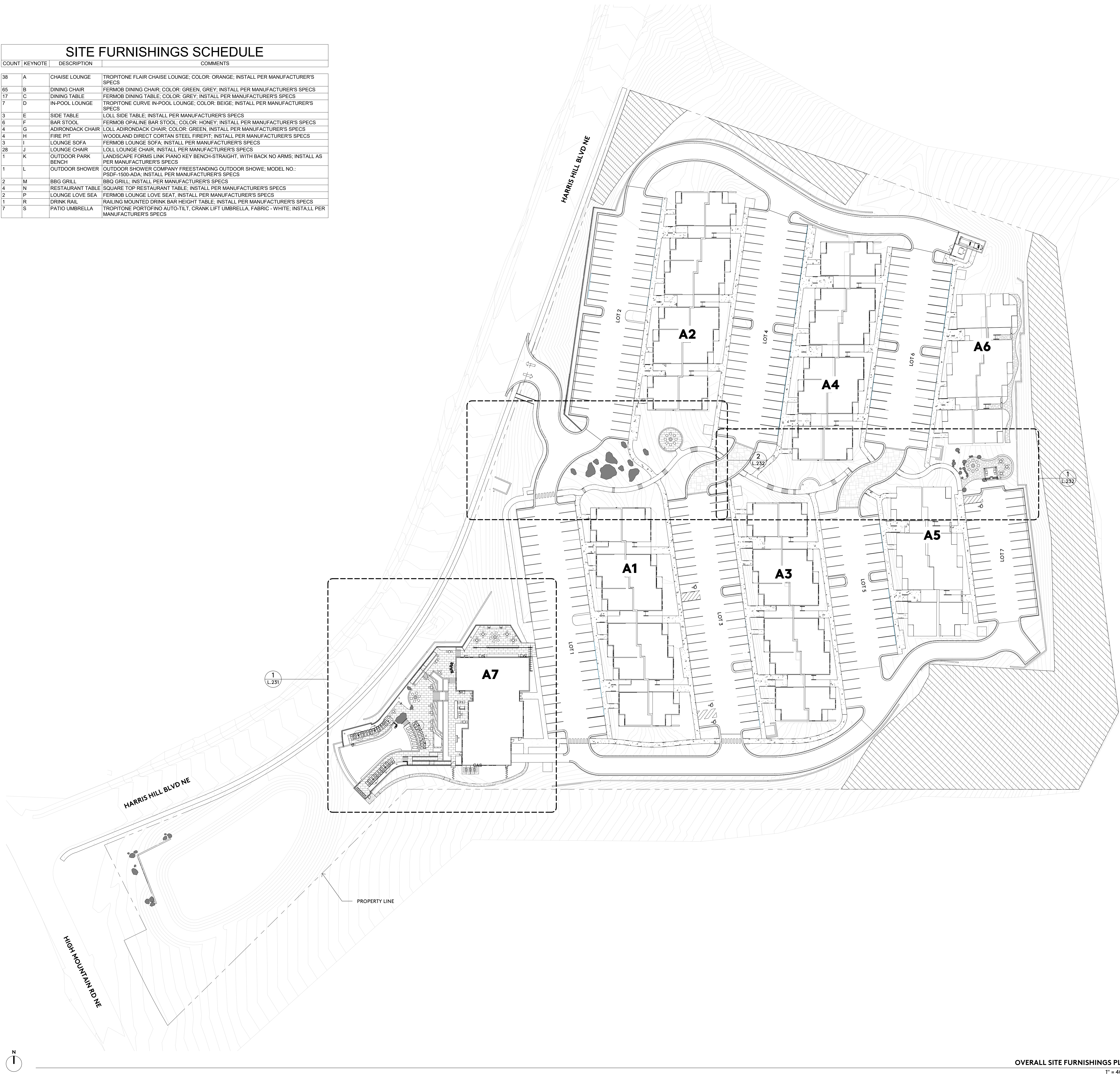


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SITE FURNISHINGS SCHEDULE			
COUNT	KEYNOTE	DESCRIPTION	COMMENTS
38	A	CHAISE LOUNGE	TROPITONE FLAIR CHAISE LOUNGE; COLOR: ORANGE; INSTALL PER MANUFACTURER'S SPECS
65	B	DINING CHAIR	FERMOB DINING CHAIR; COLOR: GREEN, GREY; INSTALL PER MANUFACTURER'S SPECS
17	C	DINING TABLE	FERMOB DINING TABLE; COLOR: GREY; INSTALL PER MANUFACTURER'S SPECS
7	D	IN-POOL LOUNGE	TROPITONE CURVE IN-POOL LOUNGE; COLOR: BEIGE; INSTALL PER MANUFACTURER'S SPECS
3	E	SIDE TABLE	LOLL SIDE TABLE; INSTALL PER MANUFACTURER'S SPECS
6	F	BAR STOOL	FERMOB OPALINE BAR STOOL; COLOR: HONEY; INSTALL PER MANUFACTURER'S SPECS
4	G	ADIRONDACK CHAIR	LOLL ADIRONDACK CHAIR; COLOR: GREEN; INSTALL PER MANUFACTURER'S SPECS
4	H	FIRE PIT	WOODLAND DIRECT CORTAN STEEL FIREPIT; INSTALL PER MANUFACTURER'S SPECS
3	I	LOUNGE SOFA	FERMOB LOUNGE SOFA; INSTALL PER MANUFACTURER'S SPECS
28	J	LOUNGE CHAIR	LOLL LOUNGE CHAIR; INSTALL PER MANUFACTURER'S SPECS
1	K	OUTDOOR PARK BENCH	LANDSCAPE FORMS LINK PIANO KEY BENCH-STRAIGHT, WITH BACK NO ARMS; INSTALL AS PER MANUFACTURER'S SPECS
1	L	OUTDOOR SHOWER	OUTDOOR SHOWER COMPANY FREESTANDING OUTDOOR SHOWER; MODEL NO.: PSDP-1500-ADA; INSTALL PER MANUFACTURER'S SPECS
2	M	BBQ GRILL	BBQ GRILL; INSTALL PER MANUFACTURER'S SPECS
4	N	RESTAURANT TABLE	SQUARE TOP RESTAURANT TABLE; INSTALL PER MANUFACTURER'S SPECS
2	P	LOUNGE LOVE SEAT	FERMOB LOUNGE LOVE SEAT; INSTALL PER MANUFACTURER'S SPECS
1	R	DRINK RAIL	RAILING MOUNTED DRINK BAR HEIGHT TABLE; INSTALL PER MANUFACTURER'S SPECS
7	S	PATIO UMBRELLA	TROPITONE PORTOFINO AUTO-TILT, CRANK LIFT UMBRELLA, FABRIC - WHITE; INSTALL PER MANUFACTURER'S SPECS

SITE LEGEND

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- EASEMENT LINE



TERRACES AT HIGH MOUNTAIN
4130 HIGH MOUNTAIN ROAD NE
HUNTSVILLE, AL 35811

16 JUNE 2021

L.230
OVERALL SITE FURNISHINGS
PLAN



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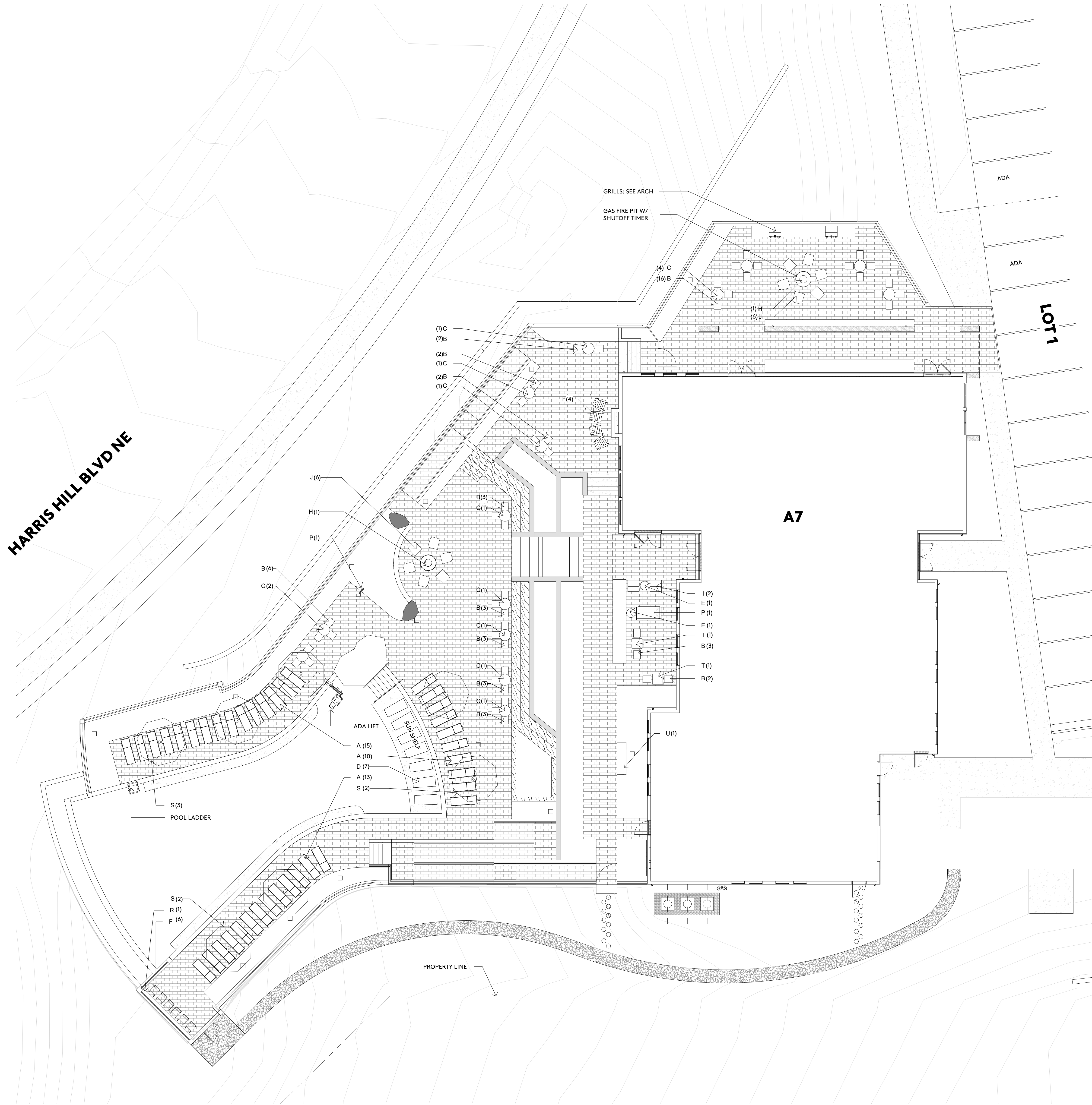
REVISIONS

BID SET

OVERALL SITE FURNISHINGS PLAN

1" = 40'-0"

1



SITE LEGEND

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE

POOL AREA FURNISHINGS PLAN

1

L.230-1 | 1" = 10'-0"

TERRACES AT HIGH MOUNTAIN

4130 HIGH MOUNTAIN ROAD NE
HUNTSVILLE, AL 35811

16 JUNE 2021

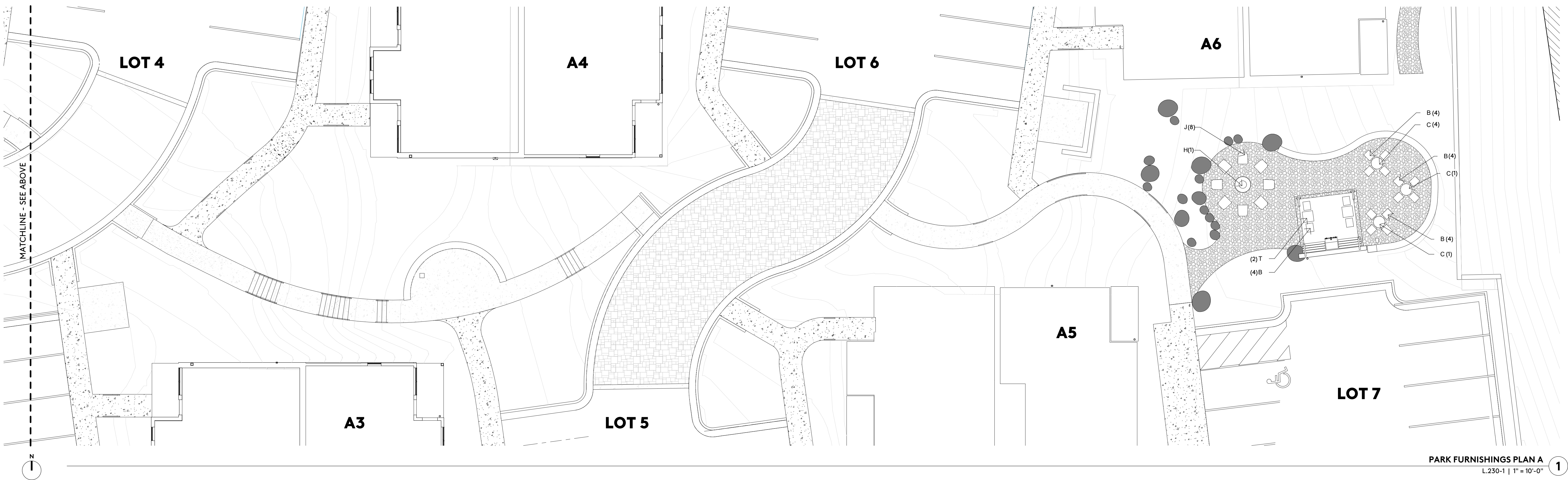
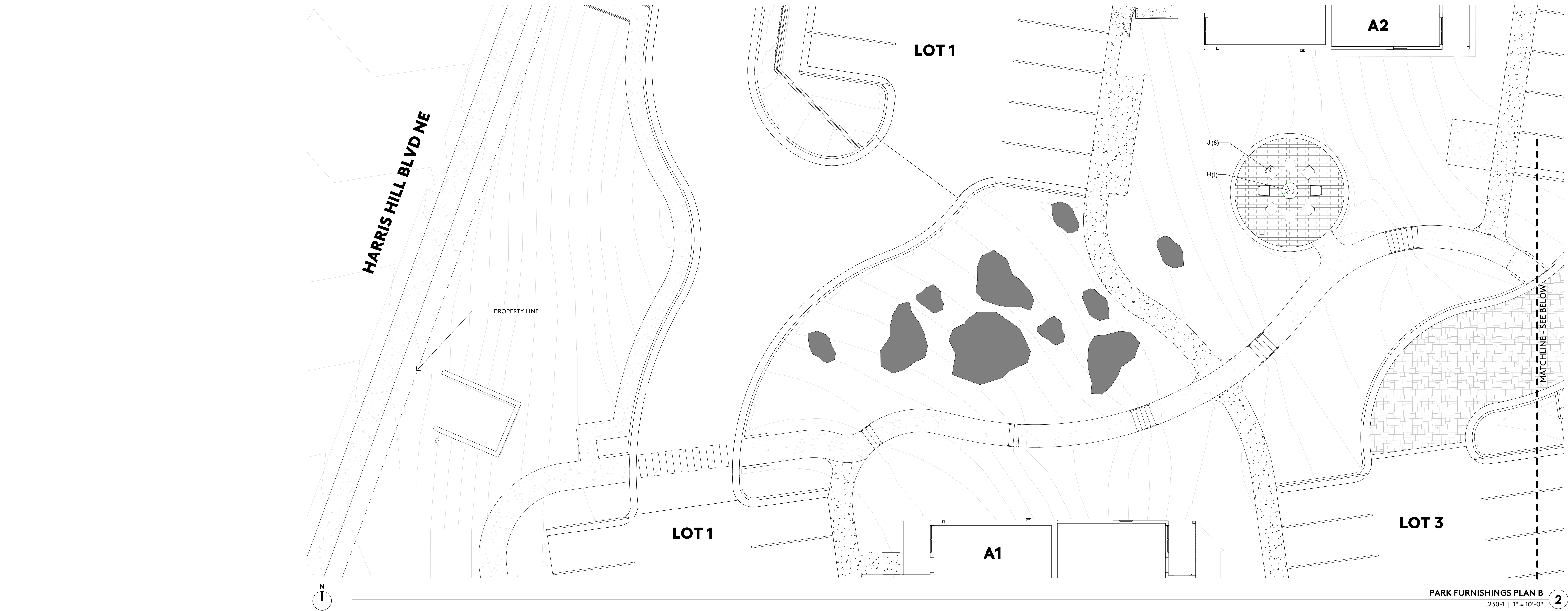
L.231
POOL AREA FURNISHINGS
PLAN



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REVISIONS

L.232

PARK FURNISHINGS PLAN

3

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TERRACES AT HIGH MOUNTAIN

4130 HIGH MOUNTAIN ROAD NE

HUNTSVILLE, AL 35811

16 JUNE 2021

BID SET



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- COLORLED CONCRETE PAVING (4" THICK, REINFORCED)
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- LAWN
- SLOPE STABILIZATION ZONE AREA OF NON-DISTURBANCE
- DECOMPOSED GRANITE WITH BINDER
- BOULDER

LANDSCAPE NOTES

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LAYOUT NOTES

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- BASE INFORMATION HAS BEEN PROVIDED BY OWNER. 3NORTH ASSUMES NO RESPONSIBILITY FOR ACCURACY OF BASE INFORMATION. CONTRACTOR TO NOTIFY 3NORTH IMMEDIATELY OF ANY DISCREPANCIES IN BASE INFORMATION AND EXISTING FIELD CONDITIONS.
- CONTRACTOR TO ENSURE THAT ALL HARDSCAPE AREAS AND PATHS MEET MINIMUM LINEAR DIMENSIONS SHOWN TO ENSURE ACCESSIBILITY.
- ALL WALKS SHALL HAVE A MINIMUM CROSS SLOPE FOR POSITIVE DRAINAGE AND SHALL NOT EXCEED 2% CROSS SLOPE UNLESS APPROVED BY OWNER/ARCHITECT.
- EXPANSION JOINTS SHALL OCCUR WHERE PAVED SURFACES MEET WALLS AND WHERE HORIZONTAL SURFACES MEET VERTICAL SURFACES.
- CONTRACTOR TO VERIFY EXISTING ELEVATIONS AND UTILITY LOCATIONS (INCLUDING WATER, ELECTRIC, SEWER, DRAINAGE, AND MANHOLE LOCATION).
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE IRRIGATION SYSTEM. ALL NEW PLANTING BEDS SHALL BE PROVIDED FULL IRRIGATION COVERAGE. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL.
- ALL EXISTING TREES SHOWN ARE TO BE PRESERVED.
- CONTRACTOR TO REPAIR AND REPLACE EXISTING PAVING WHERE IMPACTED BY CONSTRUCTION.

SITE LAYOUT PLAN

1"

1

TERRACES AT HIGH MOUNTAIN
4130 HIGH MOUNTAIN ROAD NE
HUNTSVILLE, AL 35811

16 JUNE 2021

L.300
OVERALL LAYOUT PLAN

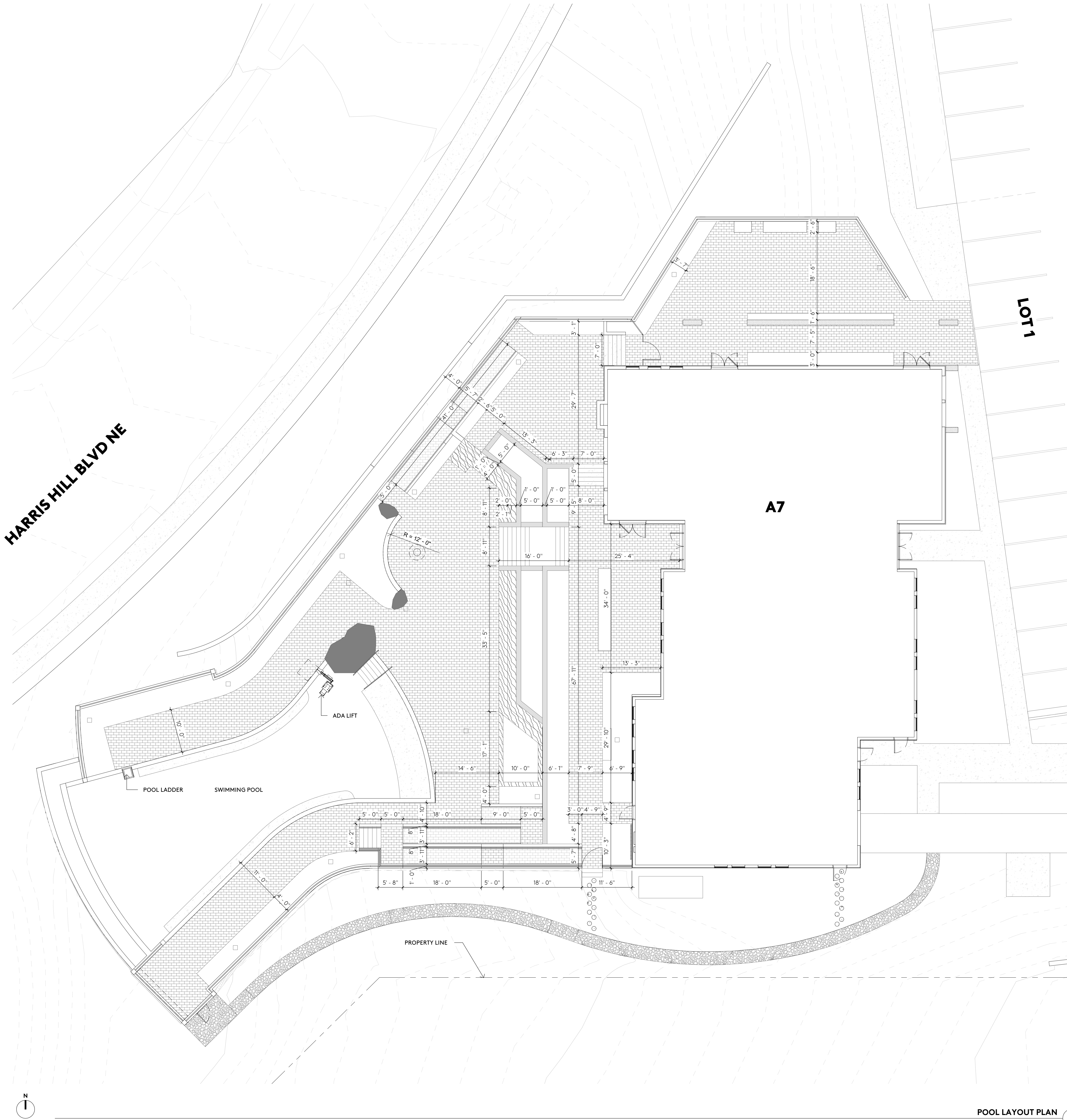


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REVISIONS

BID SET



SITE LEGEND

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- SETBACK LINE
- EASEMENT LINE

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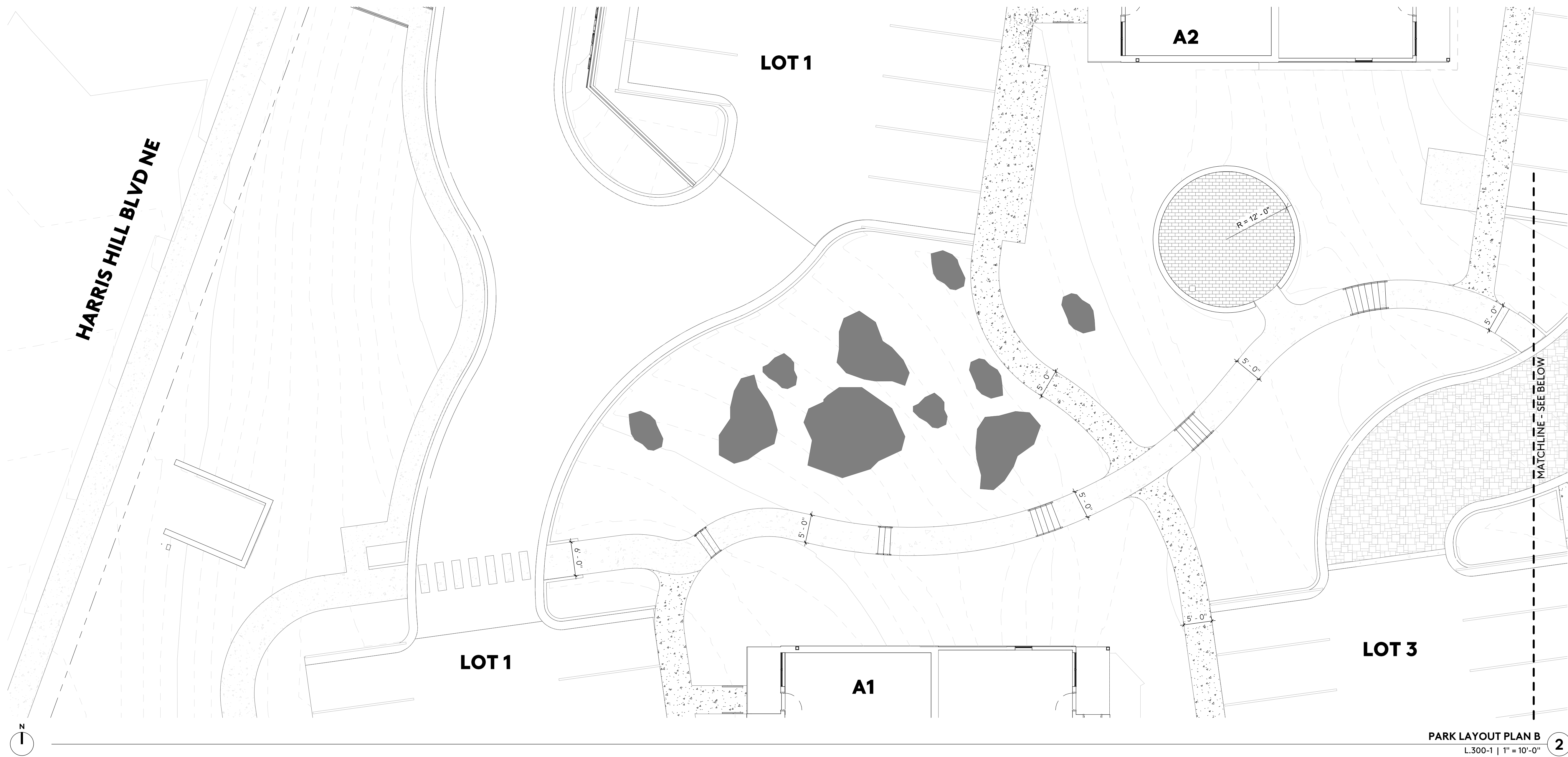
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- L-3 POOL AREA STAIRS ON CONCRETE, TYP.; SEE DETAILS
- L-4 PARK AREA STAIRS ON AGGREGATE, TYP.; SEE DETAILS
- L-5 42" HEIGHT ALUMINUM GUARDRAIL
- L-6 ADA RAMP
- L-7 CIP RETAINING WALL WITH STONE VENEER; SEE DETAILS
- L-8 COMPOSITE WOOD STEPS
- L-9 BICYCLE PARKING
- L-10 CONCRETE TRANSFORMER PAD
- L-11 STEPPING STONES
- L-12 BOULDERS ON SITE
- L-13 PLANTING AREA IN HARDSCAPE

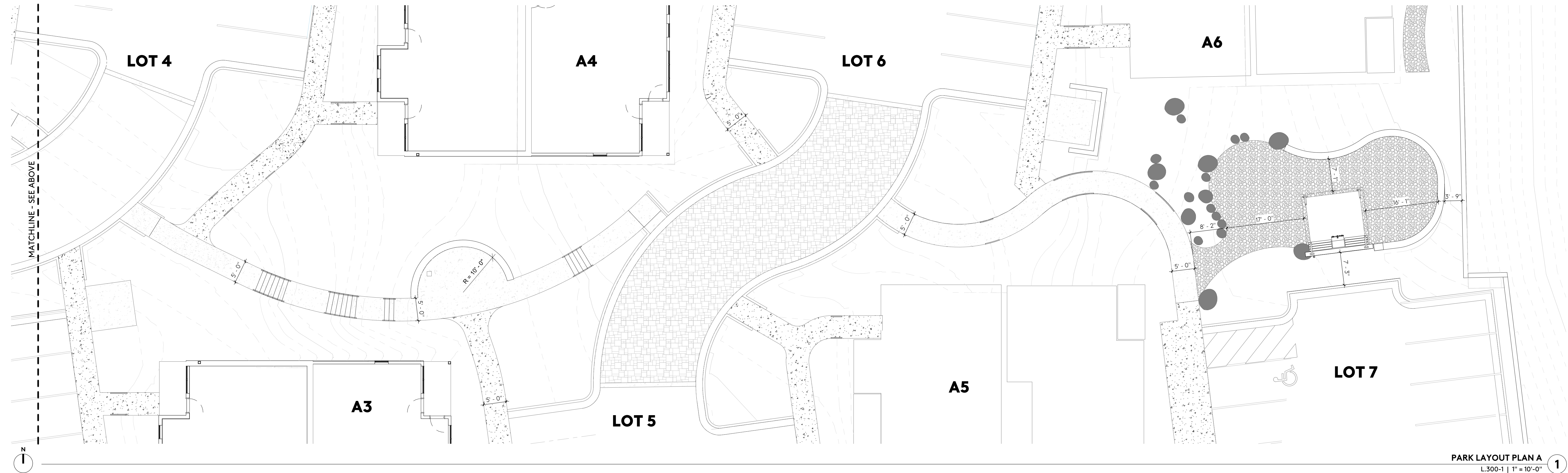
LAYOUT NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY PRIOR TO BEGINNING CONSTRUCTION FOR LOCATION OF ALL UTILITY LINES. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY CONFLICTS. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
- BASE INFORMATION HAS BEEN PROVIDED BY OWNER. 3NORTH ASSUMES NO RESPONSIBILITY FOR ACCURACY OF BASE INFORMATION. CONTRACTOR TO NOTIFY 3NORTH IMMEDIATELY OF ANY DISCREPANCIES IN BASE INFORMATION AND EXISTING FIELD CONDITIONS.
- CONTRACTOR TO ENSURE THAT ALL HARDSCAPE AREAS AND PATHS MEET MINIMUM LINEAR DIMENSIONS SHOWN TO ENSURE ACCESSIBILITY.
- ALL WALKS SHALL HAVE A MINIMUM CROSS SLOPE FOR POSITIVE DRAINAGE AND SHALL NOT EXCEED 2% CROSS SLOPE UNLESS APPROVED BY OWNER/ARCHITECT.
- EXPANSION JOINTS SHALL OCCUR WHERE PAVED SURFACES MEET WALLS AND WHERE HORIZONTAL SURFACES MEET VERTICAL SURFACES.
- CONTRACTOR TO VERIFY EXISTING ELEVATIONS AND UTILITY LOCATIONS (INCLUDING WATER, ELECTRIC, SEWER, DRAINAGE, AND MANHOLE LOCATION).
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE IRRIGATION SYSTEM. ALL NEW PLANTING BEDS SHALL BE PROVIDED FULL IRRIGATION COVERAGE. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL.
- ALL EXISTING TREES SHOWN ARE TO BE PRESERVED.
- CONTRACTOR TO REPAIR AND REPLACE EXISTING PAVING WHERE IMPACTED BY CONSTRUCTION.

POOL LAYOUT PLAN 1
L.300-1 | 1" = 10'-0"



PARK LAYOUT PLAN B
L.300-1 | 1" = 10'-0" 2



PARK LAYOUT PLAN A
L.300-1 | 1" = 10'-0" 1

SITE LEGEND

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE

MATERIALS KEY

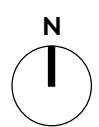
- CONCRETE PAVING (4" THICK, REINFORCED)
- COLORED CONCRETE PAVING (4" THICK, REINFORCED)
- LARGE FORMAT CONCRETE PAVER (PEDESTRIAN RATED)
- LARGE FORMAT CONCRETE PAVER (VEHICULAR RATED)
- LAWN
- SLOPE STABILIZATION ZONE AREA OF NON-DISTURBANCE
- DECOMPOSED GRANITE WITH BINDER
- BOULDER

LANDSCAPE NOTES

- L-1 5' WIDE CONCRETE PATHWAY, TYP.
- L-2 RETAINING WALL; SEE CIVIL
- L-3 POOL AREA STAIRS ON CONCRETE, TYP.; SEE DETAILS
- L-4 PARK AREA STAIRS ON AGGREGATE, TYP.; SEE DETAILS
- L-5 42" HEIGHT ALUMINUM GUARDRAIL
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- L-8 COMPOSITE WOOD STEPS
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SITE LEGEND

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GRADING AND DRAINAGE NOTES

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9. SEE CIVIL FOR OVERALL GRADING.



SITE LEGEND

- _____ PROPERTY LINE
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9. SEE CIVIL FOR OVERALL GRADING.

GRADING ABBREVIATIONS

- | | |
|----|-----------------|
| HP | HIGH POINT |
| DI | DRAIN INLET |
| TR | TOP OF RAMP |
| BR | BOTTOM OF RAMP |
| TS | TOP OF STAIR |
| BS | BOTTOM OF STAIR |
| TW | TOP OF WALL |
| BW | BOTTOM OF WALL |

REVISIONS

BID SET

TERRACES AT HIGH MOUNTAIN
4130 HIGH MOUNTAIN ROAD NE
HUNTSVILLE, AL 35811

16 JUNE 2021

L.404
**PARK GRADING AND
DRAINAGE PLAN**

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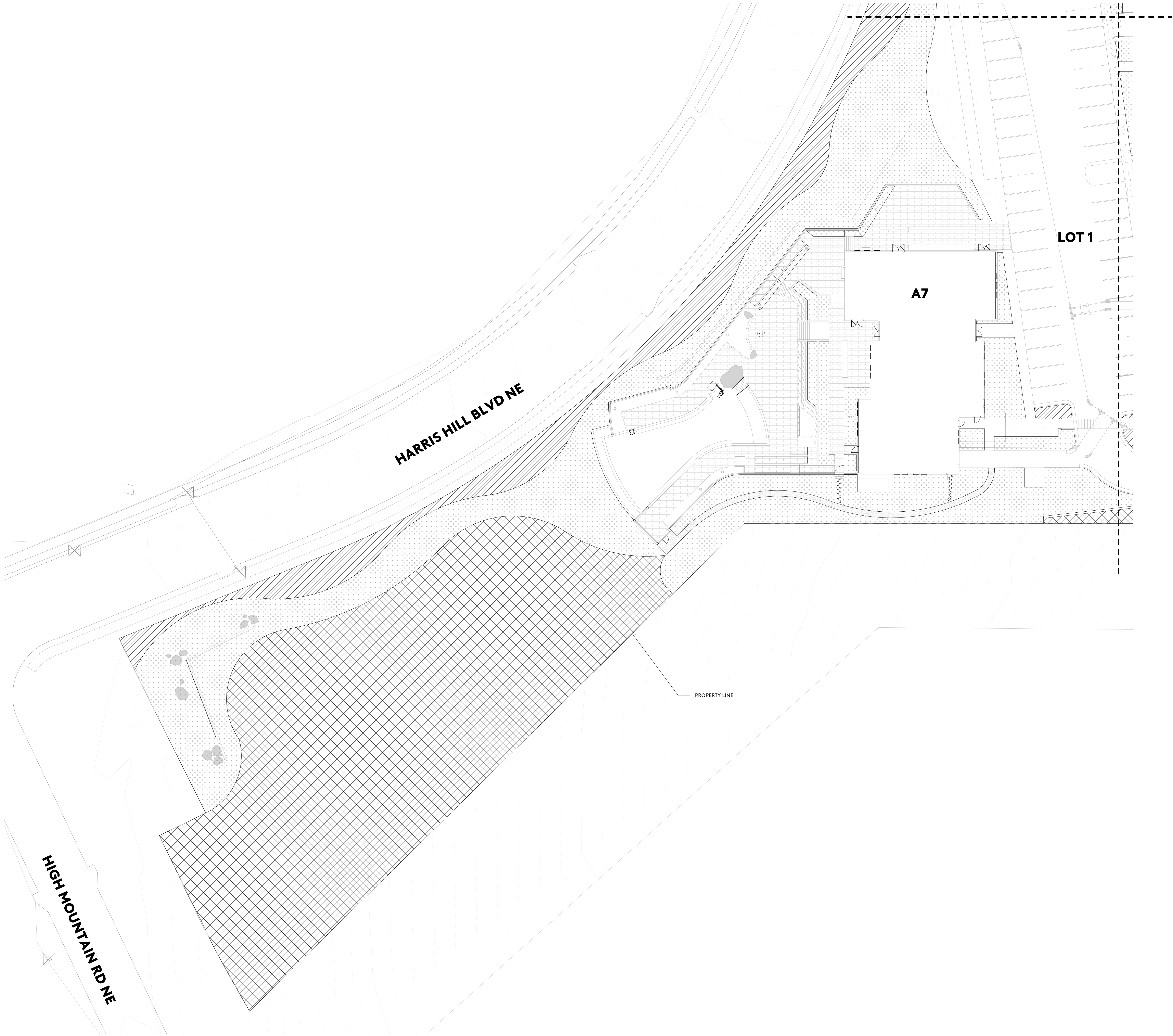
IRRIGATION PERFORMANCE SPECIFICATION

CONTRACTOR SHALL PROVIDE A FULLY AUTOMATED IRRIGATION SYSTEM WHICH SHALL SUPPLY FULL COVERAGE IRRIGATION FOR ALL PLANTING AREAS. TREES, SHRUBS AND GROUNDCOVERS SHALL BE WATERED BY MEANS OF DRIP IRRIGATION LINE ON DEDICATED ZONES WITH SIMILAR PLANTING MATERIAL SPECIES AND WATERING REQUIREMENTS. THE SYSTEM SHALL INCLUDE AN EVAPOTRANSPIRATION (ET) / RAIN-FREEZE SENSOR. FINAL LOCATION OF CONTROLLER AND LOCATION OF SLEEVING AND CONDUIT TO BE DETERMINED PRIOR TO PAVING INSTALLATION AND TO BE APPROVED BY OWNER/OWNER'S REPRESENTATIVE. AS-BUILT PLANS AND OPERATIONS MANUALS TO BE SUPPLIED TO THE OWNER UPON ACCEPTANCE OF THE INSTALLATION. SYSTEM SHALL MEET THE MORE STRINGENT OF EITHER LOCAL JURISDICTIONAL REQUIREMENTS OR ESTABLISHED INDUSTRY STANDARD.

IRRIGATION LEGEND

- NETAFIM LANDSCAPE DRIPLINE COMPONENTS WITH NETAFIM TWIST LOCK FITTINGS AND ADAPTORS. NZC-1S ONE (1) INCH NETAFIM CONTROL ZONE KIT WITH SCREEN FILTER, 50 PSI. TL CV4 1802S DRIP TUBING, TL SB TUBING STAPLES, THREE (3) FEET O.C. ONE (1) VALVE PER BOX.
- HUNTER MP ROTATOR WITH PRO-SPRAY PRS-40 POP-UP BODY AND CV DRAIN CHECK VALVE, FOUR (4) INCH POP-UPS FOR ALL LAWN AREAS. MAX TWO (2) VALVES PER BOX.
- ABOVE-GROUND TEMPORARY IRRIGATION UTILIZING SPRINKLER HEADS NOTED ABOVE.
- AREA OF NON-DISTURBANCE.
- MAINLINE, SCH 40 PVC (18 INCH COVER), 2.5 INCH MIN.

NOTE: IRRIGATION SHOWN DIAGRAMMATICALLY TO SHOW INTENT OF THE IRRIGATION SYSTEM. COMMON TRENCH AND PLACE EQUIPMENT IN LANDSCAPE. MANIFOLD GROUPED VALVES IN ADJACENT PLANTING AREAS WHERE FEASIBLE.



IRRIGATION LEGEND

NETAFIM LANDSCAPE DRIPLINE COMPONENTS WITH NETAFIM TWIST LOCK FITTINGS AND ADAPTORS. NZC-15 ONE (1) INCH NETAFIM CONTROL ZONE KIT WITH SCREEN FILTER, 50 PSI, TLCV4 18025 DRIP TUBING, TLSB TUBING STAPLES, THREE (3) FEET O.C. ONE (1) VALVE PER BOX.

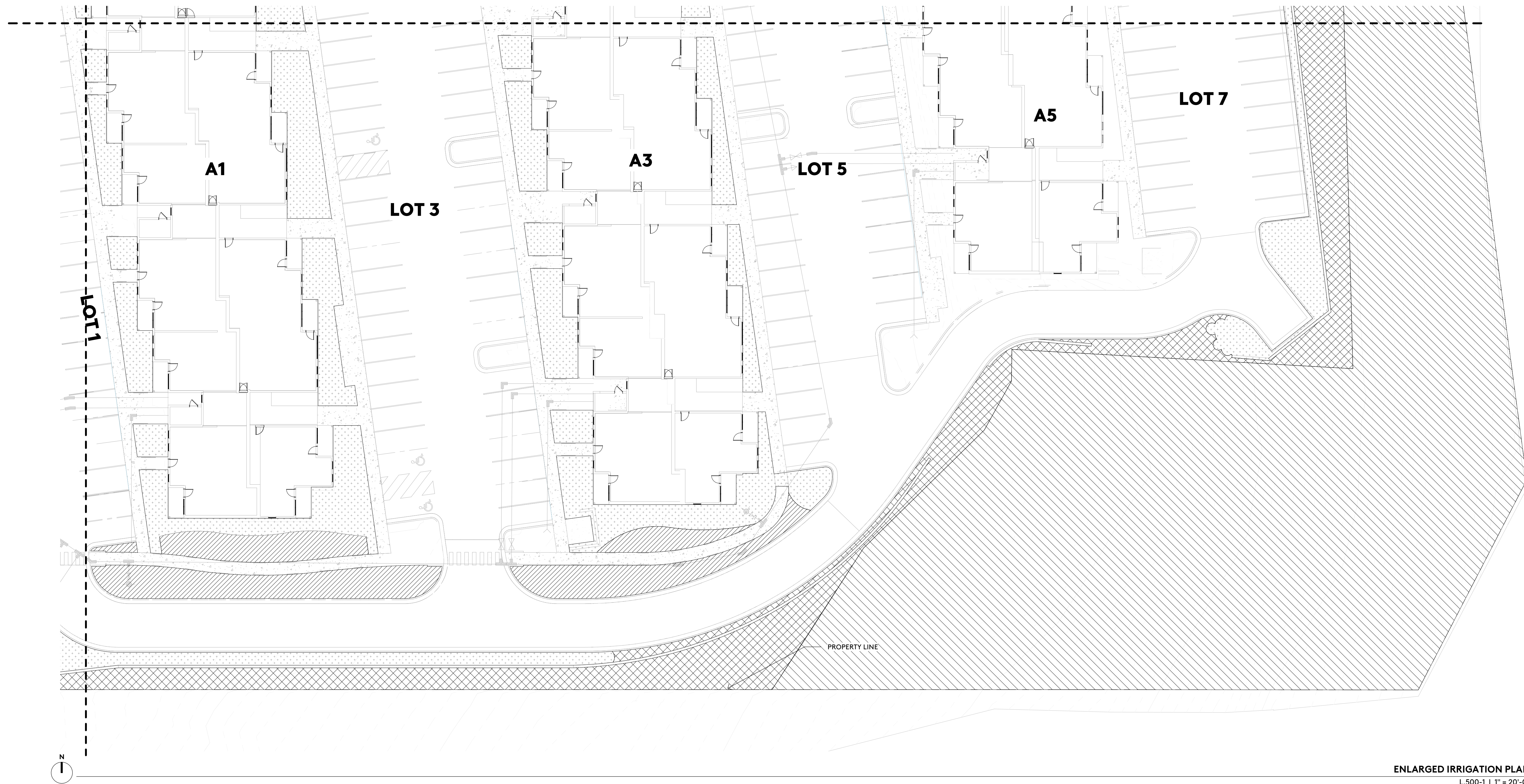
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TERRACES AT HIGH MOUNTAIN
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 IRRIGATION PLAN B

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16 JUNE 2021



- IRRIGATION LEGEND**
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TERRACES AT HIGH MOUNTAIN
4130 HIGH MOUNTAIN ROAD NE
HUNTSVILLE, AL 35811

16 JUNE 2021



SITE LEGEND

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE

PLANTING NOTES

1. LANDSCAPE CONTRACTOR SHALL REFER TO THE "STANDARDIZED LANDSCAPE SPECIFICATIONS MANUAL FOR THE STATE OF VA" FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL ABIDE BY ITS CONTENTS, HOWEVER ANY NOTES OR SPECIFICATIONS ON THESE PLANS SHALL SUPERCEDE THOSE OUTLINED IN THE MANUAL.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY PRIOR TO BEGINNING CONSTRUCTION FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 5' FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY CONFLICTS.
3. NOTIFY APPROPRIATE REGULATORY AGENCIES AND SECURE ANY REQUIRED PERMITS PRIOR TO ANY CONSTRUCTION.
4. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES AND PERFORMED IN A WORKMANLIKE MANNER AT ALL TIMES AND UNDER THE SUPERVISION OF AN EXPERIENCED PLANTSPERSON.
5. ANY FINE GRADING SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
6. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLANT MATERIAL QUANTITIES SHOWN ON PLAN WITH TOTALS IN PLANT SCHEDULE. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING. UNIT PRICES SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT WITH BID.
7. FIELD ADJUSTMENTS MAY BE NECESSARY DUE TO SITE CONDITIONS (EX. ROOT BALL AND UTILITY CONFLICT). MAJOR ADJUSTMENTS MUST BE APPROVED BY LANDSCAPE ARCHITECT.
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10. ALL PLANT MATERIAL, TOPSOIL, MULCH, FERTILIZERS, SOIL AMENDMENTS, PLANTING SUPPLIES AND METHODS SHALL BE SUBJECT TO LANDSCAPE ARCHITECT'S APPROVAL. REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT DELAY.
11. BEDS TO CONTAIN SHRUBS AND/OR GROUND COVER SHALL BE TILLED TO A DEPTH OF 6" AND THE SOIL CONDITIONED BY ADDING CLEAN, WELL-ROTTED MANURE. BEDS SHALL BE TREATED TO ELIMINATE WEEDS AND SEEDS.
12. ALL PLANTED BEDS SHALL BE MULCHED A MINIMUM OF 3" WITH SHREDDED HARDWOOD MULCH AND EDGED WHERE ADJACENT TO LAWN.
13. ALL PLANT MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF OWNER'S APPROVAL AND ACCEPTANCE OF THE PLANTING INSTALLATION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL WATERING AND MAINTENANCE DURING CONSTRUCTION UNTIL ACCEPTANCE OF ANY DEAD OR DAMAGED PLANT MATERIAL.
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18. SEED ALL DISTURBED AREAS, SEE CIVIL DRAWINGS FOR LIMIT OF DISTURBANCE. SEED WITH TURF TYPE TALL FESCUE.

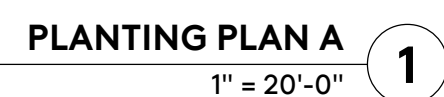
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OVERALL PLANTING PLAN
1" = 40'-0" 1

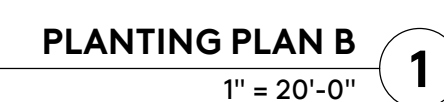


- PROPERTY LINE
 ----- SETBACK LINE
 ----- EASEMENT LINE

- ### PLANTING NOTES

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SITE LEGEND

- PROPERTY LINE
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- EASEMENT LINE



PLANTING PLAN C 1

REVISIONS

BID SET

TERRACES AT HIGH MOUNTAIN
4130 HIGH MOUNTAIN ROAD NE
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PLANT SCHEDULE										
QTY	SYM	NAME		COMMON	HEIGHT	SPREAD	SIZE	SPACING	CONTAINER	NOTES
		BOTANICAL								
DECIDUOUS TREE										
18	ACER -	ACER RUBRUM	RED MAPLE	14'-16'	8'-10'	2.5" CAL.	SEE PLANS	B&B	MULTI-STEM. FULL, SPECIMEN QUALITY.	
34	AMEG-	AMELANCHIER x GRANDIFLORA 'AUTUMN BRILLIANCE'	SERVICEBERRY				SEE PLANS			
15	CERC-	CERCIS CANADENSIS	EASTERN REDBUD	11'-12'	6'-8'	1.5" CAL.	SEE PLANS	B&B	FULL, SPECIMEN QUALITY.	
6	LIRT-	LIRIODENDRON TULIPIFERA	TULIP POPLAR	14'-16'	7'-8'	2" CAL.	SEE PLANS	B&B	FULL, SPECIMEN QUALITY.	
9	NYSS-	NYSSA SYLVATICA	BLACK GUM	13'-14'	5'-6'	2.5" CAL.	SEE PLANS	B&B	FULL, SPECIMEN QUALITY.	
1	QUER-	QUERCUS ALBA	WHITE OAK	14'-16'	8'-10'	2" CAL.	SEE PLANS	B&B	FULL, SPECIMEN QUALITY.	
29	RHUG-	RHUS GLABRA	SMOOTH SUMAC				SEE PLANS		FULL, SPECIMEN QUALITY.	
EVERGREEN TREE										
14	CEDD-	CEDRUS DEODARA	DEODAR CEDAR	14'-16'	8'-9'		SEE PLANS	B&B	FULL TO BASE. SINGLE, UN-CUT LEADER. SPECIMEN QUALITY.	
13	ILEC-	ILEX x 'CONAF'	OAKLEAF HOLLY	8'-10'	3'-5'		SEE PLANS	B&B	FULL TO BASE. SINGLE, UN-CUT LEADER. SPECIMEN QUALITY.	
5	TSUC-	TSUGA CANADENSIS	EASTERN HEMLOCK	8'-10'	3'-5'		SEE PLANS	B&B	FULL TO BASE. SINGLE, UN-CUT LEADER. SPECIMEN QUALITY.	
SHRUB										
31	CALX-	CALYCANTHUS x 'APHRODITE'	APHRODITE SWEETSHRUB	18"-24"	18"	#3	SEE PLANS	CONT	FULL, SPECIMEN QUALITY.	
427	DISP-	DISTYLUM x 'PIDIST-V' TM	CINNAMON GIRL DISTYLUM	36"	24"	#3	SEE PLANS	CONT		
371	ILEB-	ILEX VERTICILLATA 'BERRY POPPINS'	BERRY POPPINS WINTERBERRY	18"-24"	18"	#3	SEE PLANS	CONT	FULL, SPECIMEN QUALITY.	
199	ILED-	ILEX VOMITORIA 'STOKES DWARF'	DWARF YAUAPON HOLLY				SEE PLANS		FULL, SPECIMEN QUALITY.	
410	ITEV-	ITEA VIRGINICA 'LITTLE HENRY'	LITTLE HENRY SWEETSPIRE	18"-24"	18"	#3	SEE PLANS	CONT	FULL, SPECIMEN QUALITY.	
32	JASN-	JASMINUM NUDIFLORUM	WINTER JASMINE				SEE PLANS		FULL, SPECIMEN QUALITY.	
30	MORC-	MORELLA CERIFERA 'DON'S DWARF'	DON'S DWARF WAX MYRTLE	18"-24"	18"	#3	SEE PLANS	CONT	FULL, SPECIMEN QUALITY.	
65	RHAG-	RHAPHIOLEPIS INDICA 'GEORGIA PETITE'	GEORGIA PETITE INDIAN HAWTHORN						FULL, SPECIMEN QUALITY.	
VINES										
17	PARQ-	PARTHENOCISSUS QUINGUEFOLIA	VIRGINIA CREEPER			#1	SEE PLANS	CONT	FULL, SPECIMEN QUALITY.	

GRASSES & GROUNDCOVER SCHEDULE									
QTY	SYM	NAME		HEIGHT	SPREAD	SIZE	SPACING	NOTES	
		BOTANICAL	COMMON						
GRASSES									
1621	CARP	CAREX PENSYLVANICA	PENNSYLVANIA SEDGE			#1	18"	FULL, SPECIMEN QUALITY.	
1378	ERAS	ERAGROSTIS SPECTABILIS	PURPLE LOVE GRASS			#1	18"	FULL, SPECIMEN QUALITY.	
1696	MUHW	MUHLENBERGIA CAPILLARIS 'WHITE CLOUD'	WHITE MUHLY GRASS			#1	36"	FULL, SPECIMEN QUALITY.	
GROUNDCOVER									
1789	CALN	CALAMINTHA NEPETA 'WHITE CLOUD'	WHITE CLOUD CALAMINT			#1	18"	FULL, SPECIMEN QUALITY.	
2499	HEUV	HEUCHERA VILLOSA 'AUTUMN BRIDE'	AUTUMN BRIDE HEUCHERA			#1	18"	FULL, SPECIMEN QUALITY.	
3292	JUNC	JUNIPERUS CONFERTA 'BLUE PACIFIC'	SHORE JUNIPER			#1	24"	FULL, SPECIMEN QUALITY.	
1828	RHUA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC			#1	36"	FULL, SPECIMEN QUALITY.	

PLANT MIX SCHEDULE														
QTY	SYM	NAME		MIX BREAKDOWN						HEIGHT	SPREAD	SIZE	SPACING	NOTES
		BOTANICAL	COMMON	MIX 1	MIX 1 %	MIX 1 COUNT	MIX 2	MIX 2 %	MIX 2 COUNT					
MIXES														
205	MIX-EE	EREMURUS STENOPHYLLUS / ERAGROSTIS SPECTABILIS	FOXTAIL LILY / PURPLE LOVEGRASS	EREMURUS STENOPHYLLUS	15%	31	ERAGROSTIS SPECTABILIS	85%	174			#1	18"	EVENLY DISTRIBUTE SPECIES IN MIX.

SEED SCHEDULE				
AREA	SYM	NAME		NOTES
		BOTANICAL	COMMON	
HYDROSEED				
16,047 SF	LAWN	ITEM #ERNMX-113	TURF TYPE TALL FESCUE	SEED MIX FROM ERNST SEEDS, OAE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
46,126 SF	MEAD	ITEM #ERNMX-105	MESIC TO DRY NATIVE POLLINATOR MIX	SEED MIX FROM ERNST SEEDS, OAE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

PLANTING NOTES

- LANDSCAPE CONTRACTOR SHALL REFER TO THE "STANDARDIZED LANDSCAPE SPECIFICATIONS MANUAL FOR THE STATE OF VA" FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL ABIDE BY ITS CONTENTS, HOWEVER ANY NOTES OR SPECIFICATIONS ON THESE PLANS SHALL SUPERCEDE THOSE OUTLINED IN THE MANUAL.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY PRIOR TO BEGINNING CONSTRUCTION FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 5' FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY CONFLICTS.
- NOTIFY APPROPRIATE REGULATORY AGENCIES AND SECURE ANY REQUIRED PERMITS PRIOR TO ANY CONSTRUCTION.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES AND PERFORMED IN A WORKMANLIKE MANNER AT ALL TIMES AND UNDER THE SUPERVISION OF AN EXPERIENCED PLANTSPERSON.
- ANY FINE GRADING SHALL BE THE RESPONSIBILITY OF THE LANDSCAPECONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLANT MATERIAL QUANTITIES SHOWN ON PLAN WITH TOTALS IN PLANT SCHEDULE. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING. UNIT PRICES SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT WITH BID.
- FIELD ADJUSTMENTS MAY BE NECESSARY DUE TO SITE CONDITIONS (EX. ROOT BALL AND UTILITY CONFLICT). MAJOR ADJUSTMENTS MUST BE APPROVED BY LANDSCAPE ARCHITECT.
- THE LANDSCAPE ARCHITECT IS THE OWNER REPRESENTATIVE AND SHALL BE THE APPROVING AUTHORITY FOR INFORMATION PROVIDED IN THESE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL LAYOUT AND MARK ALL LOCATIONS FO ALL PLANT MATERIAL AND IMPROVEMENTS SHOWN AND REQUEST IN FIELD APPROVAL FROM LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL, TOPSOIL, MULCH, FERTILIZERS, SOIL AMENDMENTS, PLANTING SUPPLIES AND METHODS SHALL BE SUBJECT TO LANDSCAPE ARCHITECT'S APPROVAL. REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT DELAY.
- BEDS TO CONTAIN SHRUBS AND/OR GROUNDCOVER SHALL BE TILLED TO A DEPTH OF 6" AND THE SOIL CONDITIONED BY ADDING CLEAN, WELL-ROTTED MANURE. BEDS SHALL BE TREATED TO ELIMINATE WEEDS AND SEEDS.
- ALL PLANTED BEDS SHALL BE MULCHED A MINIMUM OF 3" WITH SHREDDED HARDWOOD MULCH AND EDGED WHERE ADJACENT TO LAWN.
- ALL PLANT MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF OWNER'S APPROVAL AND ACCEPTANCE OF THE PLANTING INSTALLATION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL WATERING AND MAINTENANCE DURING CONSTRUCTION UNTIL ACCEPTANCE OF ANY DEAD OR DAMAGED PLANT MATERIAL.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION AS WELL AS PLANTS THAT DO NOT CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- THE OWNER IS RESPONSIBLE FOR REPLACEMENT OF ANY PLANT MATERIAL LOCATED IN A PUBLIC EASEMENT THAT IS REMOVED OR DAMAGED AS A RESULT OF THE USE OR MAINTENANCE OF THE PUBLIC FACILITY LOCATED IN THE EASEMENT.
- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, AND BACKFLOW PREVENTER, TIMER AND CONTROLLER. SYSTEM TO PROVIDE 100% COVERAGE OF ALL NEW SOD AND PLANTING BEDS. COORDINATE IRRIGATION WITH OWNER'S REPRESENTATIVE FOR POWER SUPPLY AND CONTROLLER LOCATION.
- ALL EXISTING TREES SHOWN TO BE PRESERVED.
- SEED ALL DISTURBED AREAS, SEE CIVIL DRAWINGS FOR LIMIT OF DISTURBANCE. SEED WITH TURF TYPE TALL FESCUE.

TERRACES AT HIGH MOUNTAIN
4130 HIGH MOUNTAIN ROAD NE
HUNTSVILLE, AL 35811

16 JUNE 2021

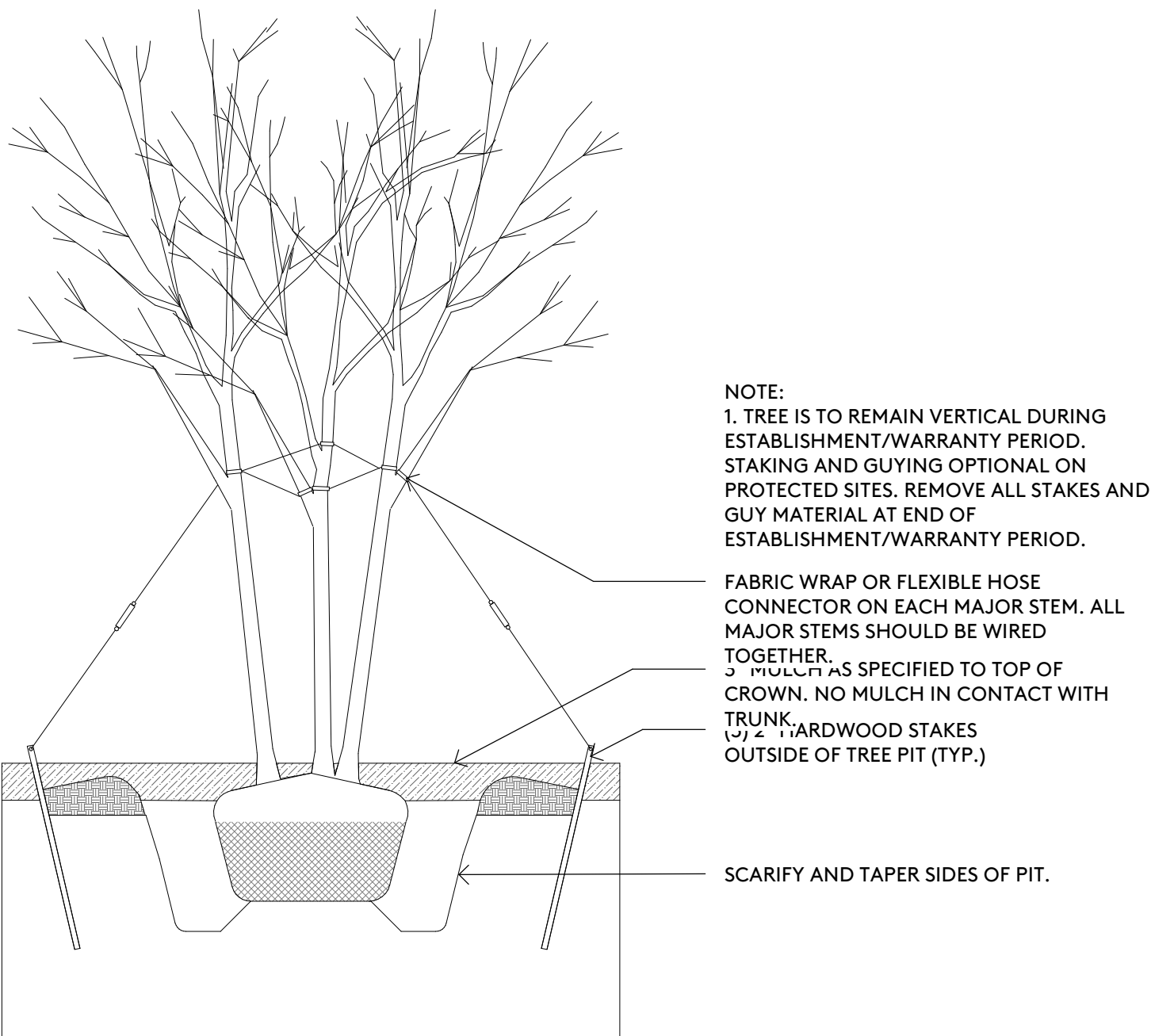


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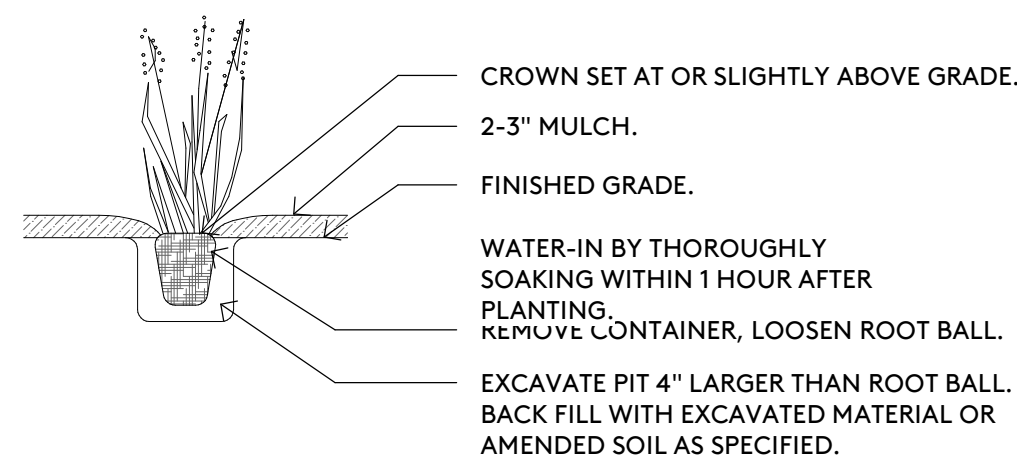
www.3north.com
804 232 8900

REVISIONS

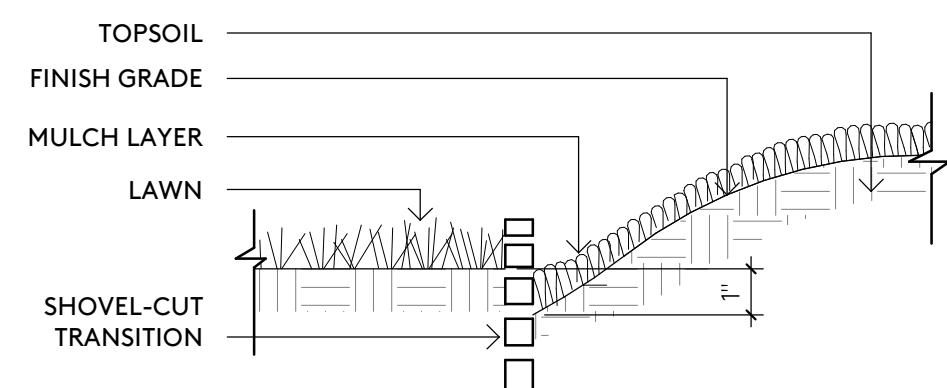
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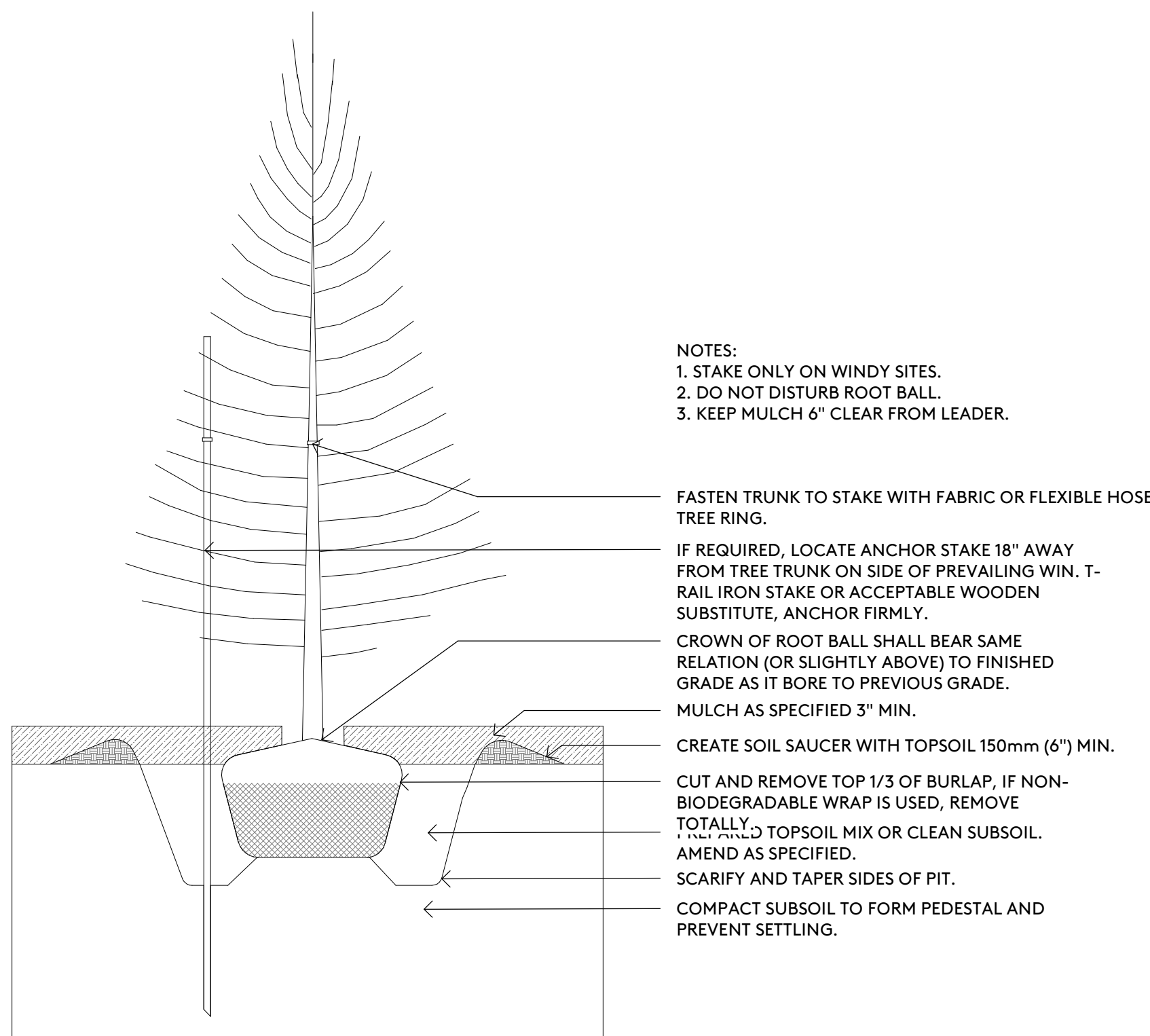
MULTI-STEM TREE PLANTING - STAKING SPECIFIED
3/4" = 1'-0" 3



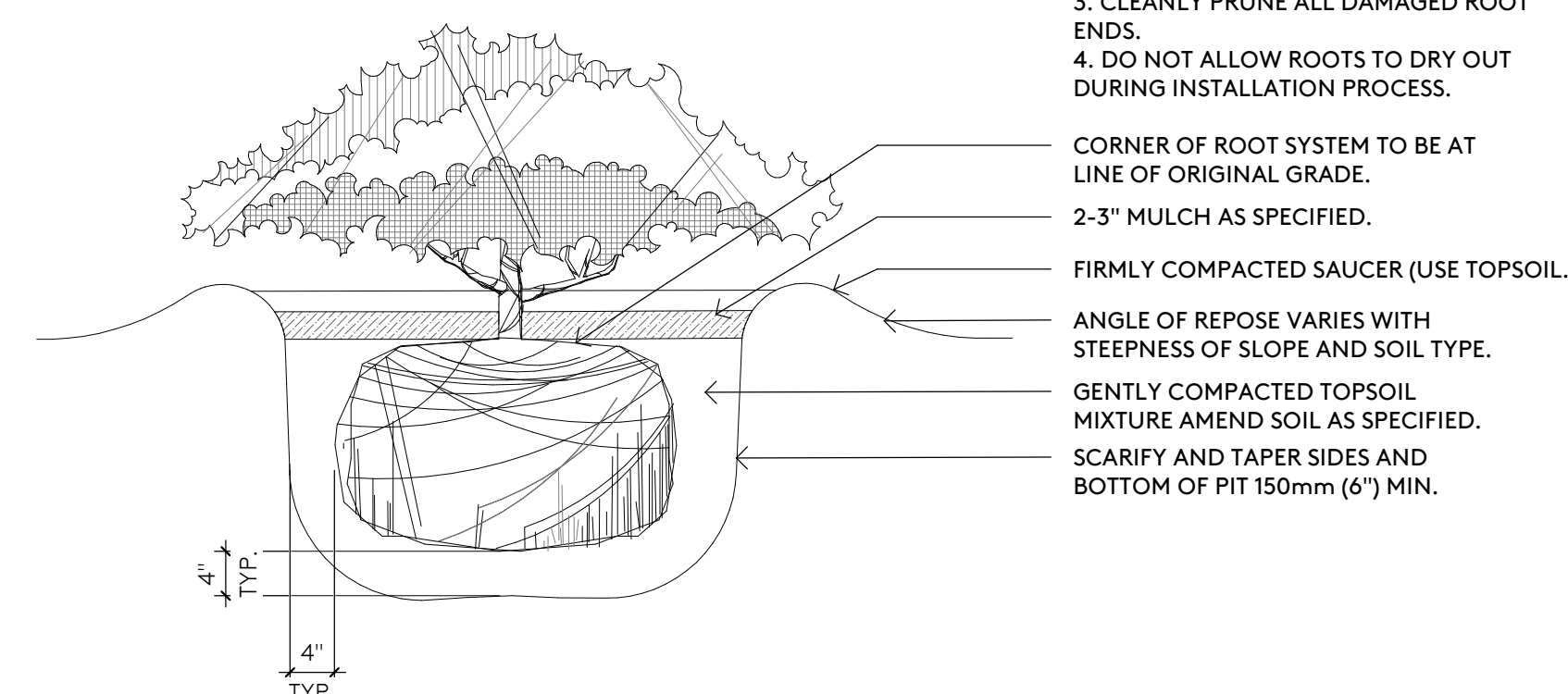
PERENNIAL/GROUNDCOVER PLANTING
3/4" = 1'-0" 6



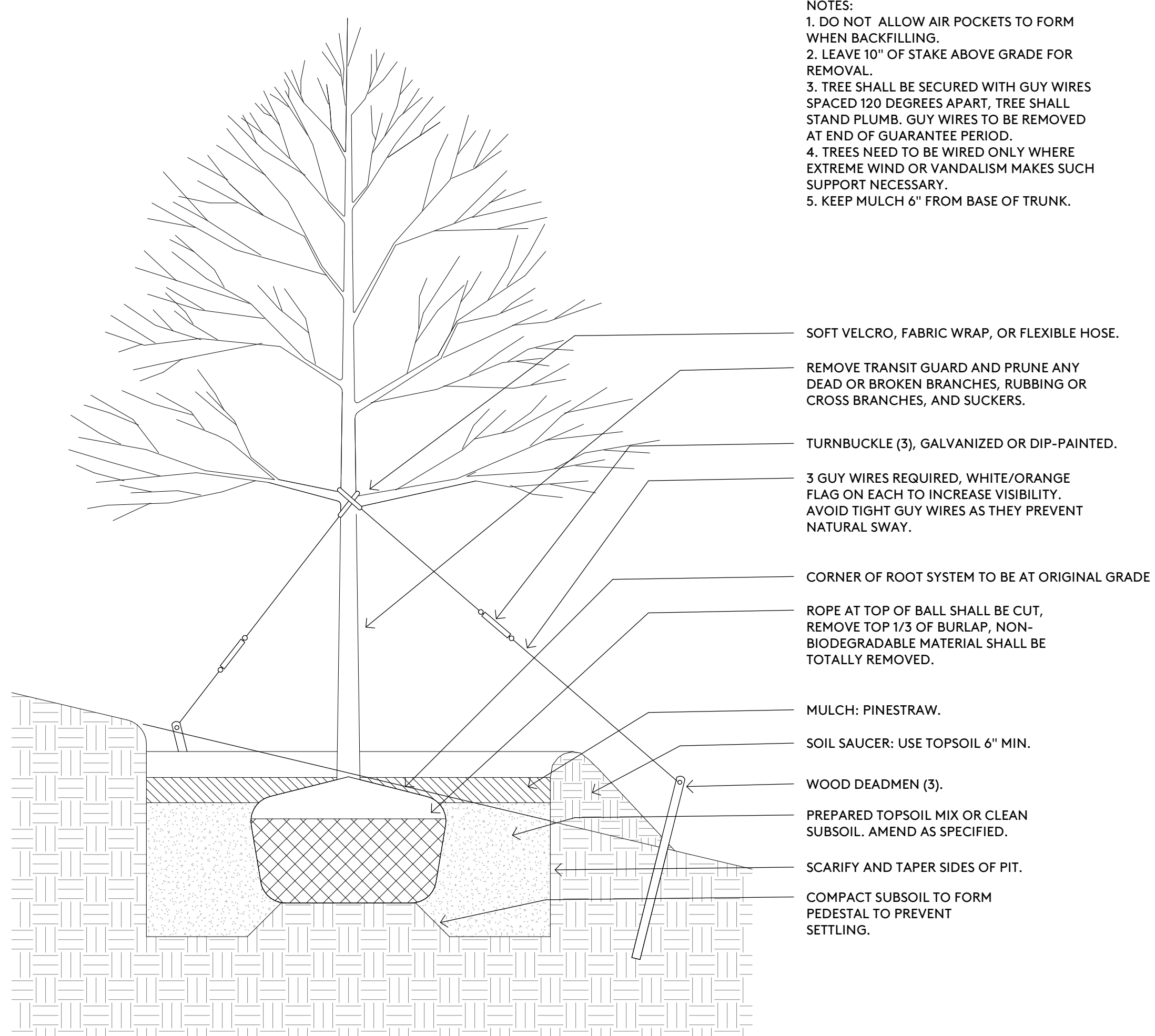
SHOVEL-CUT EDGE AT LAWN
3" = 1'-0" 9



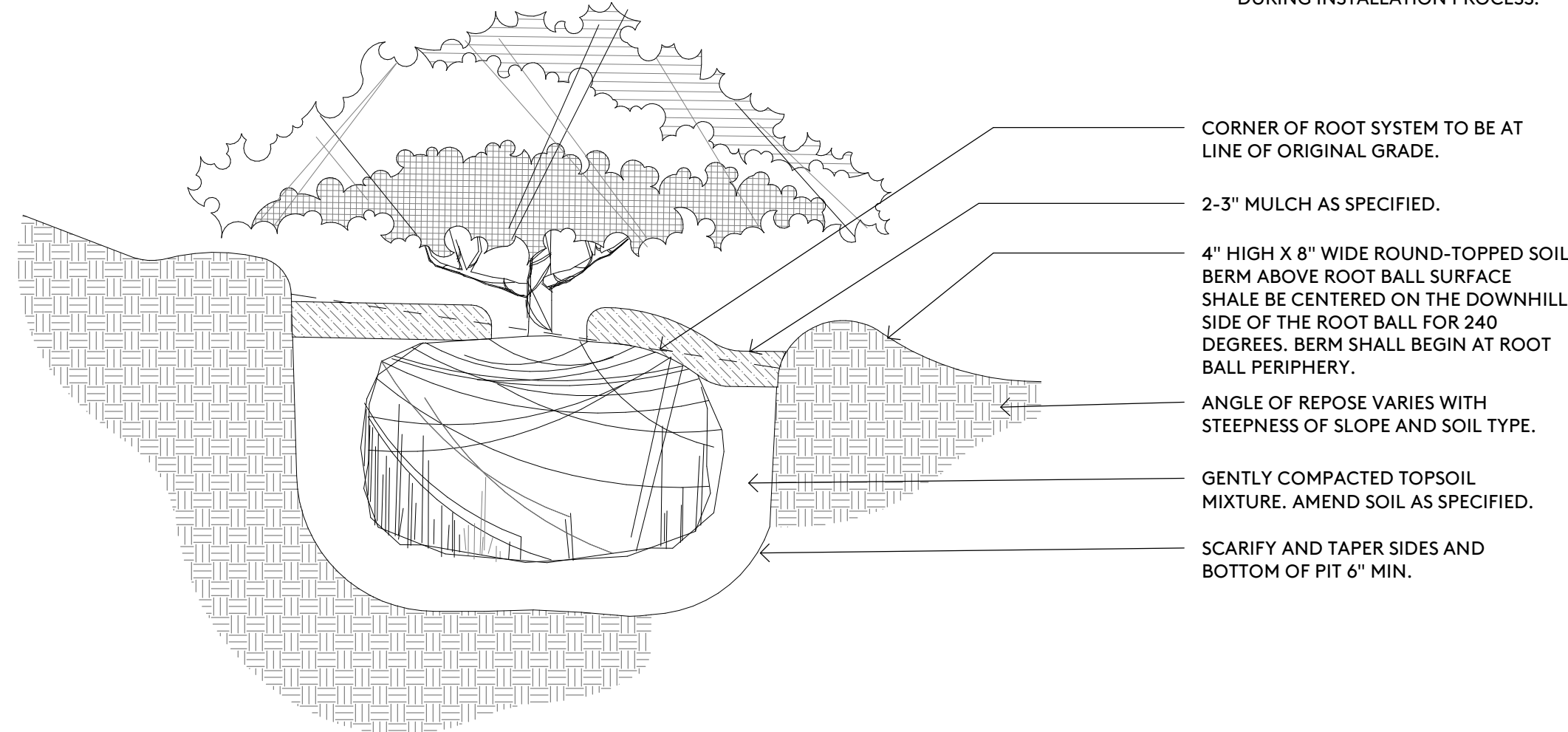
CONIFEROUS TREE PLANTING - STAKING SPECIFIED
3/4" = 1'-0" 2



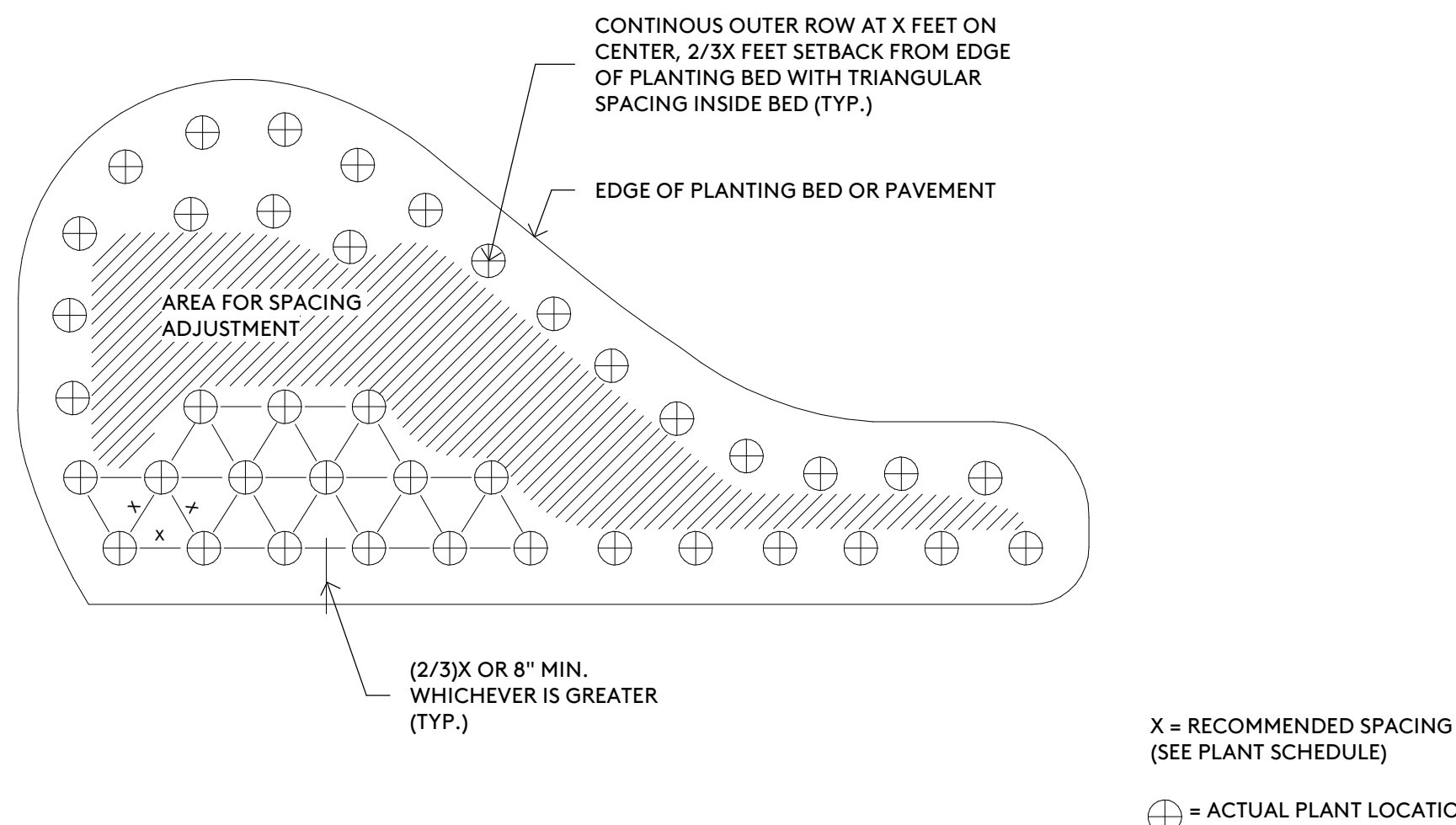
SHRUB PLANTING DETAIL
3/4" = 1'-0" 5



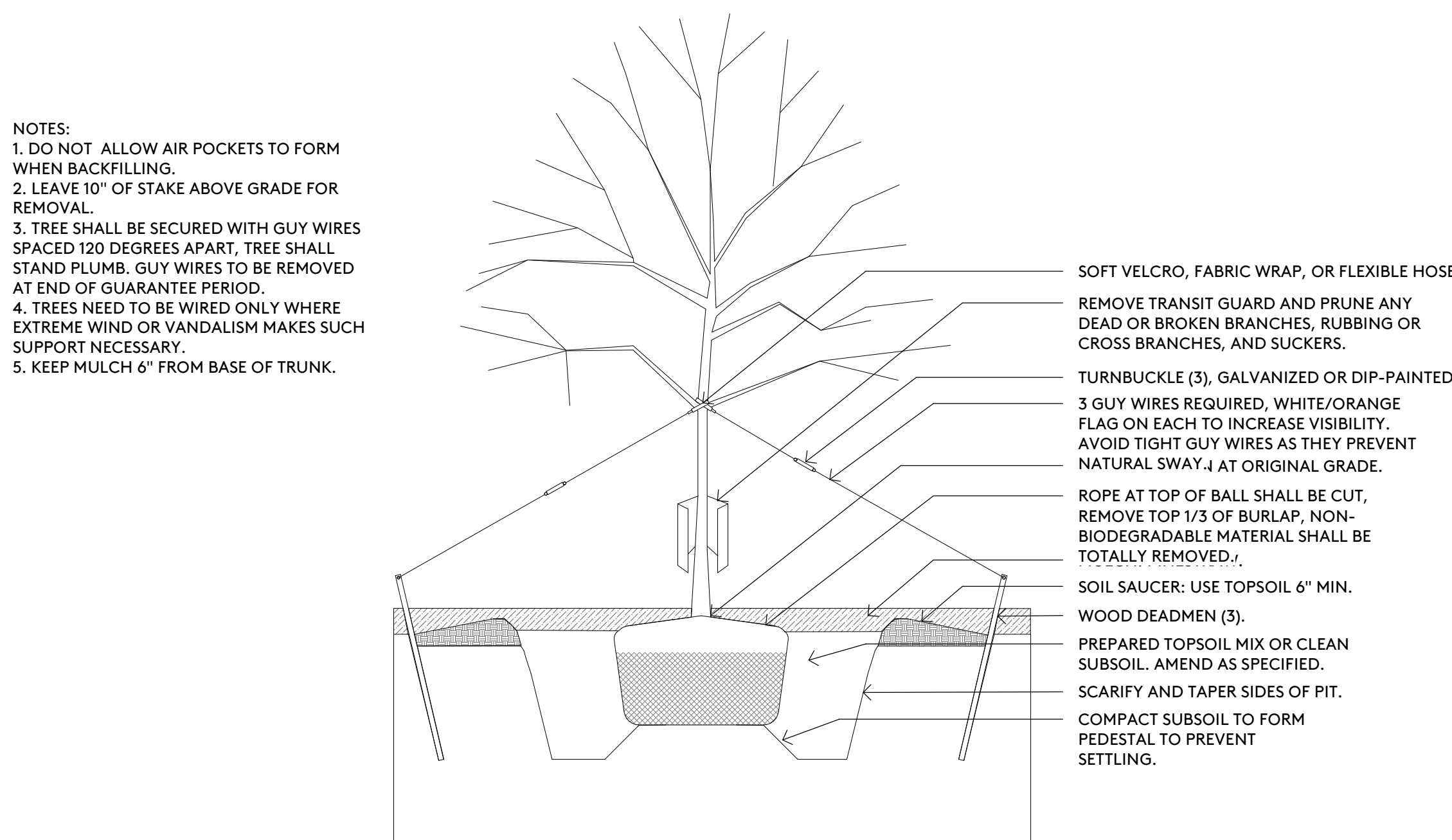
TREE PLANTING ON SLOPE
1" = 1'-0" 8



SHRUB PLANTING ON SLOPE
1" = 1'-0" 7



PLANTING PATTERN
1" = 1'-0" 4



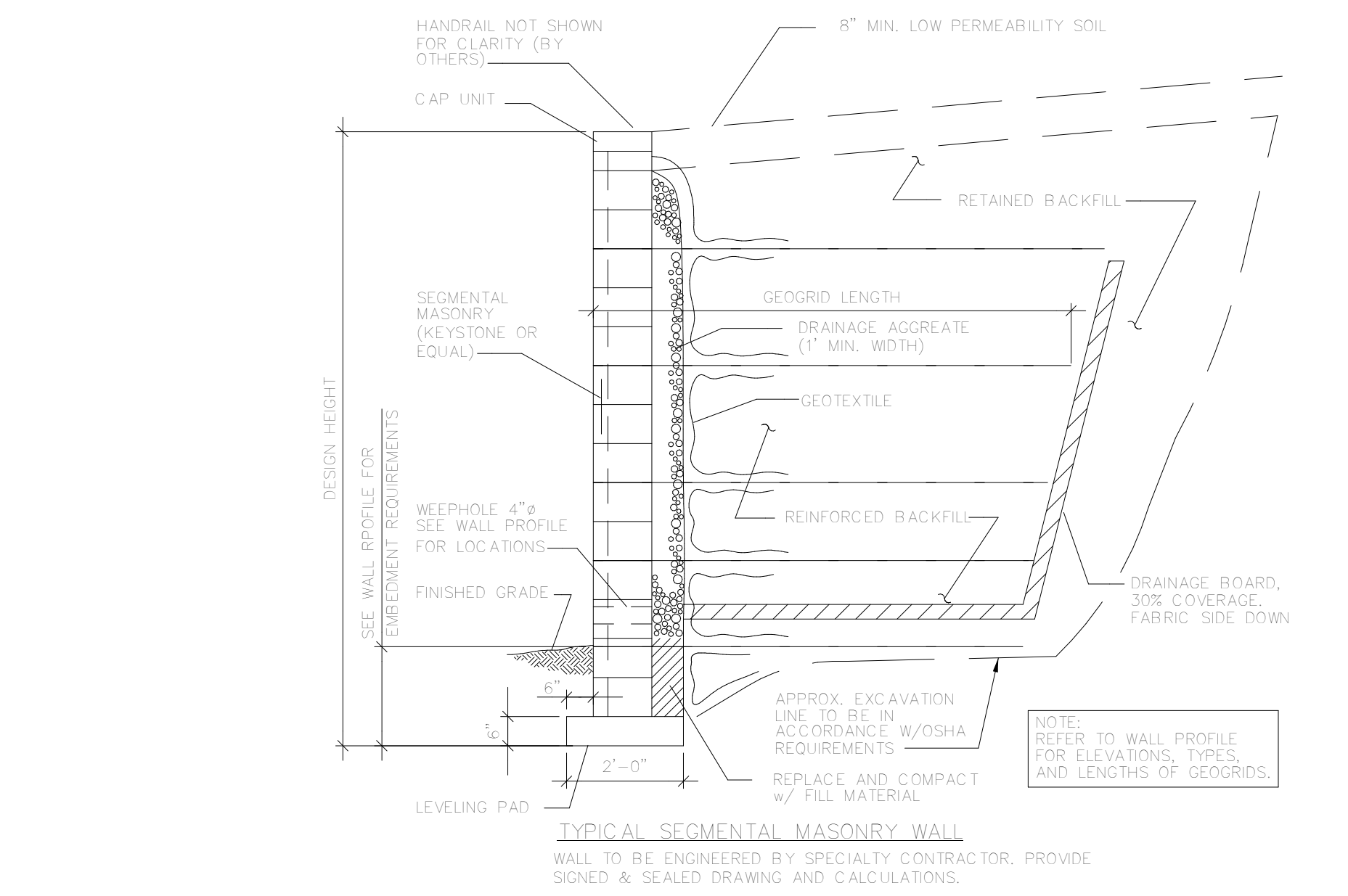
DECIDUOUS TREE PLANTING - STAKING SPECIFIED
3/4" = 1'-0" 1

- NOTES:
1. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
 2. LEAVE 10" OF STAKE ABOVE GRADE FOR REMOVAL.
 3. TREE SHALL BE SECURED WITH GUY WIRES SPACED 120 DEGREES APART. TREE SHALL STAND PLUMB. GUY WIRES TO BE REMOVED AT END OF GUARANTEE PERIOD.
 4. TREES NEED TO BE WIRED ONLY WHERE EXTREME WIND OR VANDALISM MAKES SUCH SUPPORT NECESSARY.
 5. KEEP MULCH 6" FROM BASE OF TRUNK.

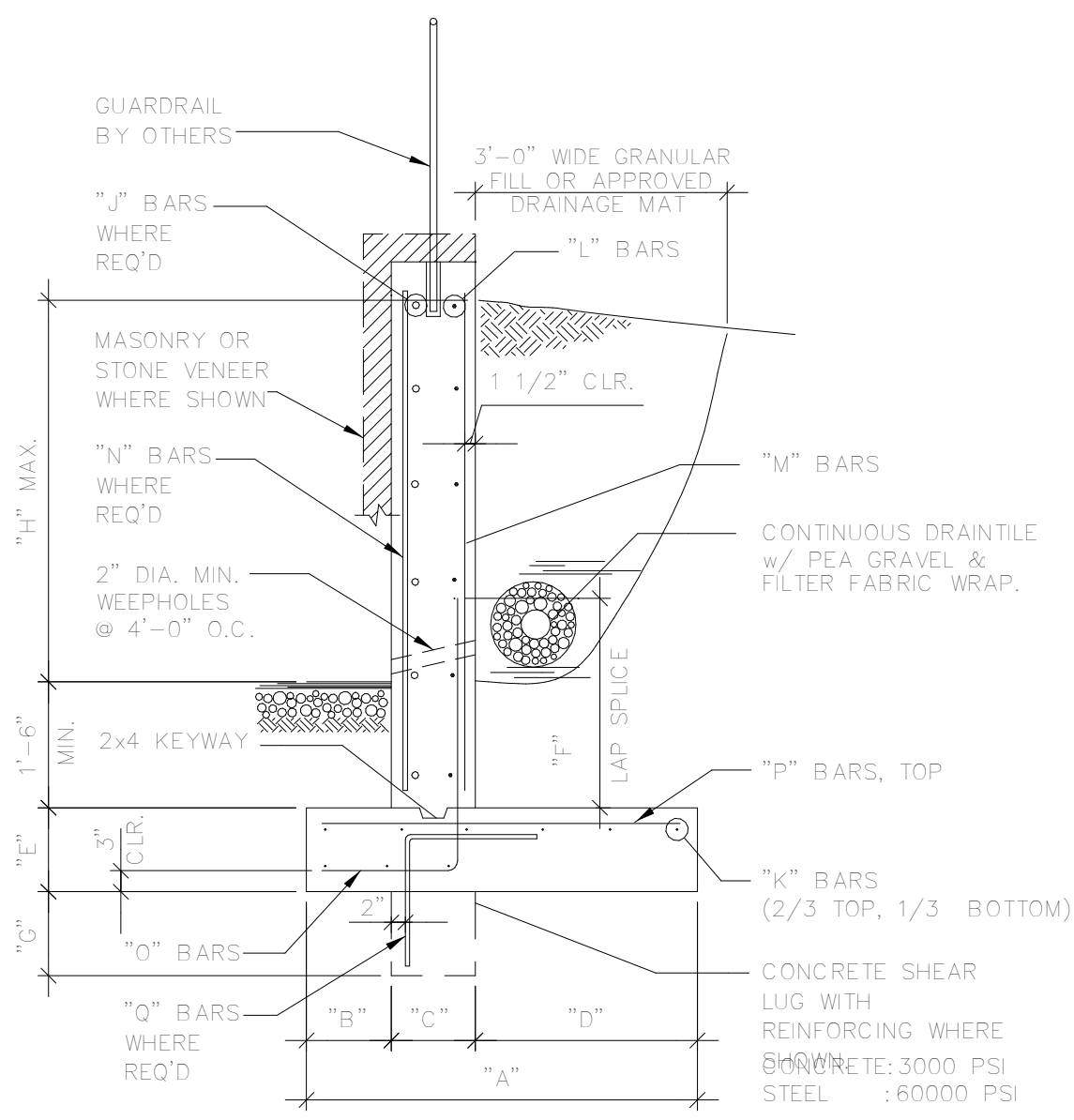
- NOTE:
1. MIN. ROOT SPREAD TO BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK."
 2. PRUNE ALL DAMAGED, DISEASED, OR WEAK LIMBS AND ROOTS.
 3. CLEANLY PRUNE ALL DAMAGED ROOT ENDS.
 4. DO NOT ALLOW ROOTS TO DRY OUT DURING INSTALLATION PROCESS.

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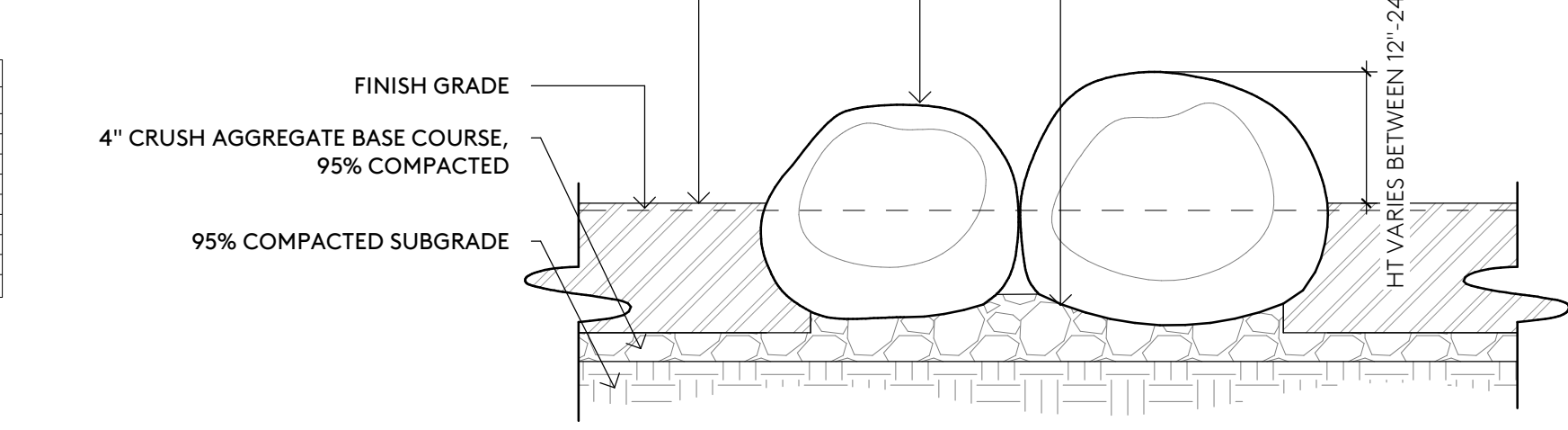
GENERAL SEGMENTAL BLOCK RETAINING WALL
1" = 1'-0"



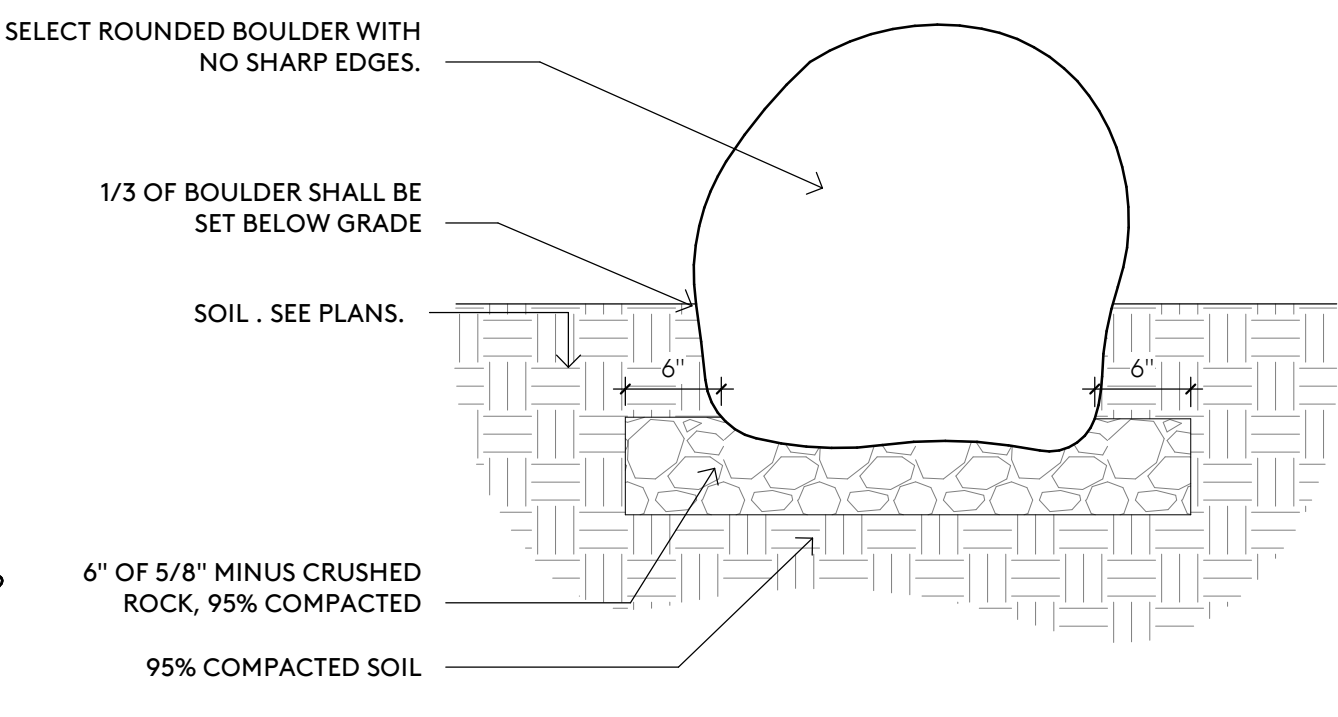
GENERAL CANTILEVER RETAINING WALL
1" = 1'-0"

CANTILEVER RETAINING WALL SCHEDULE (AS PER)											
NO.	TYPE	HEIGHT	WIDTH	THICKNESS	REINFORCING	FOOTING	STEM	WALL	BACKFILL	FINISH	NOTES
1	1	4	4	12	1	1	1	1	1	1	1
2	2	4	4	12	1	1	1	1	1	1	1
3	3	4	4	12	1	1	1	1	1	1	1
4	4	4	4	12	1	1	1	1	1	1	1
5	5	4	4	12	1	1	1	1	1	1	1
6	6	4	4	12	1	1	1	1	1	1	1
7	7	4	4	12	1	1	1	1	1	1	1
8	8	4	4	12	1	1	1	1	1	1	1
9	9	4	4	12	1	1	1	1	1	1	1
10	10	4	4	12	1	1	1	1	1	1	1
11	11	4	4	12	1	1	1	1	1	1	1
12	12	4	4	12	1	1	1	1	1	1	1
13	13	4	4	12	1	1	1	1	1	1	1
14	14	4	4	12	1	1	1	1	1	1	1
15	15	4	4	12	1	1	1	1	1	1	1
16	16	4	4	12	1	1	1	1	1	1	1
17	17	4	4	12	1	1	1	1	1	1	1
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19	19	4	4	12	1	1	1	1	1	1	1
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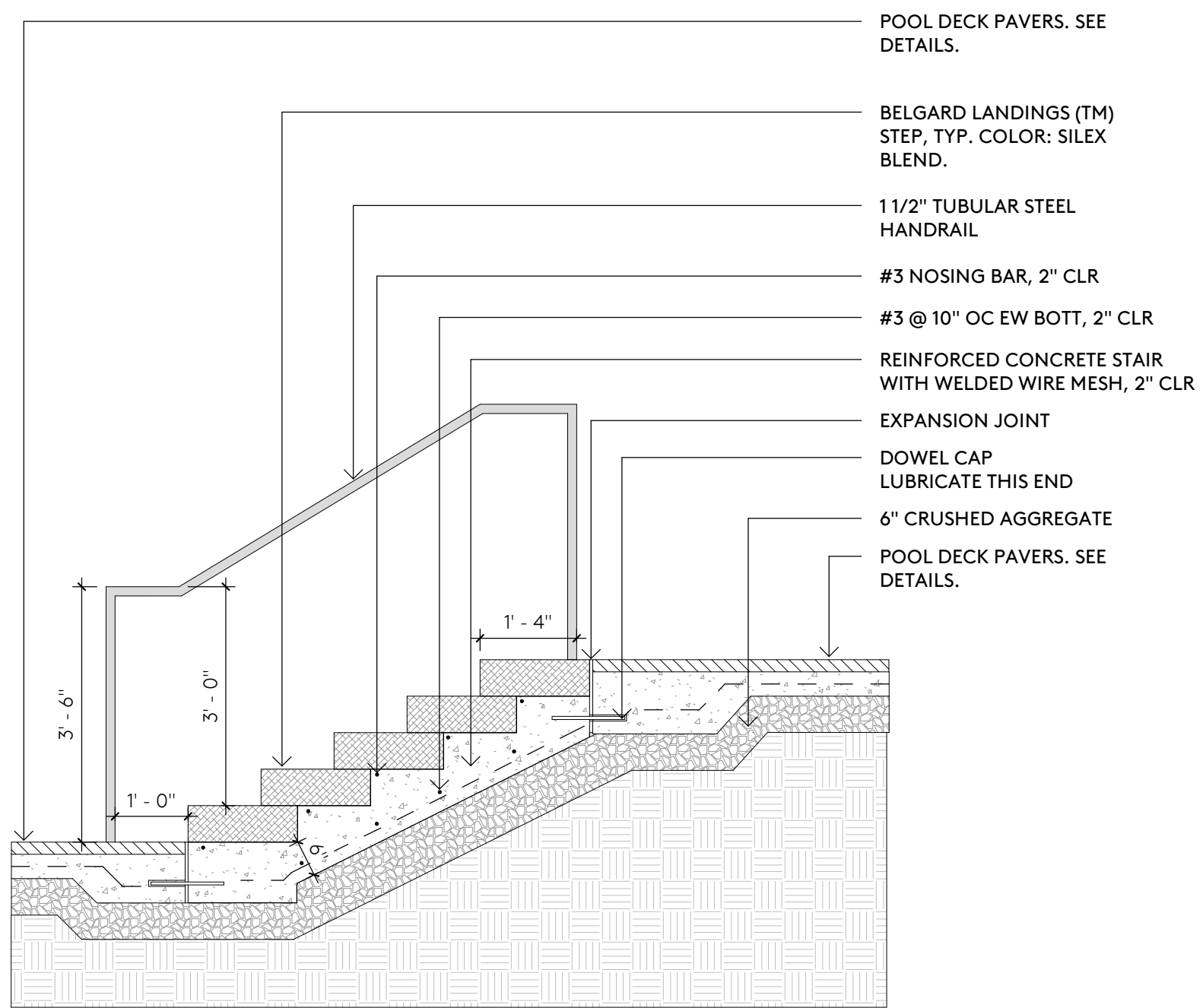
SET BASE COURSE OF BOULDERS ON MIN. 6" OF 95% COMPACTED CRUSHED AGGREGATE, TYP. SET ALL BOULDERS TO ENSURE STABILITY.
SELECT EXISTING BOULDERS FROM SITE, TYP
METAL EDGING, TYP. TOP OF EDGING SHALL BE 1" ABOVE GRADE.



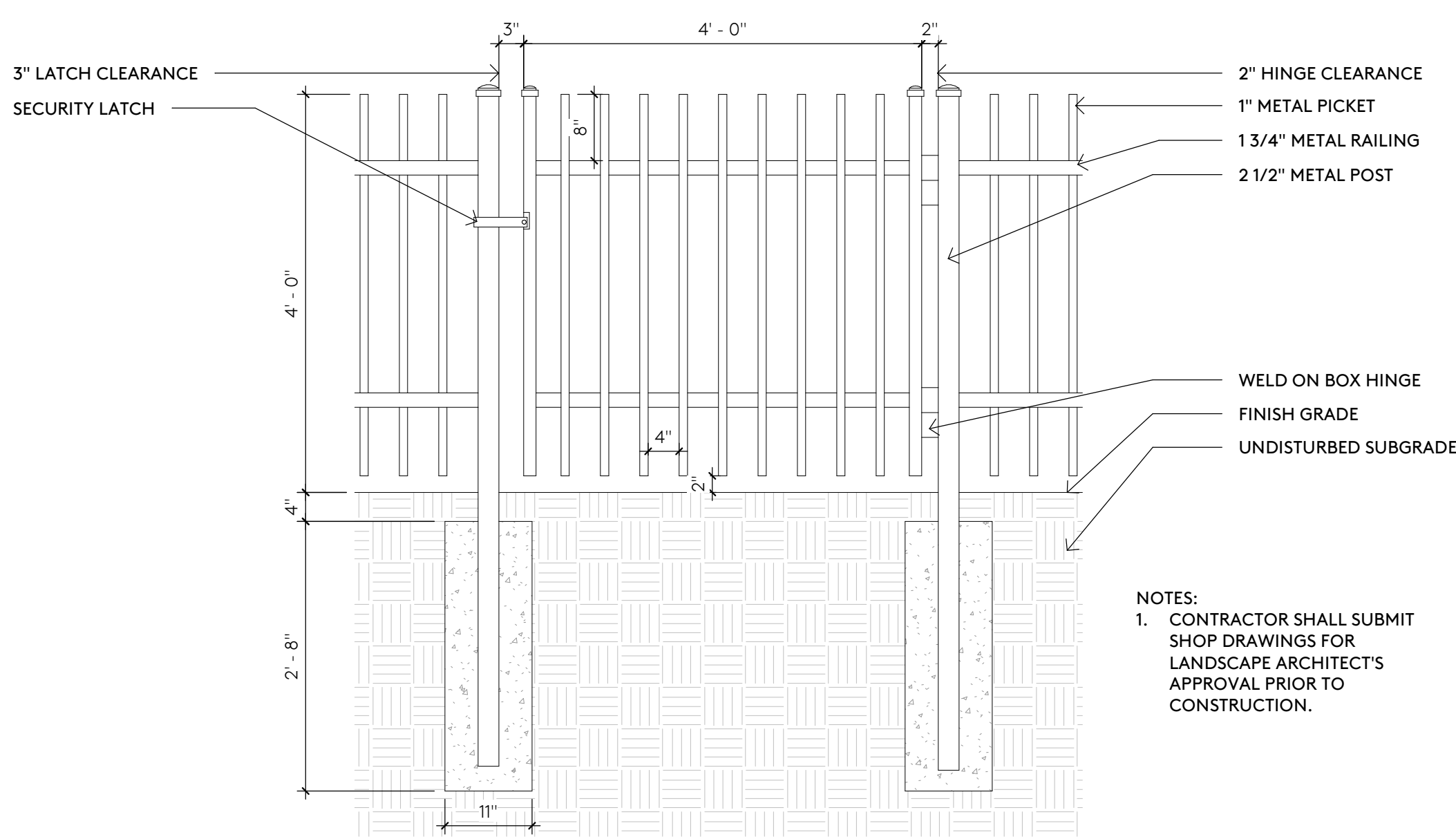
BOULDERS SET IN METAL EDGING
1/2" = 1'-0"



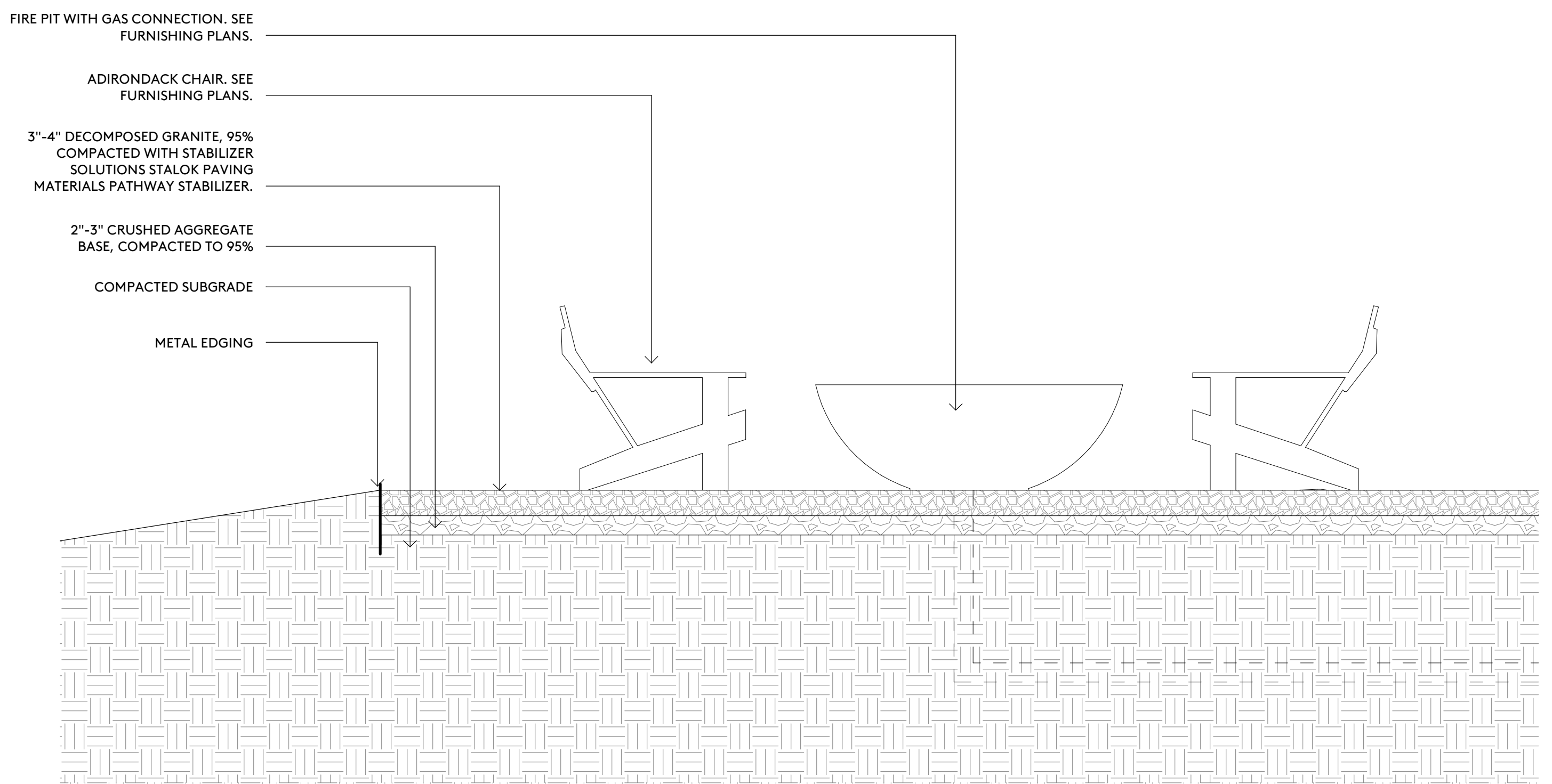
BOULDER IN LANDSCAPE
1" = 1'-0"



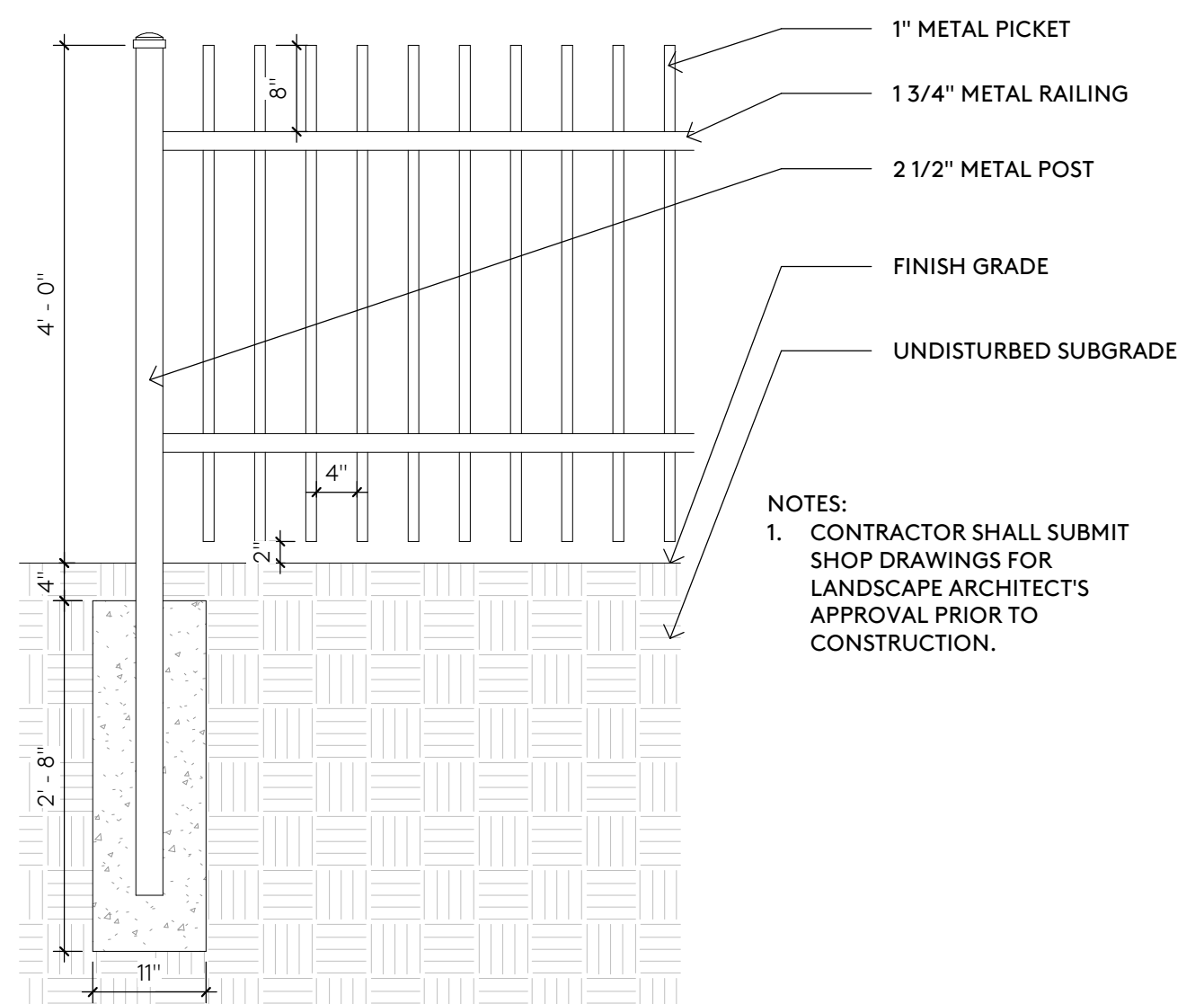
TYPICAL POOL AREA STAIR
1/2" = 1'-0"



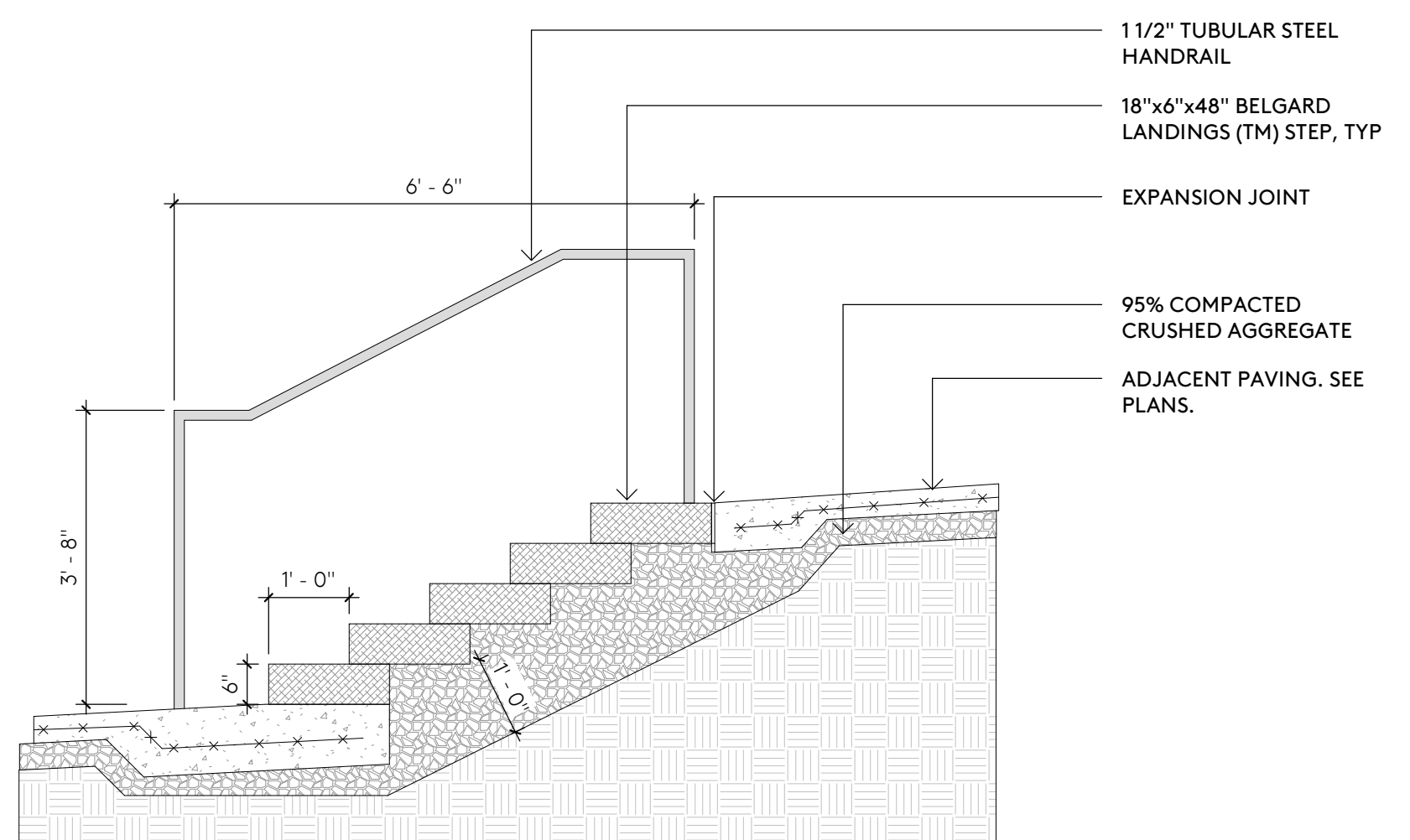
POOL GATE
3/4" = 1'-0"



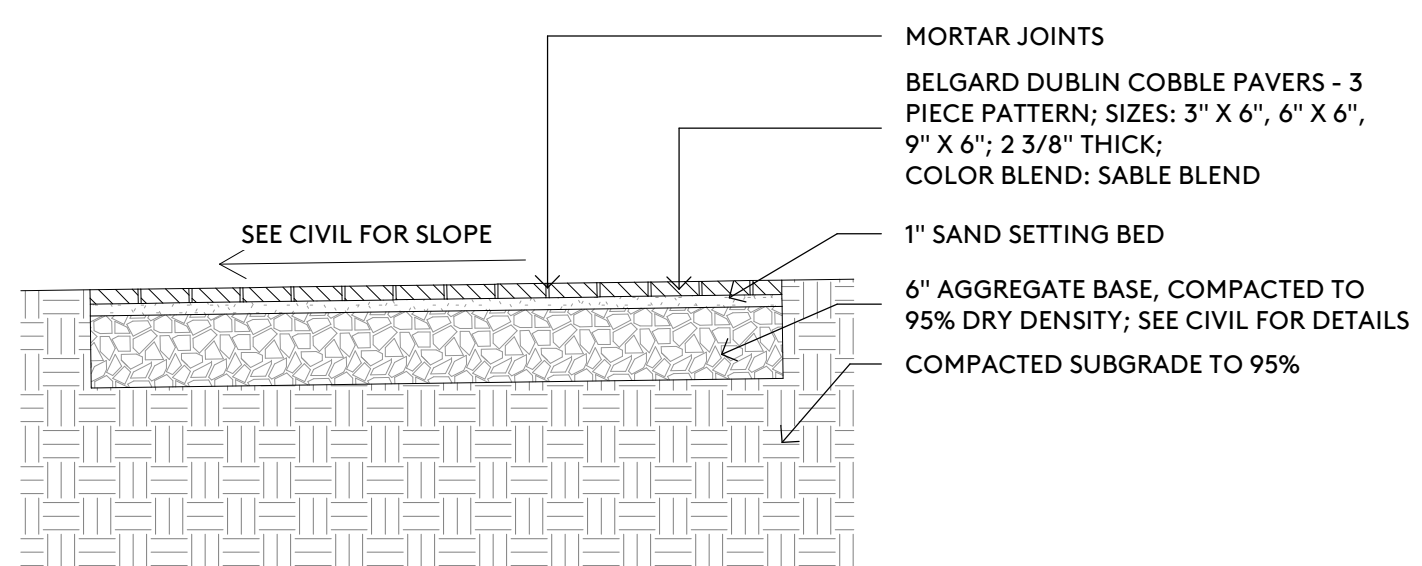
PAVILION FIRE PIT AREA
L.205-1 | 3/4" = 1'-0"



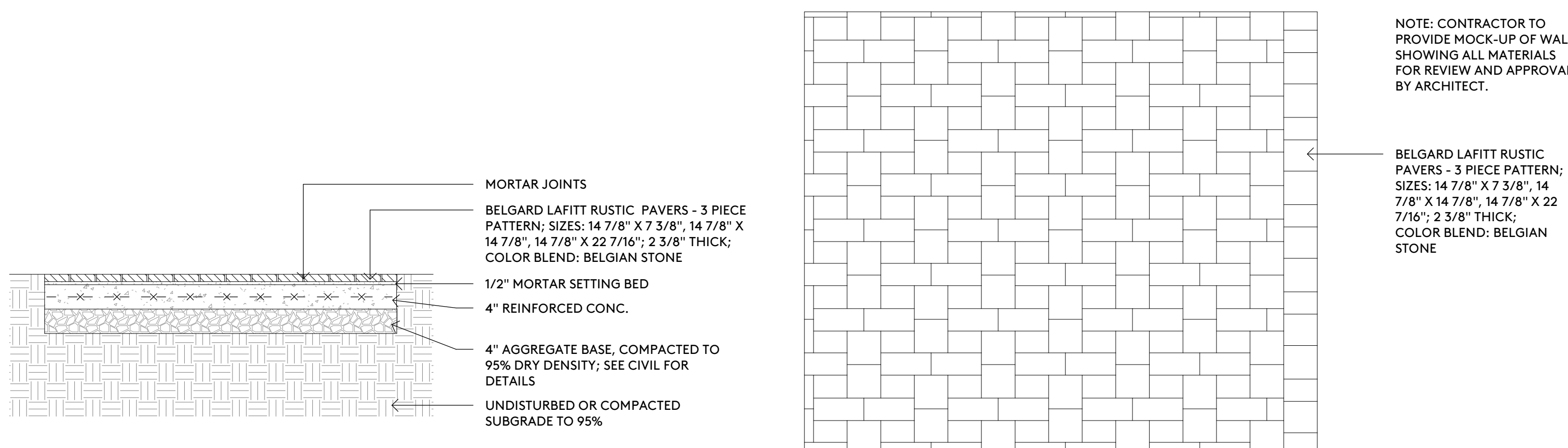
POOL FENCE
3/4" = 1'-0"



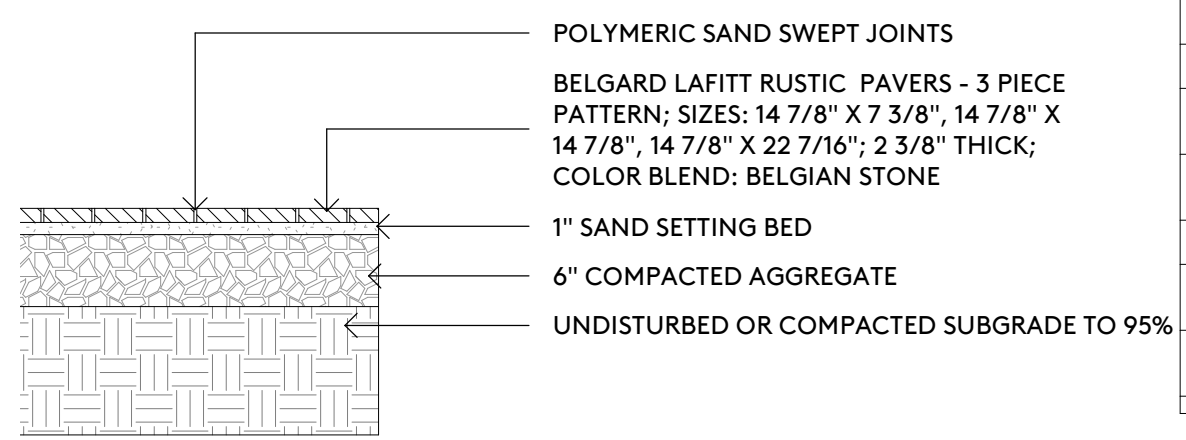
TYPICAL PARK STAIR
L.203-1 | 1/2" = 1'-0"



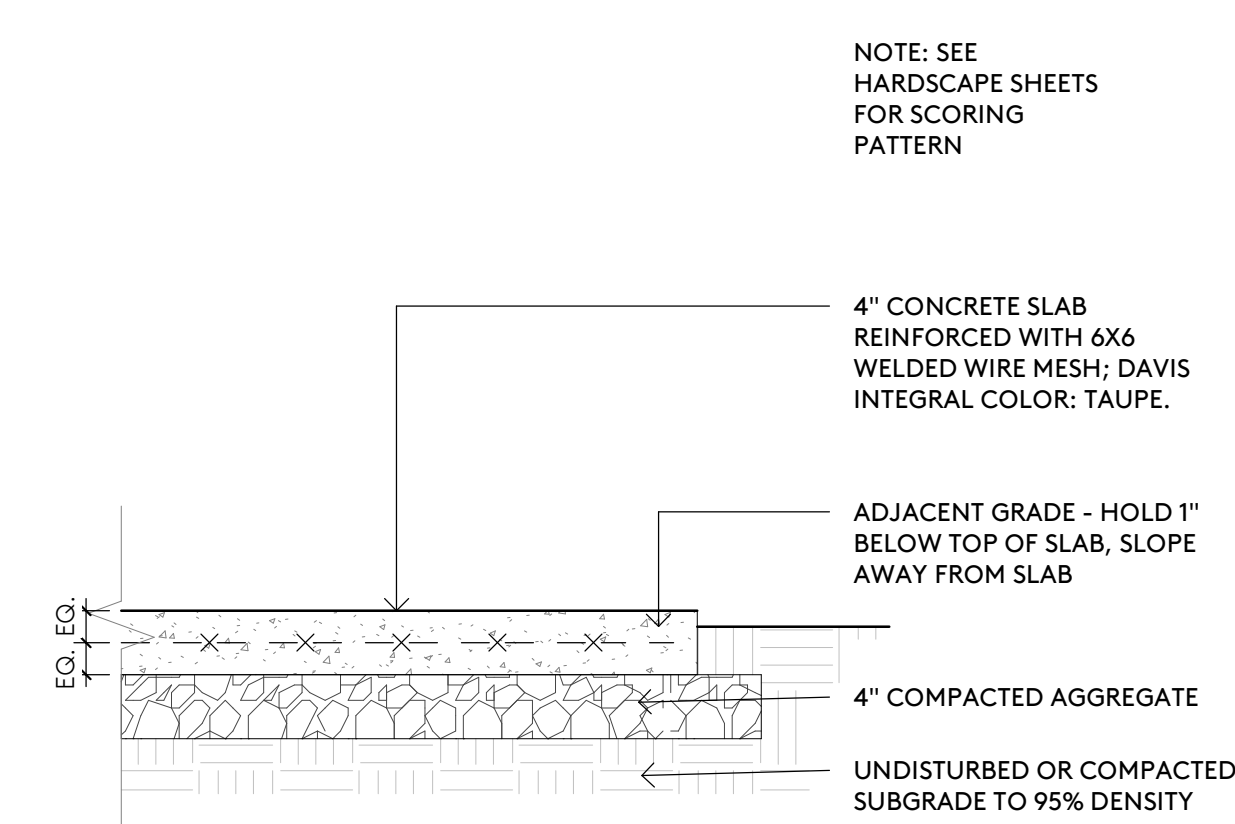
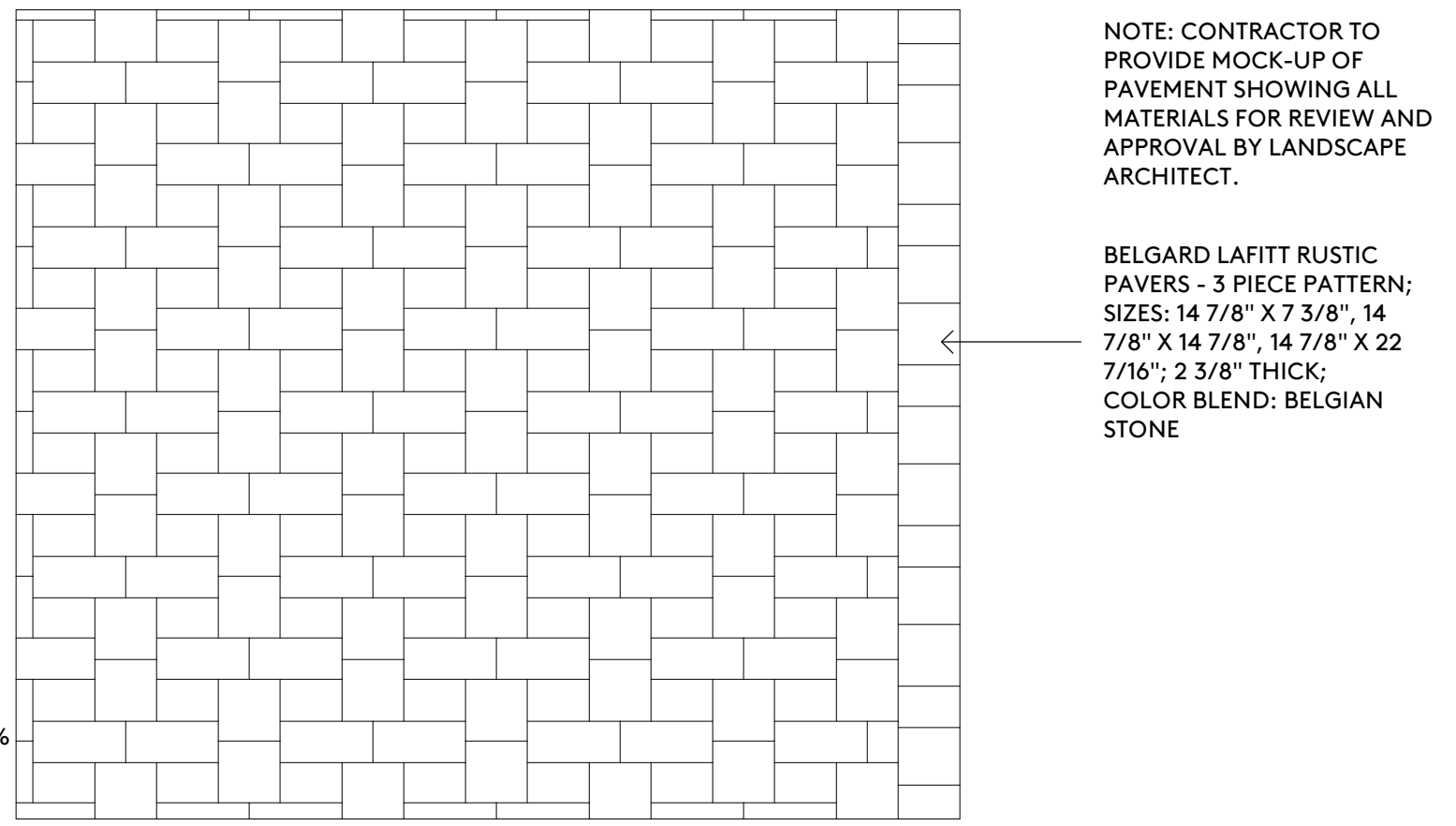
SAND SET CONCRETE UNIT PAVER - VEH. RATED
L.203-1 | 3/4" = 1'-0"



MORTAR SET CONCRETE UNIT PAVER - PED. RATED
3/4" = 1'-0"



SAND SET CONCRETE UNIT PAVER - PED. RATED
3/4" = 1'-0"



COLORLED CONCRETE
L.205-1 | 1" = 1'-0"

REVISIONS

BID SET

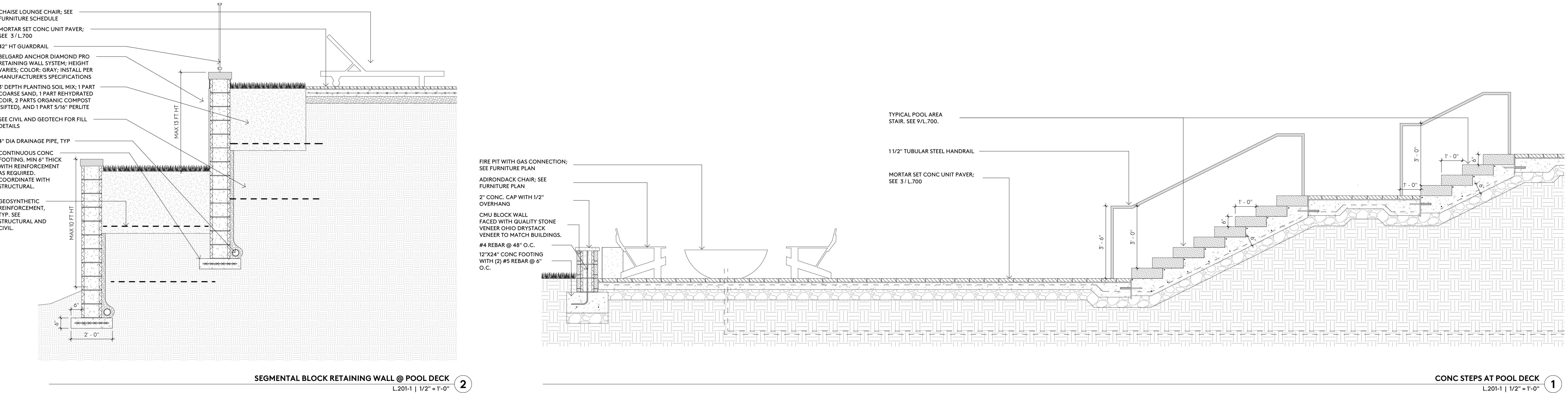
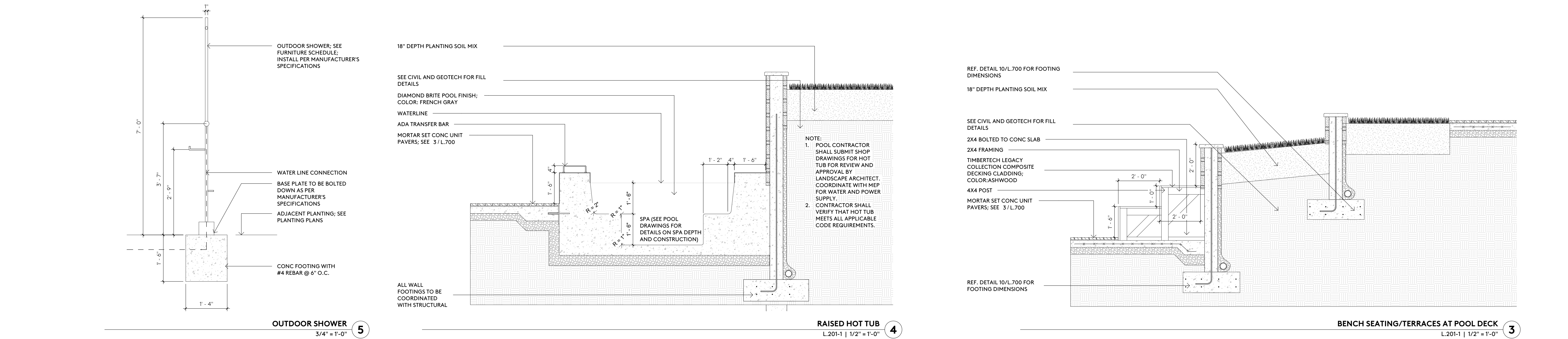
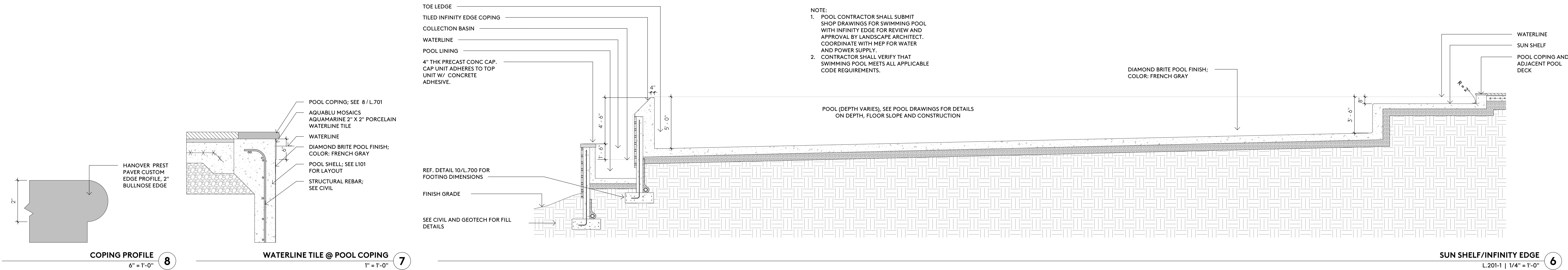
TERRACES AT HIGH MOUNTAIN
4130 HIGH MOUNTAIN ROAD NE
HUNTSVILLE, AL 35811

16 JUNE 2021

L.700
HARDSCAPE DETAILS
3
NORTH

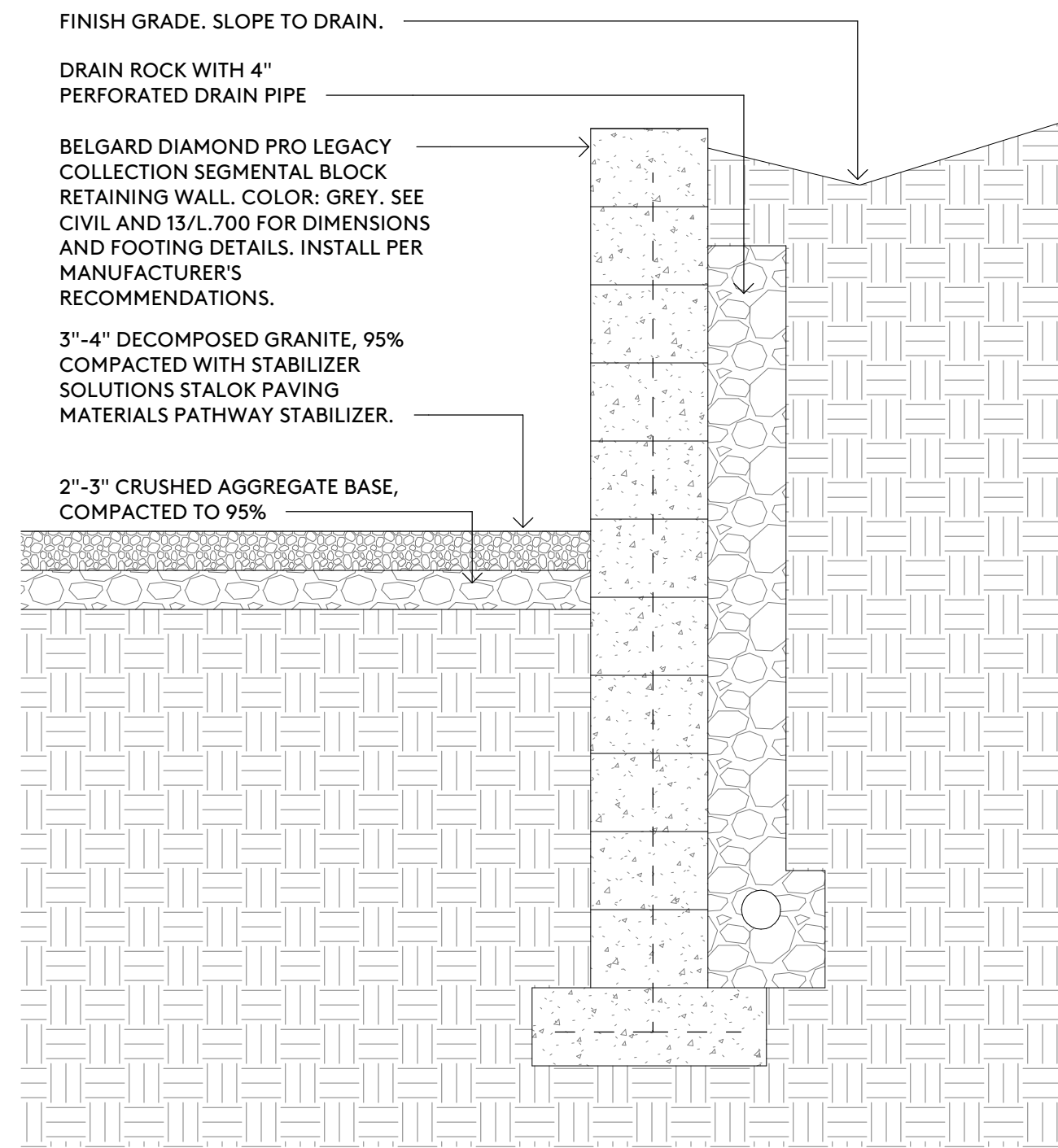
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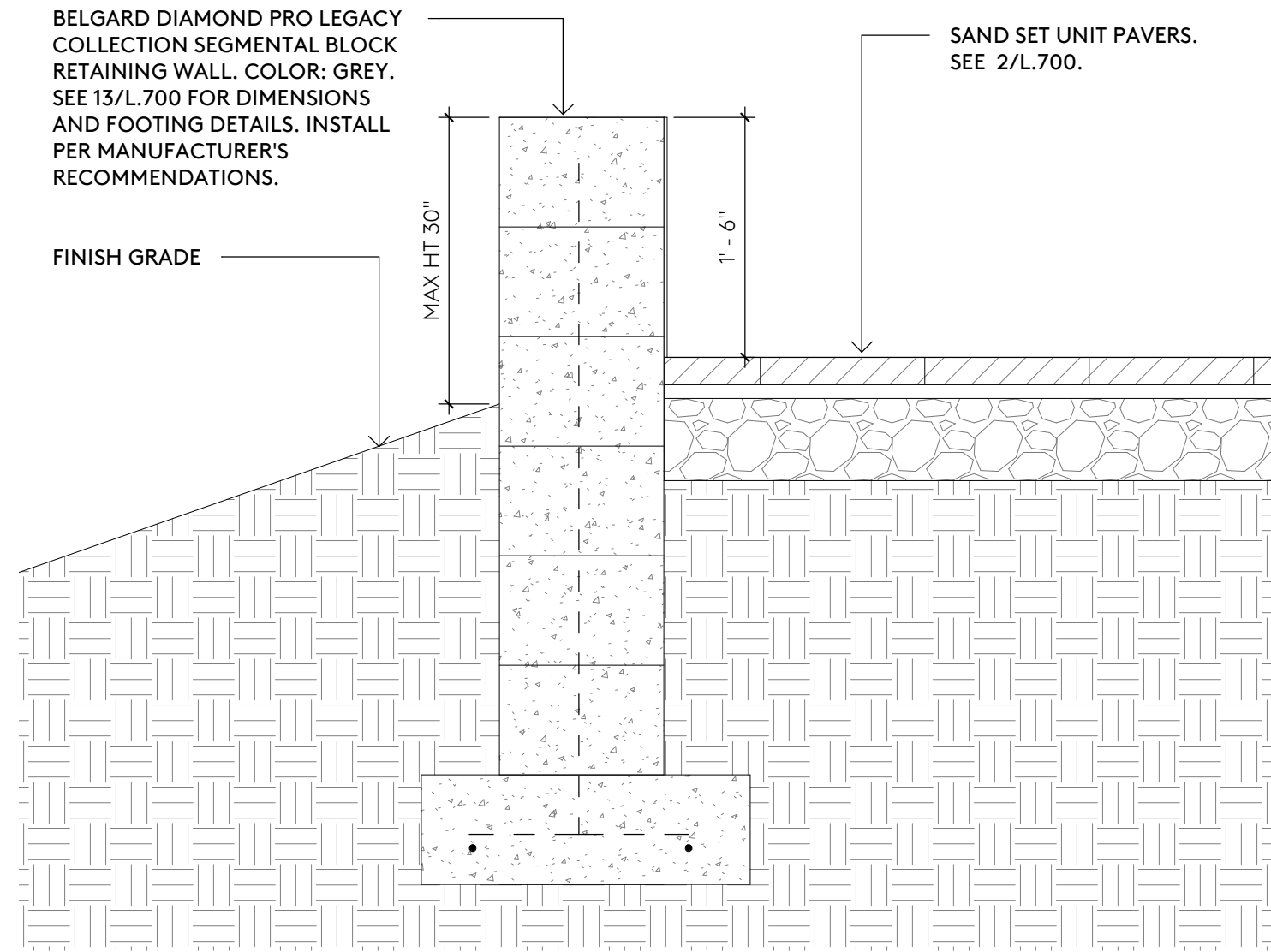




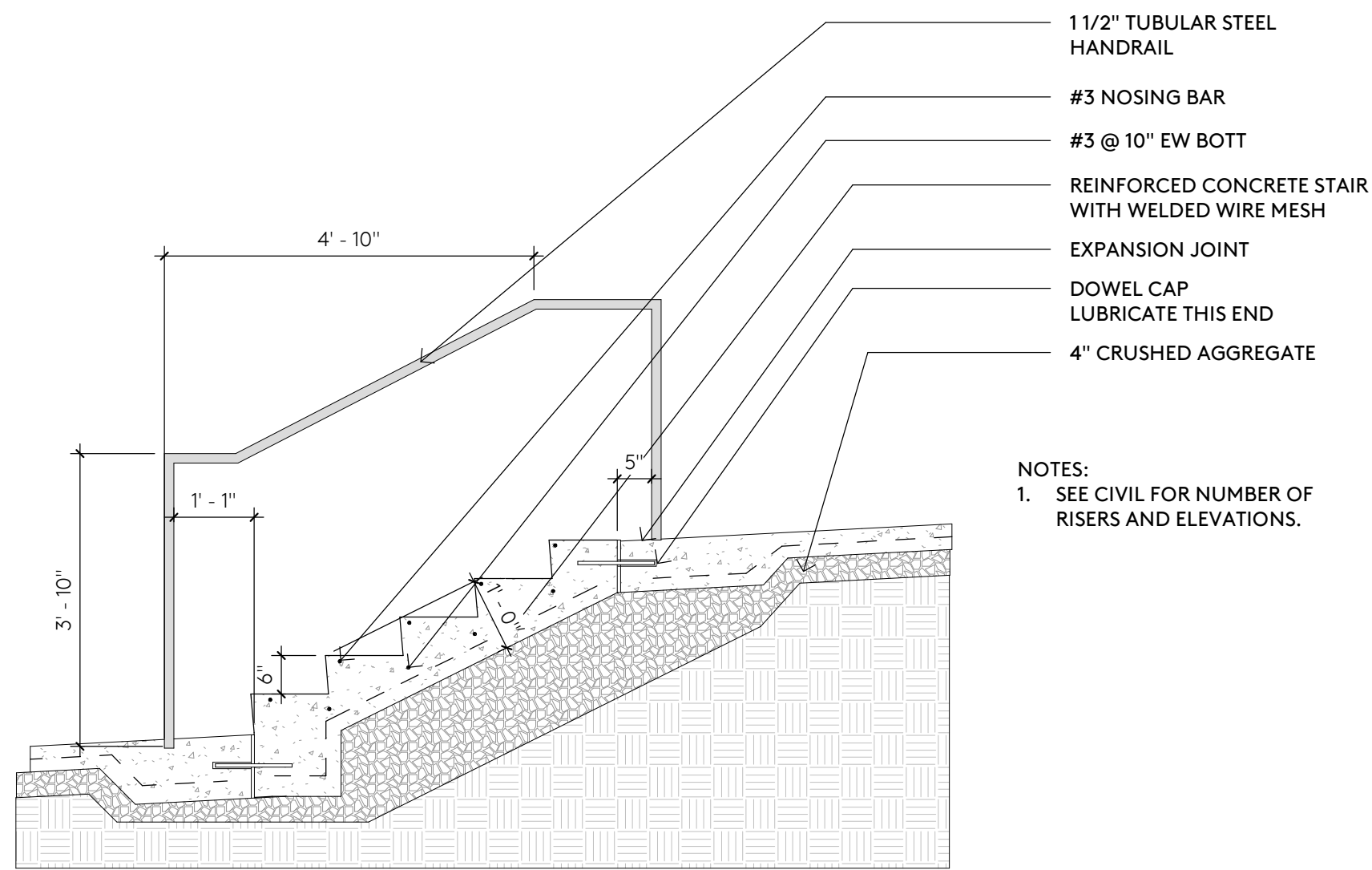
ROCKSCAPE INSPIRATION IMAGES
6" = 1'-0" 9



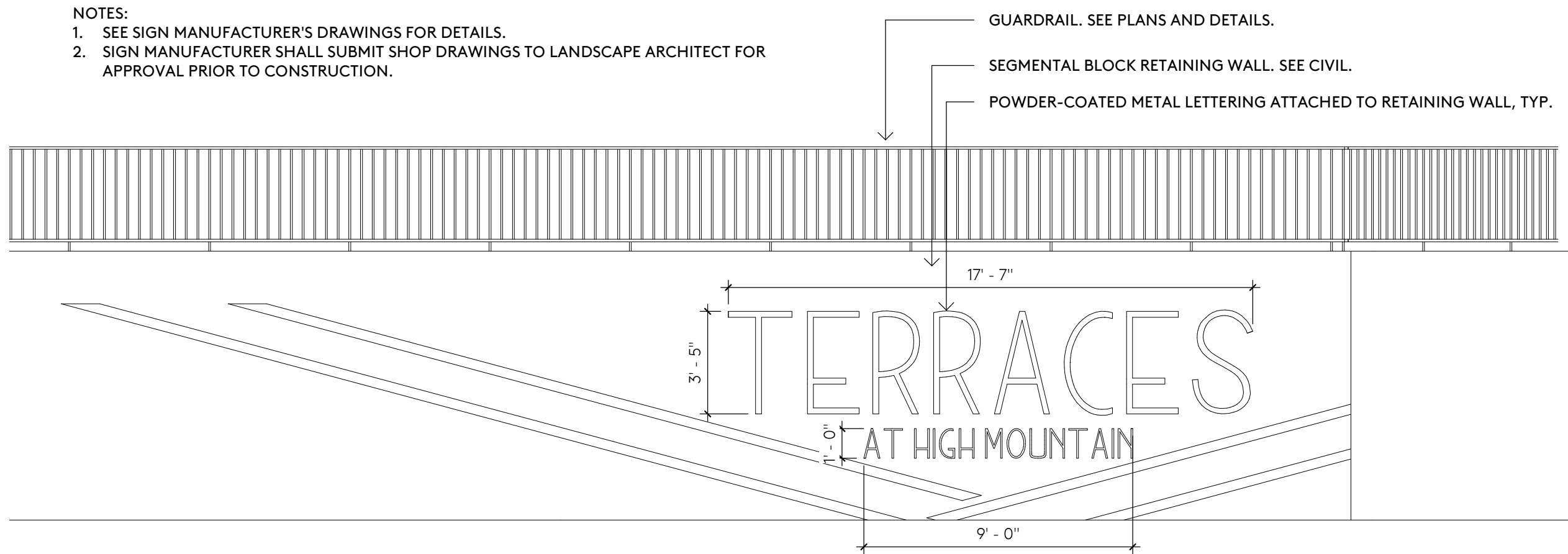
PAVILION WALL SECTION
L.205-1 | 3/4" = 1'-0" 8



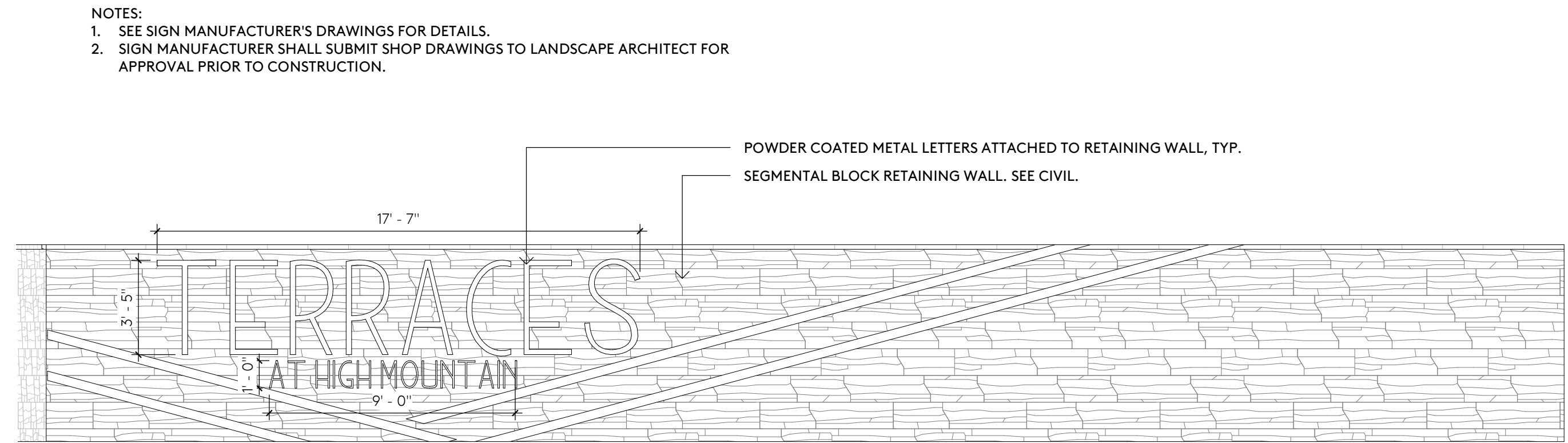
FIRE PIT SEAT WALL SECTION
L.205-2 | 1" = 1'-0" 7



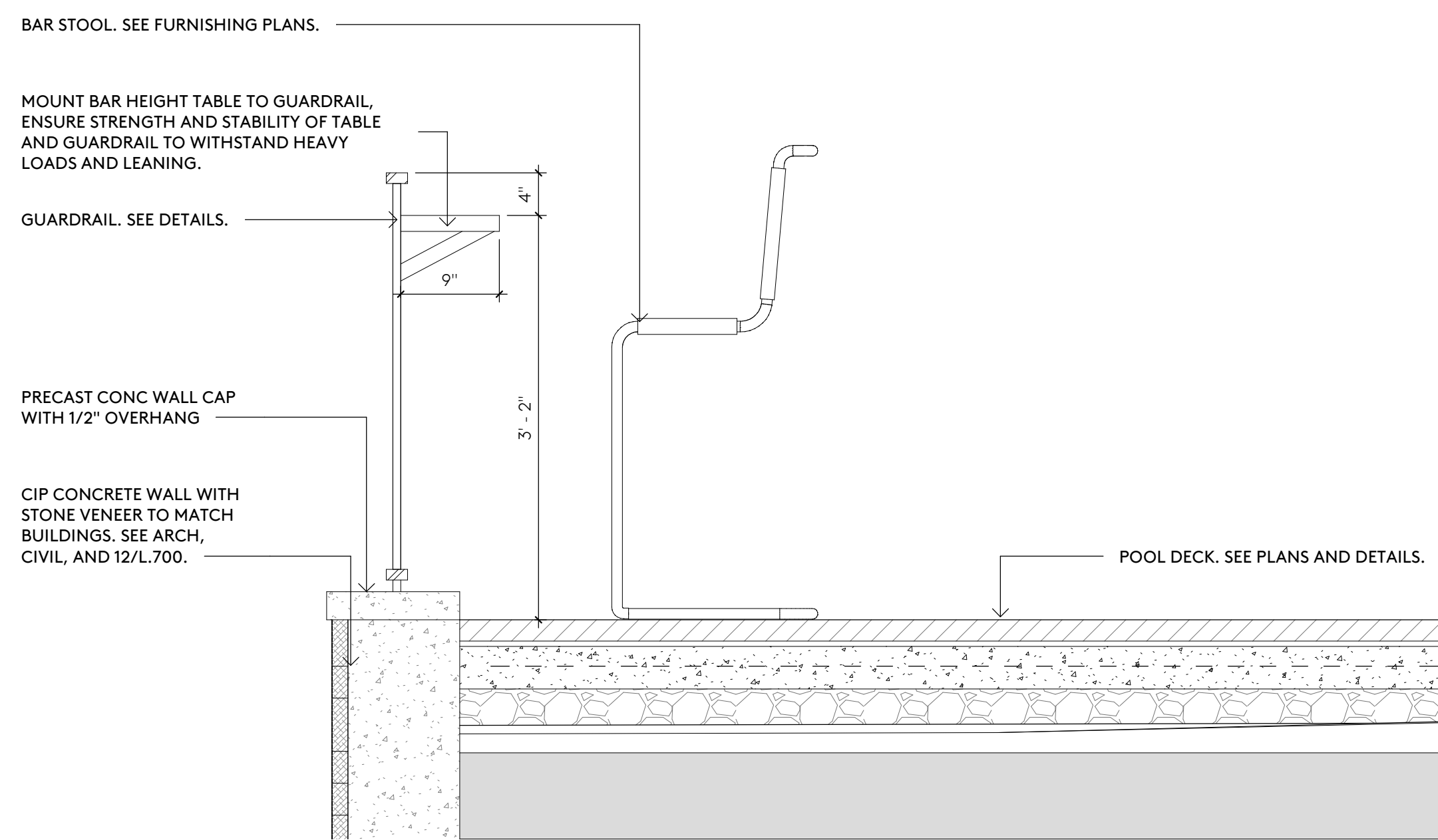
TYPICAL CONCRETE STAIR
1/2" = 1'-0" 6



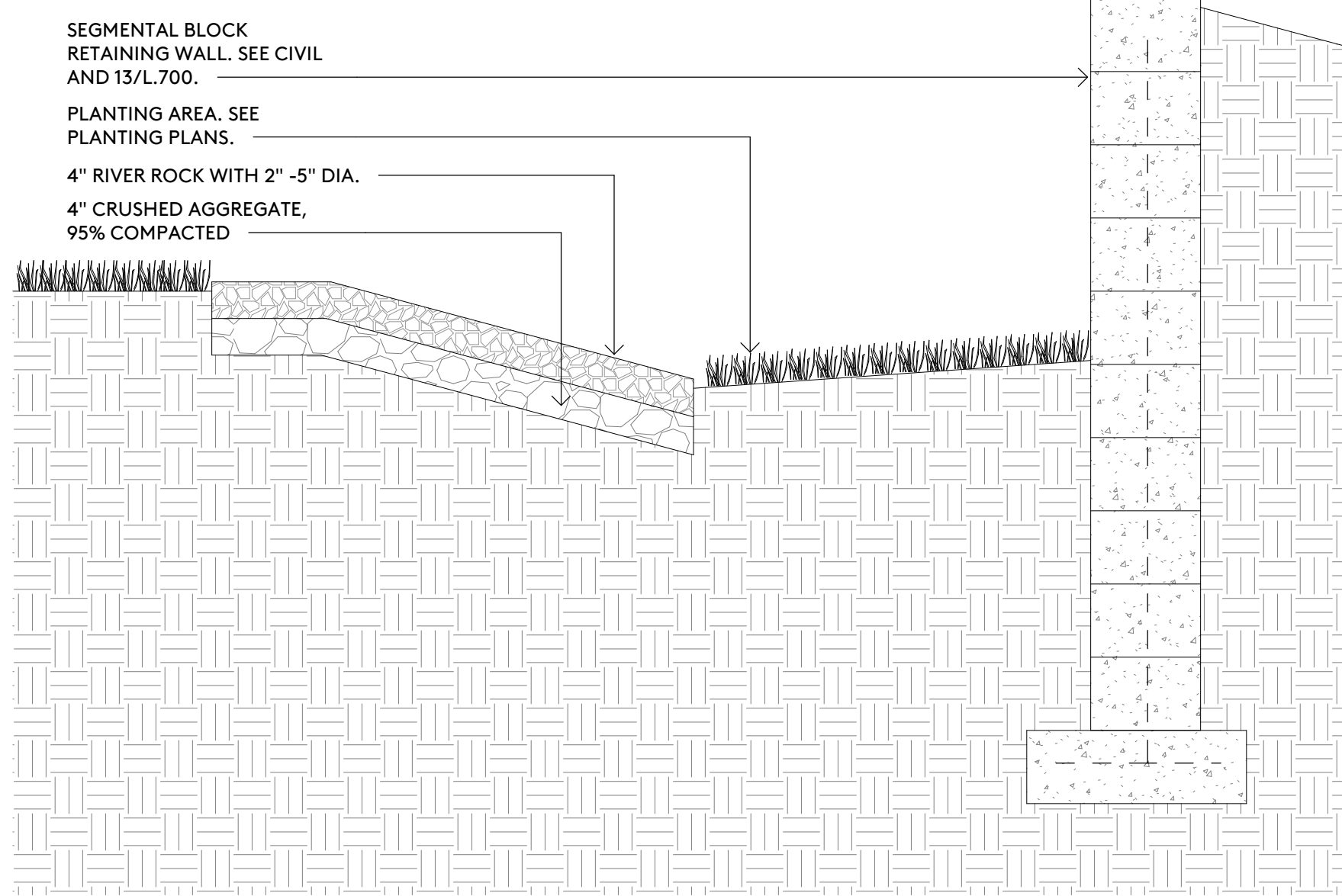
NORTHERN ENTRY SIGN ELEVATION
A0.002-1 | 1/4" = 1'-0" 5



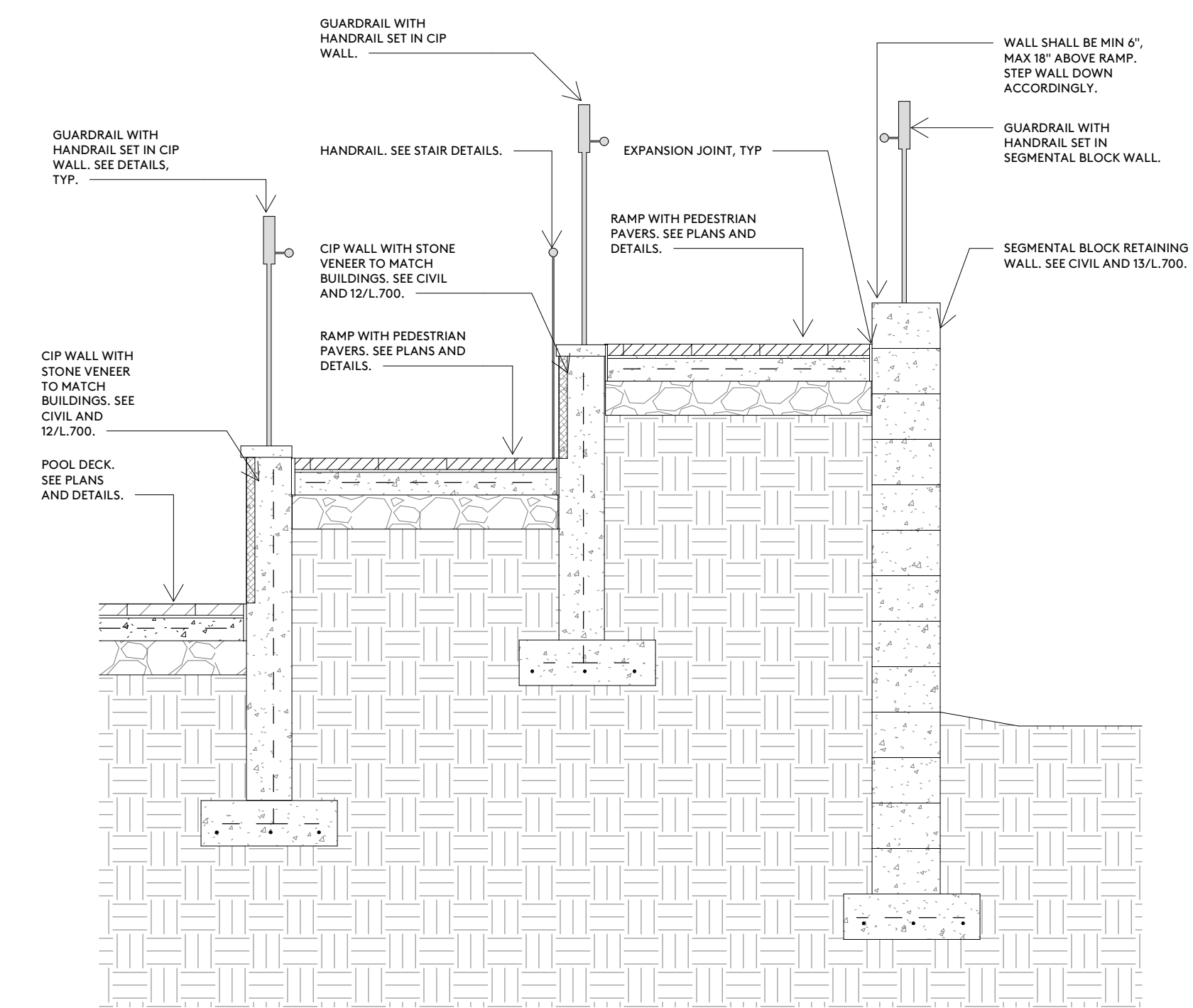
SOUTHERN ENTRY SIGN ELEVATION
A0.002-1 | 1/4" = 1'-0" 4



BAR TABLE BUILT INTO GUARDRAIL
L.204-1 | 1" = 1'-0" 3



PEBBLE LANDSCAPE SECTION
L.203-1 | 3/4" = 1'-0" 2



RAMP SECTION
L.201-1 | 1/2" = 1'-0" 1

REVISIONS

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TERRACES AT HIGH MOUNTAIN
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16 JUNE 2021

L.702
HARDSCAPE DETAILS
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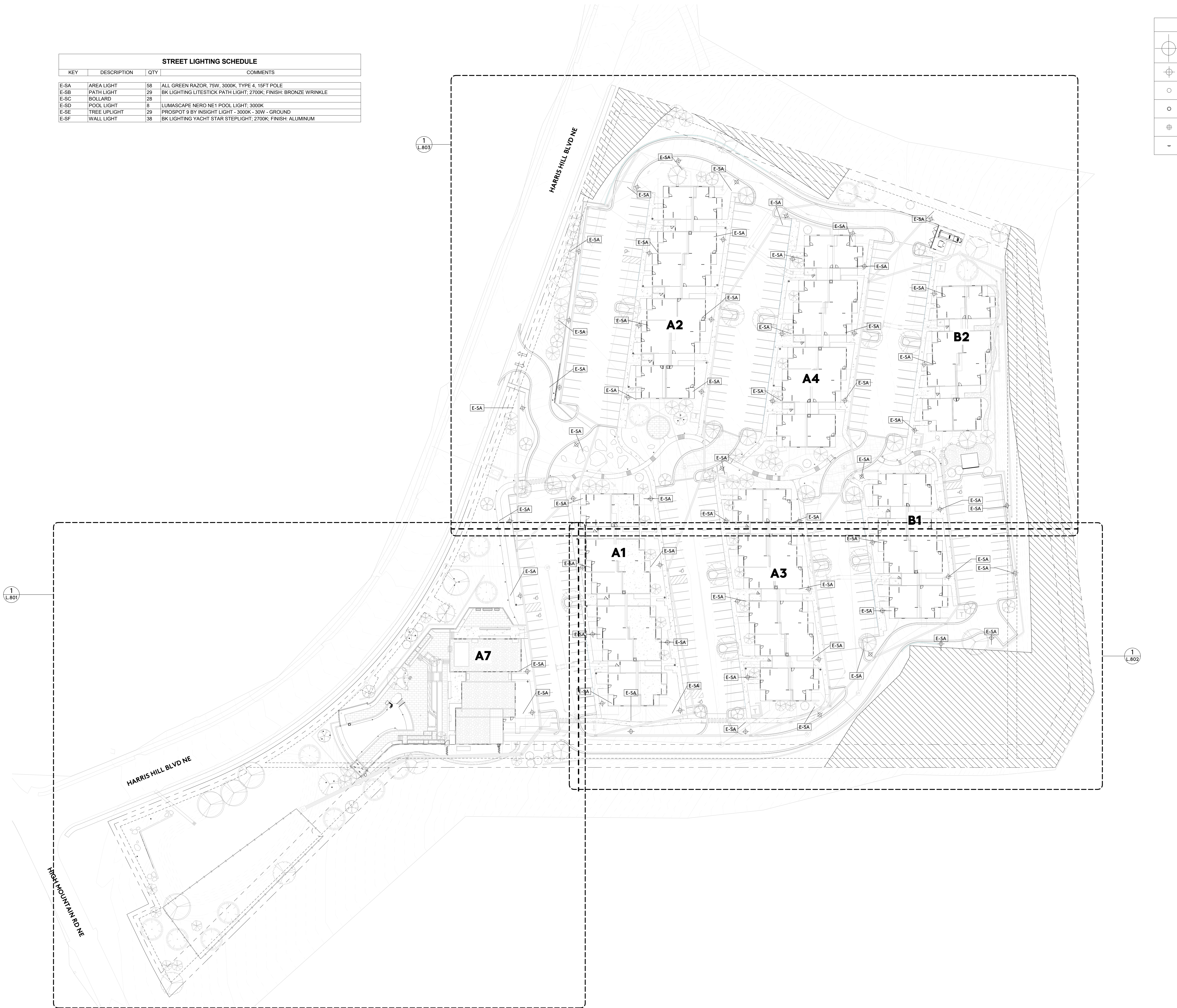
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STREET LIGHTING SCHEDULE			
KEY	DESCRIPTION	QTY	COMMENTS
E-SA	AREA LIGHT	58	ALL GREEN RAZOR, 75W, 3000K, TYPE 4, 15FT POLE
E-SB	PATH LIGHT	29	BK LIGHTING LITESTICK PATH LIGHT, 2700K, FINISH: BRONZE WRINKLE
E-SC	BOLLARD	28	
E-SD	POOL LIGHT	8	LUMASCAPE NERO NE1 POOL LIGHT, 3000K
E-SE	TREE UPLIGHT	20	PROSPOT 9 BY INSIGHT LIGHT, 3000K, 30W, GROUND
E-SF	WALL LIGHT	38	BK LIGHTING YACHT STAR STEPLIGHT, 2700K, FINISH: ALUMINUM

LIGHTING LEGEND		
	E-SA	SITE - ALL GREEN RAZOR, 145W, 3000K, TYPE 4, 15FT POLE AREA LIGHT
	E-SB	SITE - BK LIGHTING LITESTICK PATH LIGHT
	E-SC	SITE - BOLLARD
	E-SD	SITE - LUMASCAPE NERO NE1 POOL LIGHT
	E-SE	SITE - INSIGHT LIGHTING 5 SPOT TREE UPLIGHT
	E-SF	SITE - BK LIGHTING YACHT STAR STEP LIGHT

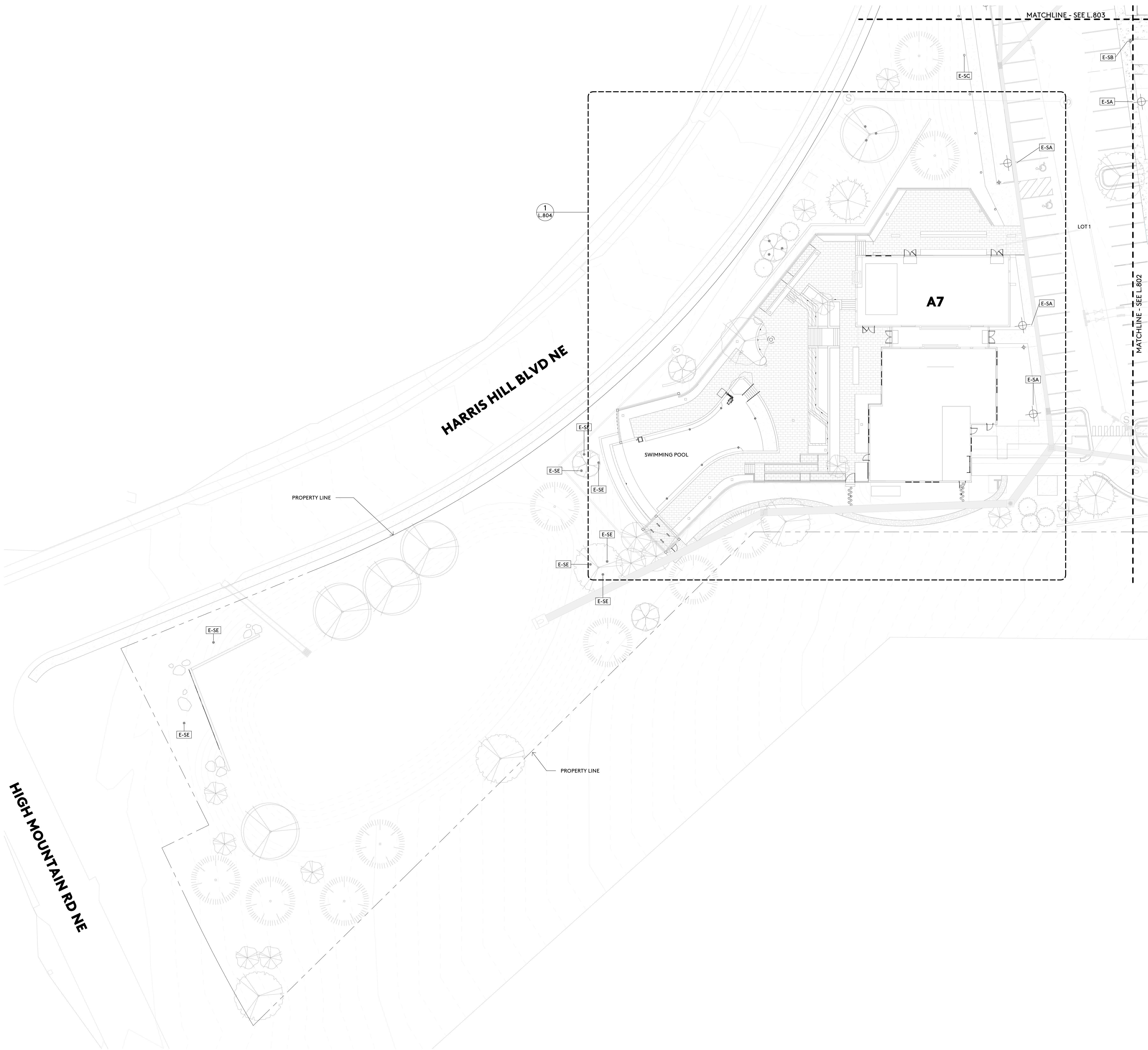
SITE LEGEND	
	PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE

- LIGHTING NOTES**
- CONTRACTOR TO VERIFY ALL PROPOSED LIGHTING MEETS APPLICABLE CITY CODES AND GUIDELINES.
 - CONTRACTOR TO PROVIDE PHOTOMETRIC DATA TO OWNER FOR APPROVAL BEFORE FINALIZING PLAN.
 - SEE MEP DRAWINGS FOR ALL ELECTRICAL INFORMATION.
 - COLOR TEMPERATURE OF ALL LIGHTS SHALL NOT EXCEED 3000K.



OVERALL SITE LIGHTING PLAN 1
1" = 40'-0"

TERRACES AT HIGH MOUNTAIN
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HUNTSVILLE, AL 35811
16 JUNE 2021



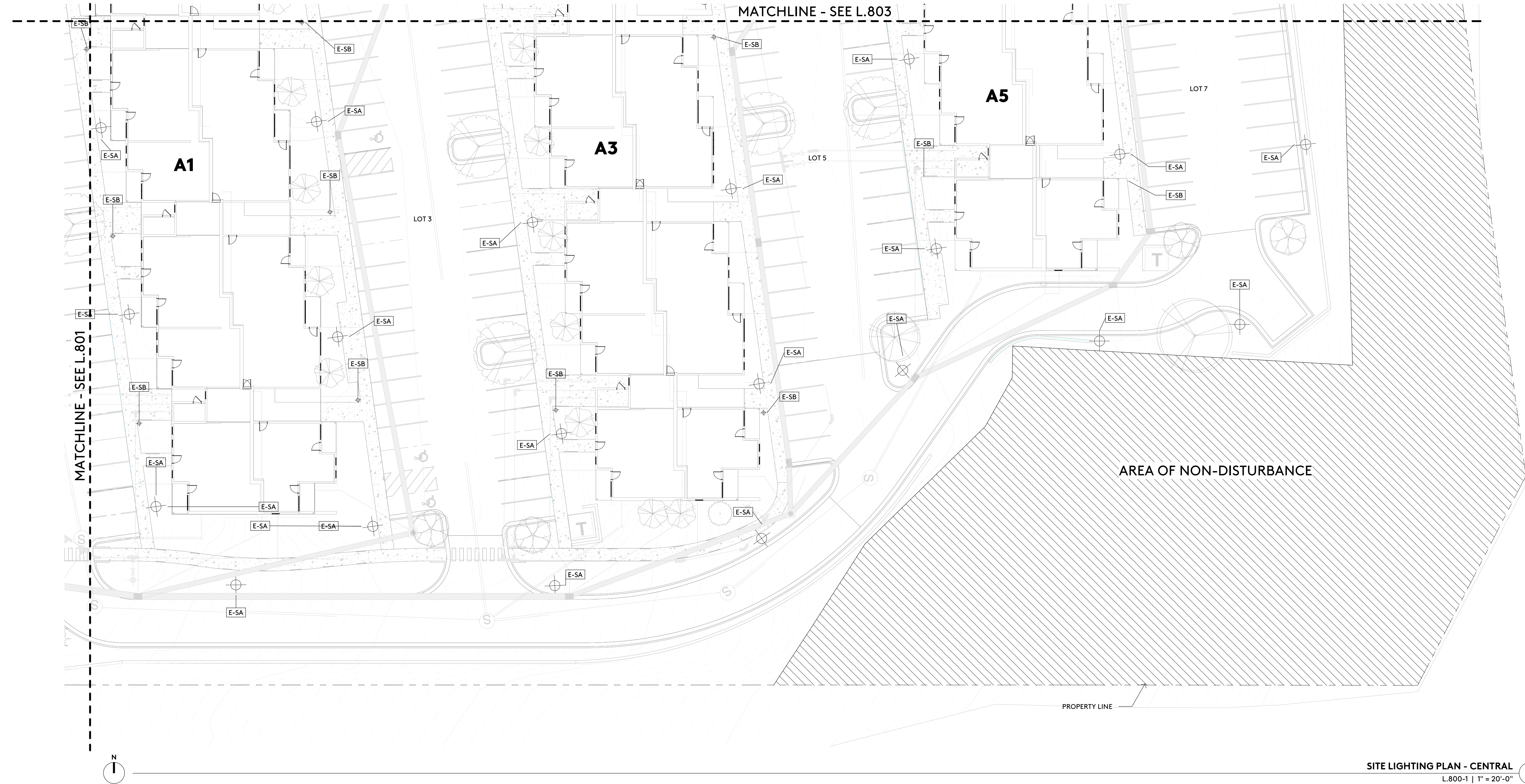
LIGHTING LEGEND		
	E-SA	SITE - ALL GREEN RAZOR, 145W, 3000K, TYPE 4, 15FT POLE AREA LIGHT
	E-SB	SITE - BK LIGHTING LITESTICK PATH LIGHT
	E-SC	SITE - BOLLARD
	E-SD	SITE - LUMASCAPE NERO NE1 POOL LIGHT
	E-SE	SITE - INSIGHT LIGHTING 5 SPOT TREE UPLIGHT
	E-SF	SITE - BK LIGHTING YACHT STAR STEP LIGHT

SITE LEGEND

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE

LIGHTING NOTES

- CONTRACTOR TO VERIFY ALL PROPOSED LIGHTING MEETS APPLICABLE CITY CODES AND GUIDELINES.
- CONTRACTOR TO PROVIDE PHOTOMETRIC DATA TO OWNER FOR APPROVAL BEFORE FINALIZING PLAN.
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- COLOR TEMPERATURE OF ALL LIGHTS SHALL NOT EXCEED 3000K.



LIGHTING LEGEND		
	E-SA	SITE - ALL GREEN RAZOR, 145W, 3000K, TYPE 4, 15FT POLE AREA LIGHT
	E-SB	SITE - BK LIGHTING LITESTICK PATH LIGHT
	E-SC	SITE - BOLLARD
	E-SD	SITE - LUMASCAPE NERO NE1 POOL LIGHT
	E-SE	SITE - INSIGHT LIGHTING 5 SPOT TREE UPLIGHT
	E-SF	SITE - BK LIGHTING YACHT STAR STEP LIGHT

SITE LEGEND	
	PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE

- LIGHTING NOTES**
- CONTRACTOR TO VERIFY ALL PROPOSED LIGHTING MEETS APPLICABLE CITY CODES AND GUIDELINES.
 - CONTRACTOR TO PROVIDE PHOTOMETRIC DATA TO OWNER FOR APPROVAL BEFORE FINALIZING PLAN.
 - SEE MEP DRAWINGS FOR ALL ELECTRICAL INFORMATION.
 - COLOR TEMPERATURE OF ALL LIGHTS SHALL NOT EXCEED 3000K.

REVISIONS

BID SET

L.802

3

NORTH

SITE LIGHTING PLAN B

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SITE LIGHTING PLAN - CENTRAL

L.800-1 | 1" = 20'-0"

1



LIGHTING LEGEND		
	E-SA	SITE - ALL GREEN RAZOR, 145W, 3000K, TYPE 4, 15FT POLE AREA LIGHT
	E-SB	SITE - BK LIGHTING LITESTICK PATH LIGHT
	E-SC	SITE - BOLLARD
	E-SD	SITE - LUMASCAPE NERO NE1 POOL LIGHT
	E-SE	SITE - INSIGHT LIGHTING 5 SPOT TREE UPLIGHT
	E-SF	SITE - BK LIGHTING YACHT STAR STEP LIGHT

SITE LEGEND	
	PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE

- LIGHTING NOTES**
1. CONTRACTOR TO VERIFY ALL PROPOSED LIGHTING MEETS APPLICABLE CITY CODES AND GUIDELINES.
 2. CONTRACTOR TO PROVIDE PHOTOMETRIC DATA TO OWNER FOR APPROVAL BEFORE FINALIZING PLAN.
 3. SEE MEP DRAWINGS FOR ALL ELECTRICAL INFORMATION.
 4. COLOR TEMPERATURE OF ALL LIGHTS SHALL NOT EXCEED 3000K.

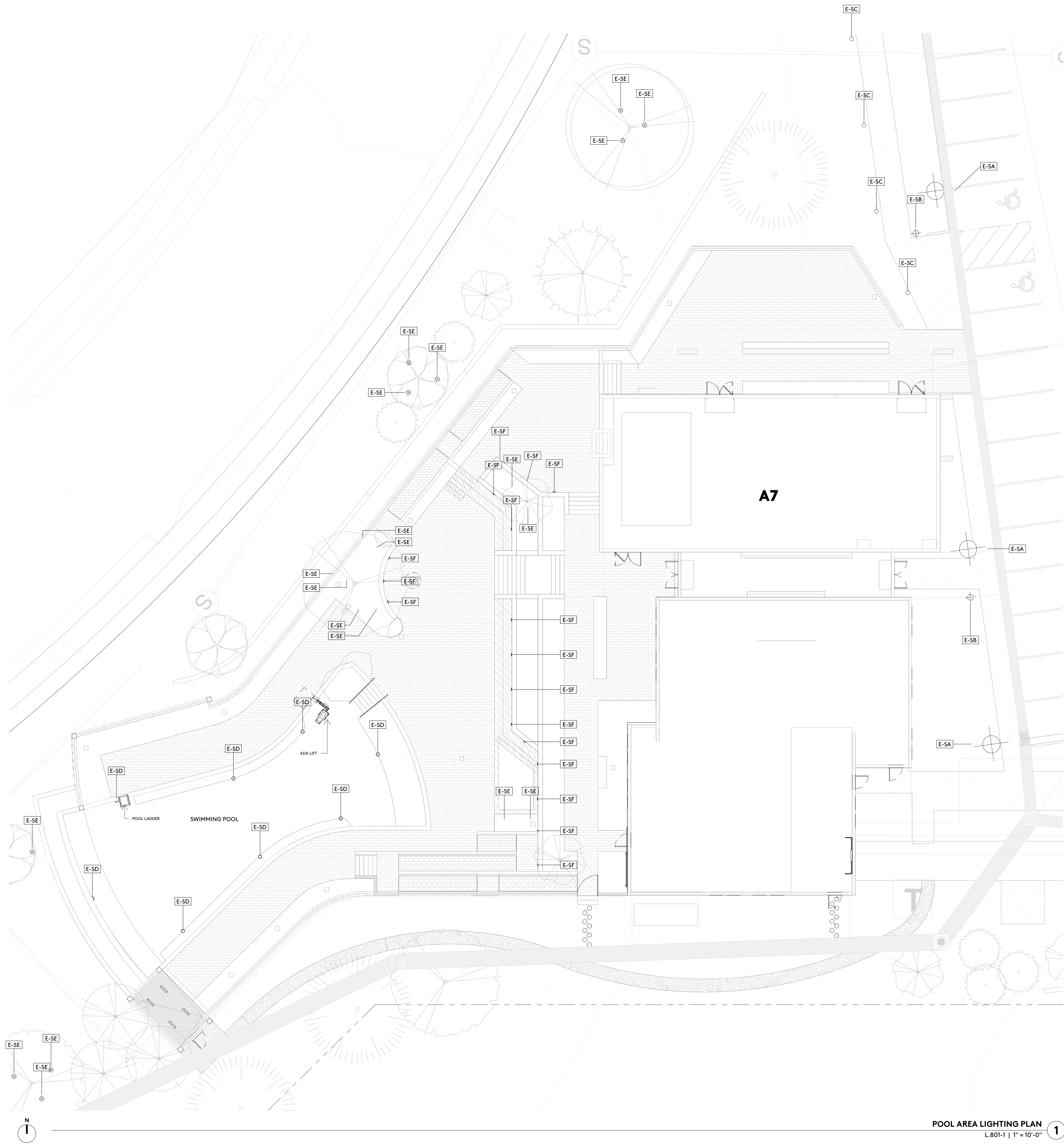
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L.803
SITE LIGHTING PLAN C



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LIGHTING LEGEND		
	E-SA	SITE - ALL GREEN RAZOR, 145W, 3000K, TYPE 4, 15FT POLE AREA LIGHT
	E-SB	SITE - BK LIGHTING LITESTICK PATH LIGHT
	E-SC	SITE - BOLLARD
	E-SD	SITE - LUMASCAPE NERO NE1 POOL LIGHT
	E-SE	SITE - INSIGHT LIGHTING 5 SPOT TREE UPLIGHT
	E-SF	SITE - BK LIGHTING YACHT STAR STEP LIGHT

SITE LEGEND	
	PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE

- LIGHTING NOTES**
1. CONTRACTOR TO VERIFY ALL PROPOSED LIGHTING MEETS APPLICABLE CITY CODES AND GUIDELINES.
 2. CONTRACTOR TO PROVIDE PHOTOMETRIC DATA TO OWNER FOR APPROVAL BEFORE FINALIZING PLAN.
 3. SEE MEP DRAWINGS FOR ALL ELECTRICAL INFORMATION.
 4. COLOR TEMPERATURE OF ALL LIGHTS SHALL NOT EXCEED 3000K.

POOL AREA LIGHTING PLAN
L.801-1 | 1" = 10'-0" **1**

REVISIONS

BID SET

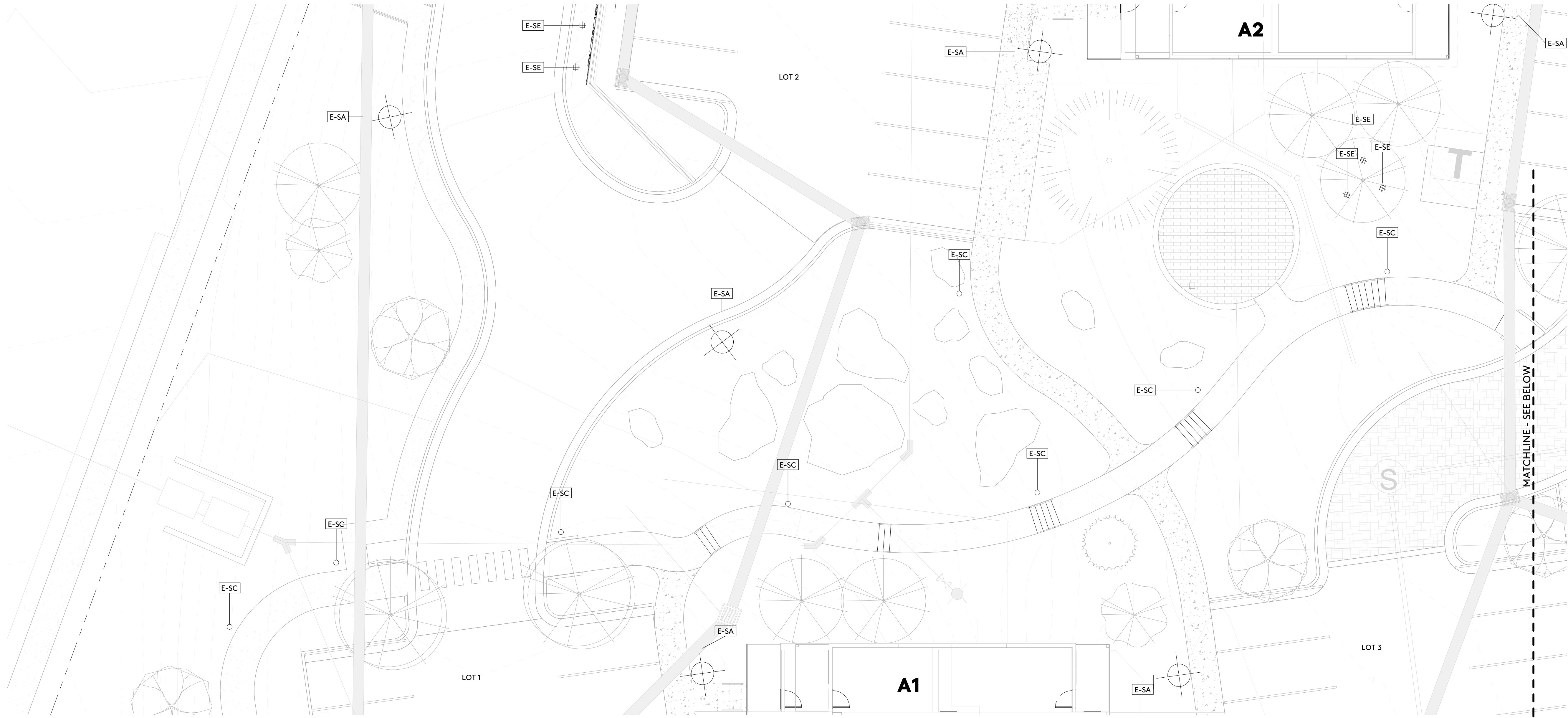
TERRACES AT HIGH MOUNTAIN
4130 HIGH MOUNTAIN ROAD NE
HUNTSVILLE, AL 35811

16 JUNE 2021

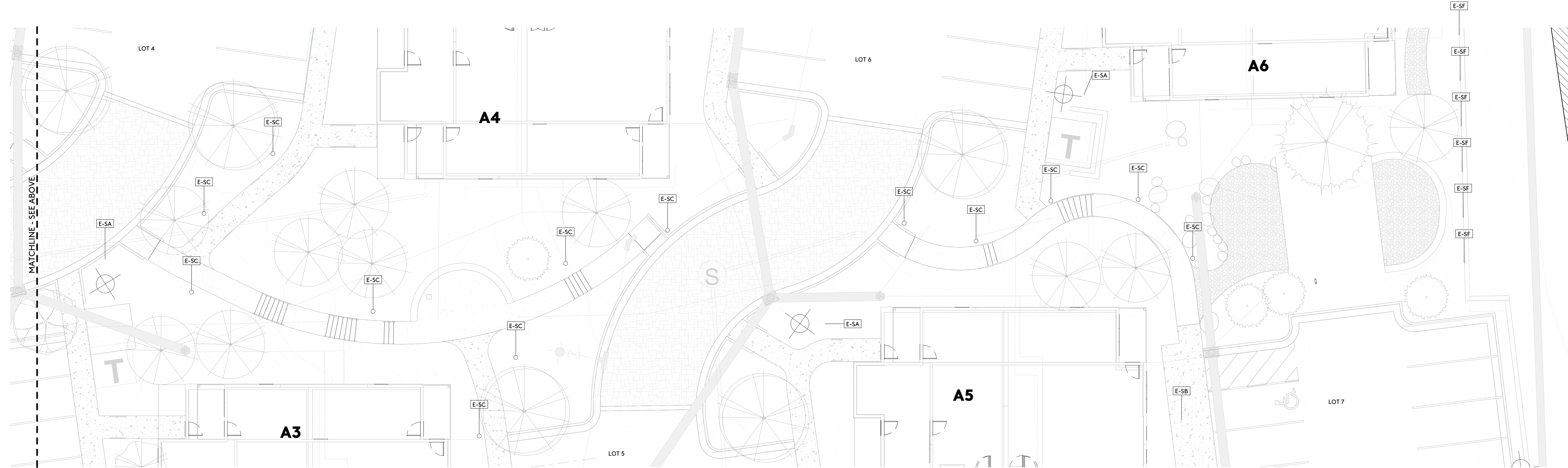
L.804
POOL AREA LIGHTING PLAN

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PARK LIGHTING PLAN - WEST 2
L.803-1 | 1" = 10'-0"



PARK LIGHTING PLAN - EAST 1
L.803-1 | 1" = 10'-0"

LIGHTING LEGEND		
	E-SA	SITE - ALL GREEN RAZOR, 145W, 3000K, TYPE 4, 15FT POLE AREA LIGHT
	E-SB	SITE - BK LIGHTING LITESTICK PATH LIGHT
	E-SC	SITE - BOLLARD
	E-SD	SITE - LUMASCAPE NERO NE1 POOL LIGHT
	E-SE	SITE - INSIGHT LIGHTING 5 SPOT TREE UPLIGHT
	E-SF	SITE - BK LIGHTING YACHT STAR STEP LIGHT

SITE LEGEND	
	PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE

- LIGHTING NOTES**
1. CONTRACTOR TO VERIFY ALL PROPOSED LIGHTING MEETS APPLICABLE CITY CODES AND GUIDELINES.
 2. CONTRACTOR TO PROVIDE PHOTOMETRIC DATA TO OWNER FOR APPROVAL BEFORE FINALIZING PLAN.
 3. SEE MEP DRAWINGS FOR ALL ELECTRICAL INFORMATION.
 4. COLOR TEMPERATURE OF ALL LIGHTS SHALL NOT EXCEED 3000K.