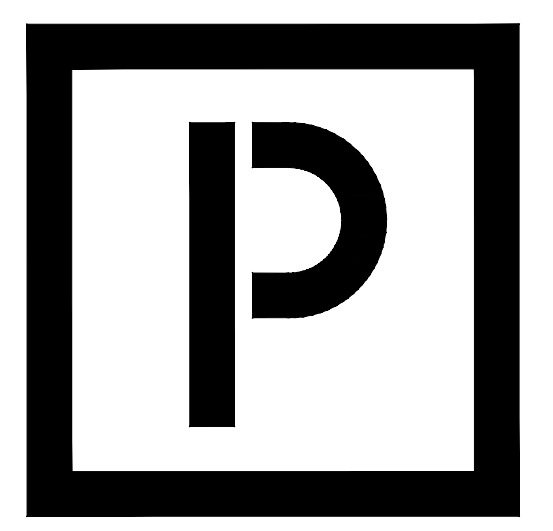


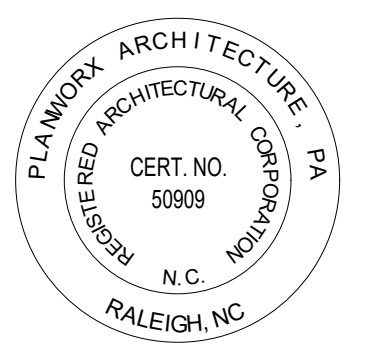
- APARTMENT FLOOR PLAN GENERAL NOTES**
- DIMENSIONS ARE TO THE EXTERIOR FACE OF STUDS, UNO
 - SLOPE CONCRETE AT BREEZEWAY ENTRY CORRIDOR PER THE BUILDING AND/OR THE FOUNDATION PLAN AND FOR LOCATIONS AND EXTENT OF SLOPE.
 - SEE LIFE SAFETY PLAN FOR FIRE EXTINGUISHER LOCATIONS.
 - BEARING WALLS ARE SHOWN ON BUILDING FRAMING PLANS.
 - REFER TO ENLARGED UNIT PLANS FOR WINDOW & DOOR DIMENSIONS.
 - REFER TO "A0.20" SHEETS FOR ALL APPLICABLE UL DETAILS AND ALL OTHER CODE REQUIREMENTS.
 - ALL MOBILITY UNIT DOORS TO HAVE IDENTIFICATION SIGNS MOUNTED ON LATCH SIDE OF DOOR WHICH INCLUDE RAISED CHARACTERS & BRAILLE MOUNTED AT CONSISTENT HGT. PER FLORIDA ACCESSIBILITY CODE.
 - REFER TO WINDOW AND DOOR SCHEDULE FOR MORE INFORMATION.

- ARCHITECTURAL PLANS WALL LEGEND**
- STANDARD STUD WALL INT OR EXT
IF EXT SEE ELEVATIONS FOR SIDING
STYLE THICKNESS OF WALL NOTED IN PLAN NOTES OR AT WALL LOCATIONS
 - STANDARD STUD WALL WITH APPLIED STONE VENEER
STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
(NOTE: NO FOUNDATION SUPPORT IS REPRESENTED ON STRUCTURAL PLANS)
IF STACKED STONE IS TO BE USED, BUILDER MUST NOTIFY PLAN DESIGNER BEFORE FOOTINGS ARE POURED
 - STANDARD STUD WALL WITH LOW STONE WAINSCOTING.
SEE ELEVATIONS FOR HEIGHT & FINISH MATERIAL AT EXT STUD WALL ABOVE.
STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
 - MOBILITY UNIT LOCATION

BUILDING TYPE 1-L - THIRD FLOOR PLAN
Scale: 3/32" = 1'-0"



PLANWORX ARCHITECTURE
5711 SIX FORKS ROAD, SUITE 100
RALEIGH NC 27609
website www.planworx.com



Inspiration at Southpoint Apartments
Zimmer Development Company
Fort Meyers, Florida



PROGRESS DATE:	12-1-21 (100% Set)		
ISSUE DATE:			
REVISIONS:			
NUMBER	DATE INITIALS DESCRIPTION		

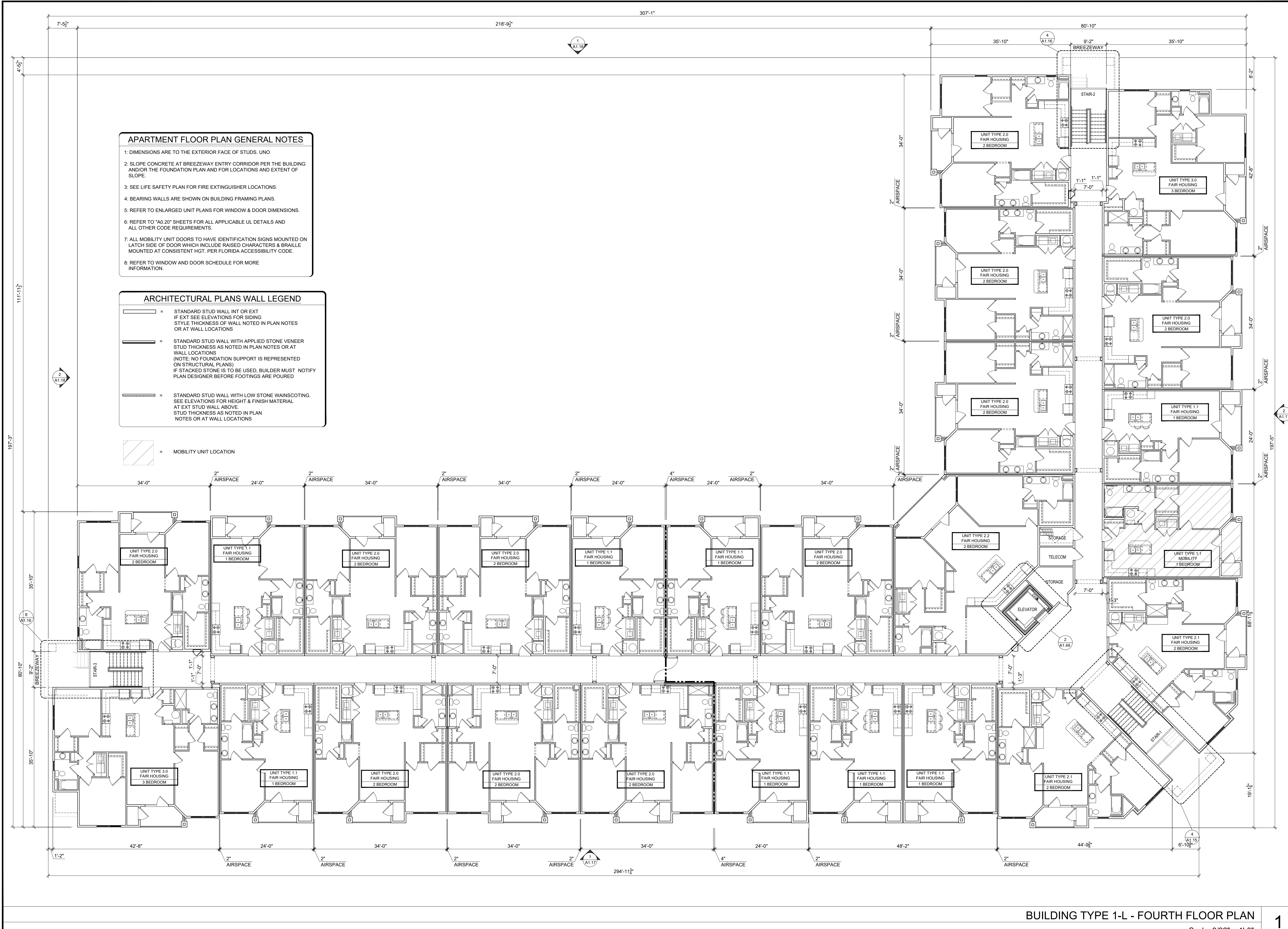
PROJECT NO: **010819**
DRAWN BY: CLJ/AM
CHECKED BY:

SHEET TITLE:
**Building Type 1-L
Third Floor Plan**

SHEET NUMBER:

A1.12-L

1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. 2. Contractor is to notify architect immediately of conditions or items varying from depicted information. 3. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted. 4. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planworx Architecture, P.A. Design. 5. Planworx Architecture, P.A. retains ownership of all of designs depicted and implied herein. 6. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans. © Copyright 2021 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client. Unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION W/O APPROPRIATE PROFESSIONAL SEALS.

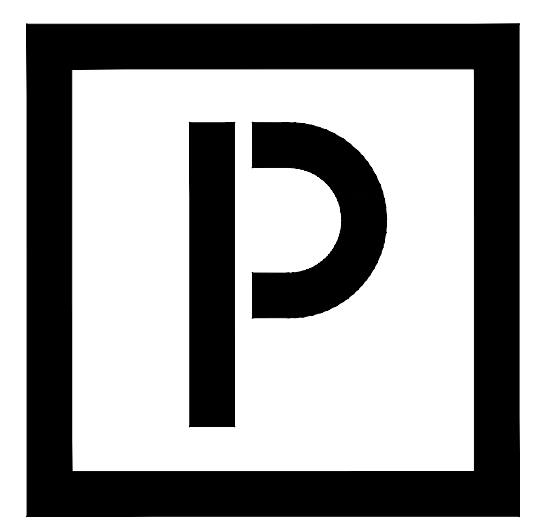


APARTMENT FLOOR PLAN GENERAL NOTES

- DIMENSIONS ARE TO THE EXTERIOR FACE OF STUDS. UNO
- SLOPE CONCRETE AT BREEZEWAY ENTRY CORRIDOR PER THE BUILDING AND/OR THE FOUNDATION PLAN AND FOR LOCATIONS AND EXTENT OF SLOPE.
- SEE LIFE SAFETY PLAN FOR FIRE EXTINGUISHER LOCATIONS.
- BEARING WALLS ARE SHOWN ON BUILDING FRAMING PLANS.
- REFER TO ENLARGED UNIT PLANS FOR WINDOW & DOOR DIMENSIONS.
- REFER TO "A0.20" SHEETS FOR ALL APPLICABLE UL DETAILS AND ALL OTHER CODE REQUIREMENTS.
- ALL MOBILITY UNIT DOORS TO HAVE IDENTIFICATION SIGNS MOUNTED ON LATCH SIDE OF DOOR WHICH INCLUDE RAISED CHARACTERS & BRAILLE MOUNTED AT CONSISTENT HGT. PER FLORIDA ACCESSIBILITY CODE.
- REFER TO WINDOW AND DOOR SCHEDULE FOR MORE INFORMATION.

ARCHITECTURAL PLANS WALL LEGEND

- STANDARD STUD WALL INT OR EXT IF EXT SEE ELEVATIONS FOR SIDING STYLE THICKNESS OF WALL NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH APPLIED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE: NO FOUNDATION SUPPORT IS REPRESENTED ON STRUCTURAL PLANS) IF STACKED STONE IS TO BE USED, BUILDER MUST NOTIFY PLAN DESIGNER BEFORE FOOTINGS ARE POURED
- STANDARD STUD WALL WITH LOW STONE WAINSCOTING. SEE ELEVATIONS FOR HEIGHT & FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- MOBILITY UNIT LOCATION



PLANWORX ARCHITECTURE

5711 SIX FORKS ROAD, SUITE 100
RALEIGH NC 27609
website www.planworx.com



Inspiration at Southpoint Apartments
Zimmer Development Company
Fort Meyers, Florida



PROGRESS DATE:	12-1-21 (100% Set)
ISSUE DATE:	
REVISIONS NUMBER	
DATE	
INITIALS	
DESCRIPTION	

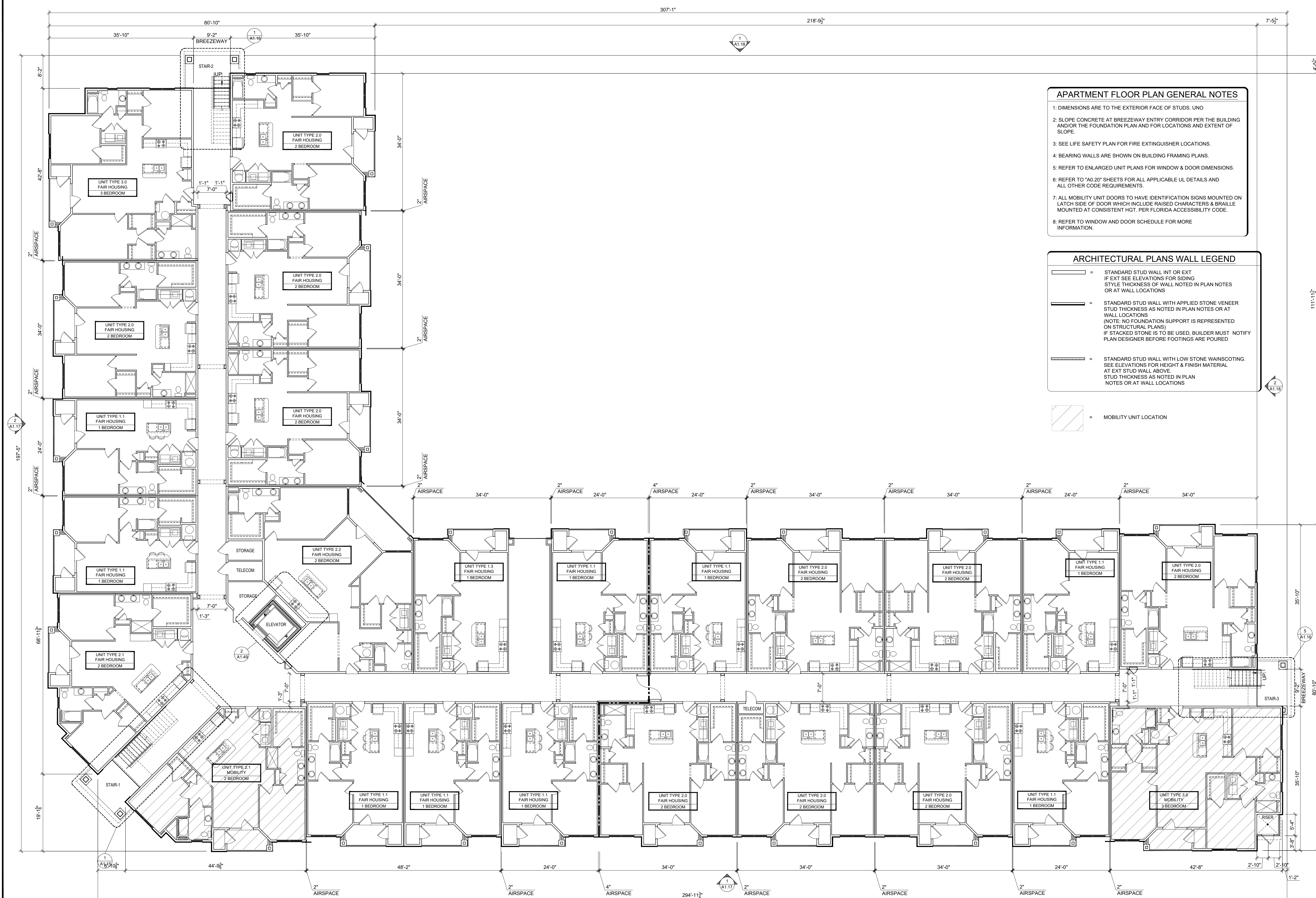
PROJECT NO: **010819**
DRAWN BY: CL/AM
CHECKED BY:

SHEET TITLE:
**Building Type 1-L
Fourth Floor Plan**

SHEET NUMBER: **1**

BUILDING TYPE 1-L - FOURTH FLOOR PLAN
Scale: 3/32" = 1'-0"

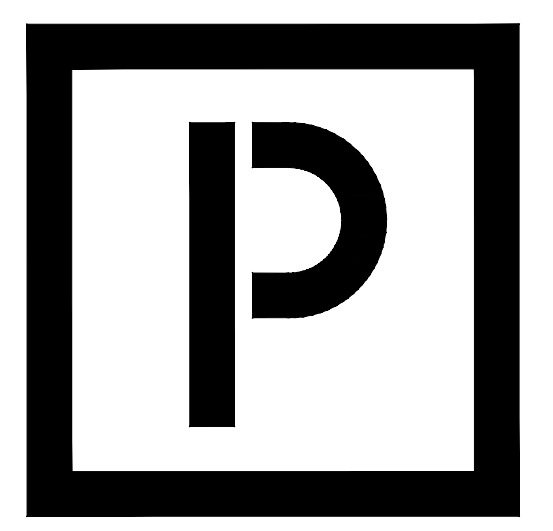
1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. 3. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted. 5. Planworx Architecture, P.A. retains ownership of all of designs depicted and implied herein.
2. Contractor is to notify architect immediately of conditions or items varying from depicted information. 4. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planworx Architecture, P.A. Design. 6. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans.
© Copyright 2021 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client. Unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION W/O APPROPRIATE PROFESSIONAL SEALS.



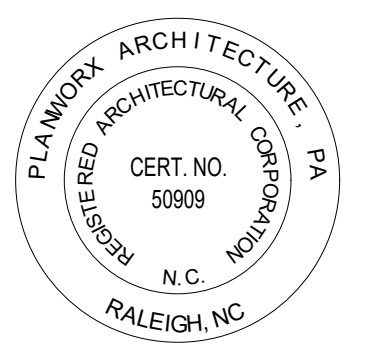
- APARTMENT FLOOR PLAN GENERAL NOTES**
- 1: DIMENSIONS ARE TO THE EXTERIOR FACE OF STUDS. UNO
 - 2: SLOPE CONCRETE AT BREEZEWAY ENTRY CORRIDOR PER THE BUILDING AND/OR THE FOUNDATION PLAN AND FOR LOCATIONS AND EXTENT OF SLOPE.
 - 3: SEE LIFE SAFETY PLAN FOR FIRE EXTINGUISHER LOCATIONS.
 - 4: BEARING WALLS ARE SHOWN ON BUILDING FRAMING PLANS.
 - 5: REFER TO ENLARGED UNIT PLANS FOR WINDOW & DOOR DIMENSIONS.
 - 6: REFER TO "A0.20" SHEETS FOR ALL APPLICABLE UL DETAILS AND ALL OTHER CODE REQUIREMENTS.
 - 7: ALL MOBILITY UNIT DOORS TO HAVE IDENTIFICATION SIGNS MOUNTED ON LATCH SIDE OF DOOR WHICH INCLUDE RAISED CHARACTERS & BRAILLE MOUNTED AT CONSISTENT HGT. PER FLORIDA ACCESSIBILITY CODE.
 - 8: REFER TO WINDOW AND DOOR SCHEDULE FOR MORE INFORMATION.

- ARCHITECTURAL PLANS WALL LEGEND**
- = STANDARD STUD WALL INT OR EXT
IF EXT SEE ELEVATIONS FOR SIDING
STYLE THICKNESS OF WALL NOTED IN PLAN NOTES OR AT WALL LOCATIONS
 - = STANDARD STUD WALL WITH APPLIED STONE VENEER
STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
(NOTE: NO FOUNDATION SUPPORT IS REPRESENTED ON STRUCTURAL PLANS)
IF STACKED STONE IS TO BE USED, BUILDER MUST NOTIFY PLAN DESIGNER BEFORE FOOTINGS ARE POURED
 - = STANDARD STUD WALL WITH LOW STONE WANSCOTING.
SEE ELEVATIONS FOR HEIGHT & FINISH MATERIAL
AT EXT STUD WALL ABOVE
STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
 - ▨ = MOBILITY UNIT LOCATION

BUILDING TYPE 1-R - FIRST FLOOR PLAN
Scale: 3/32" = 1'-0"



PLANWORX ARCHITECTURE
5711 SIX FORKS ROAD, SUITE 100
RALEIGH NC 27609
website www.planworx.com



Inspiration at Southpoint Apartments
Zimmer Development Company
Fort Meyers, Florida



PROGRESS DATE:	12-1-21 (100% Set)
ISSUE DATE:	
REVISIONS NUMBER	DATE INITIALS DESCRIPTION

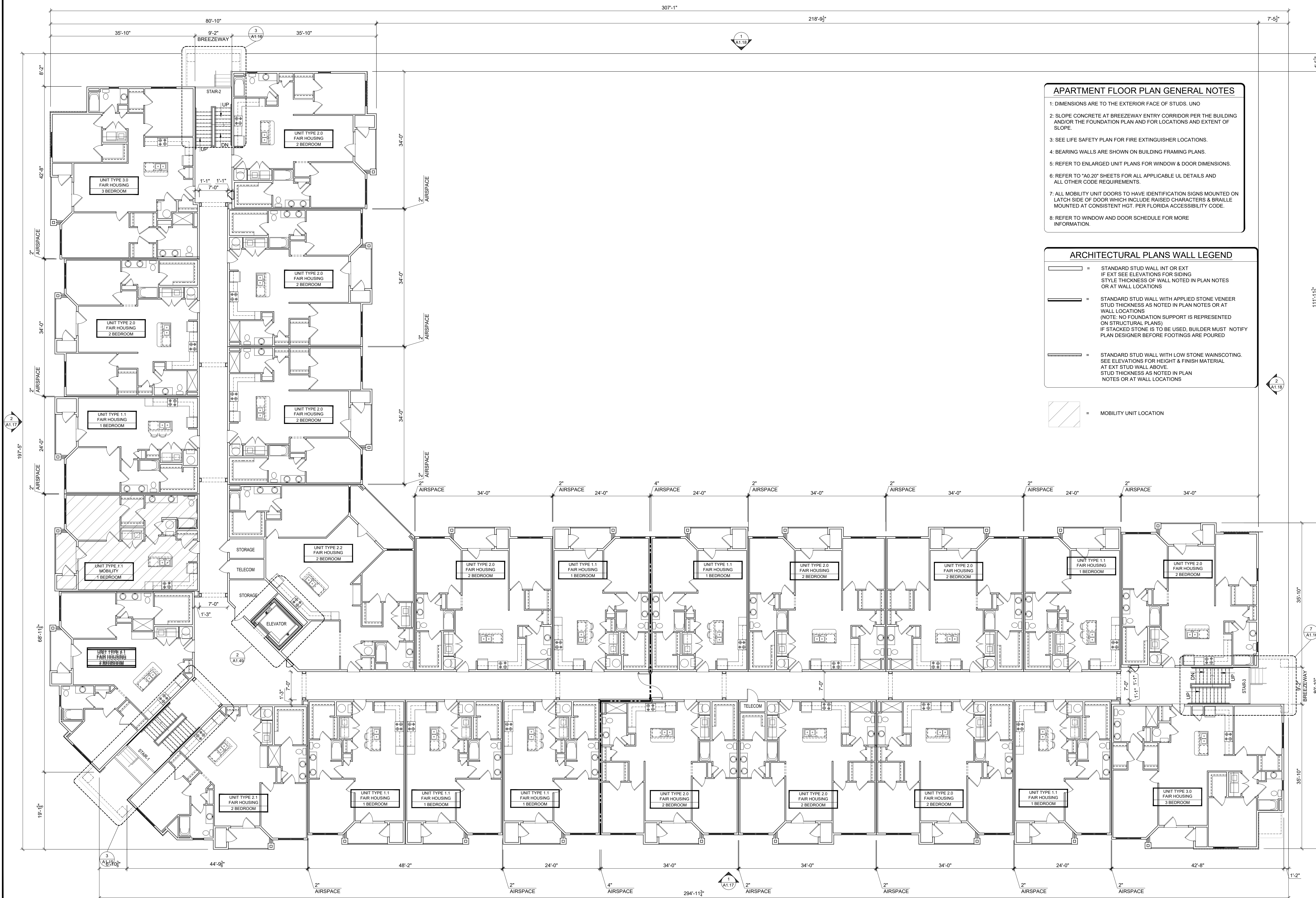
PROJECT NO: **010819**
DRAWN BY: CLJ/AM
CHECKED BY:

SHEET TITLE: **Building Type 1-R First Floor Plan**

SHEET NUMBER: **1**

A1.10-R

1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. 2. Contractor is to notify architect immediately of conditions or items varying from depicted information. 3. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted. 4. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planworx Architecture, P.A. Design. 5. Planworx Architecture, P.A. retains ownership of all of designs depicted and implied herein. 6. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans. © Copyright 2021 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client. Unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION W/O APPROPRIATE PROFESSIONAL SEALS.



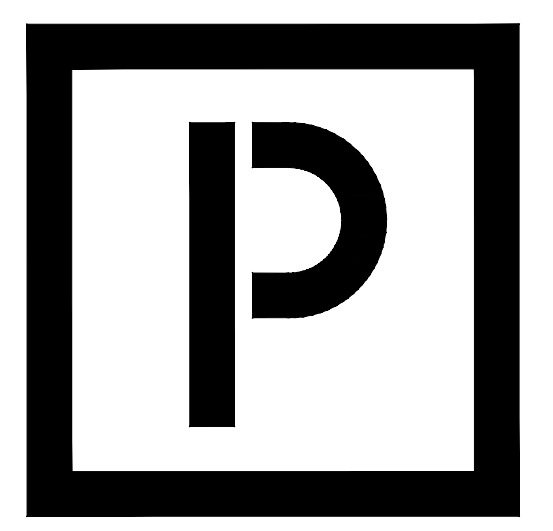
APARTMENT FLOOR PLAN GENERAL NOTES

- DIMENSIONS ARE TO THE EXTERIOR FACE OF STUDS. UNO
- SLOPE CONCRETE AT BREEZEWAY ENTRY CORRIDOR PER THE BUILDING AND/OR THE FOUNDATION PLAN AND FOR LOCATIONS AND EXTENT OF SLOPE.
- SEE LIFE SAFETY PLAN FOR FIRE EXTINGUISHER LOCATIONS.
- BEARING WALLS ARE SHOWN ON BUILDING FRAMING PLANS.
- REFER TO ENLARGED UNIT PLANS FOR WINDOW & DOOR DIMENSIONS.
- REFER TO "A0.20" SHEETS FOR ALL APPLICABLE UL DETAILS AND ALL OTHER CODE REQUIREMENTS.
- ALL MOBILITY UNIT DOORS TO HAVE IDENTIFICATION SIGNS MOUNTED ON LATCH SIDE OF DOOR WHICH INCLUDE RAISED CHARACTERS & BRAILLE MOUNTED AT CONSISTENT HGT. PER FLORIDA ACCESSIBILITY CODE.
- REFER TO WINDOW AND DOOR SCHEDULE FOR MORE INFORMATION.

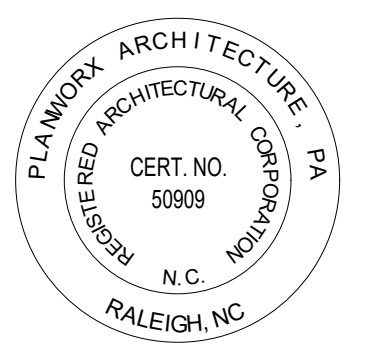
ARCHITECTURAL PLANS WALL LEGEND

- STANDARD STUD WALL INT OR EXT
IF EXT SEE ELEVATIONS FOR SIDING
STYLE THICKNESS OF WALL NOTED IN PLAN NOTES
OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH APPLIED STONE VENEER
STUD THICKNESS AS NOTED IN PLAN NOTES OR AT
WALL LOCATIONS
(NOTE: NO FOUNDATION SUPPORT IS REPRESENTED
ON STRUCTURAL PLANS)
IF STACKED STONE IS TO BE USED, BUILDER MUST NOTIFY
PLAN DESIGNER BEFORE FOOTINGS ARE POURED
- STANDARD STUD WALL WITH LOW STONE MAINSCOTING.
SEE ELEVATIONS FOR HEIGHT & FINISH MATERIAL
AT EXT STUD WALL ABOVE.
STUD THICKNESS AS NOTED IN PLAN
NOTES OR AT WALL LOCATIONS
- MOBILITY UNIT LOCATION

BUILDING TYPE 1-R - THIRD FLOOR PLAN
Scale: 3/32" = 1'-0"



PLANWORX ARCHITECTURE
5711 SIX FORKS ROAD, SUITE 100
RALEIGH NC 27609
website www.planworx.com



Inspiration at Southpoint Apartments
Zimmer Development Company
Fort Meyers, Florida



PROGRESS DATE:	12-1-21 (100% Set)		
ISSUE DATE:			
REVISIONS:			
NUMBER	DATE	INITIALS	DESCRIPTION

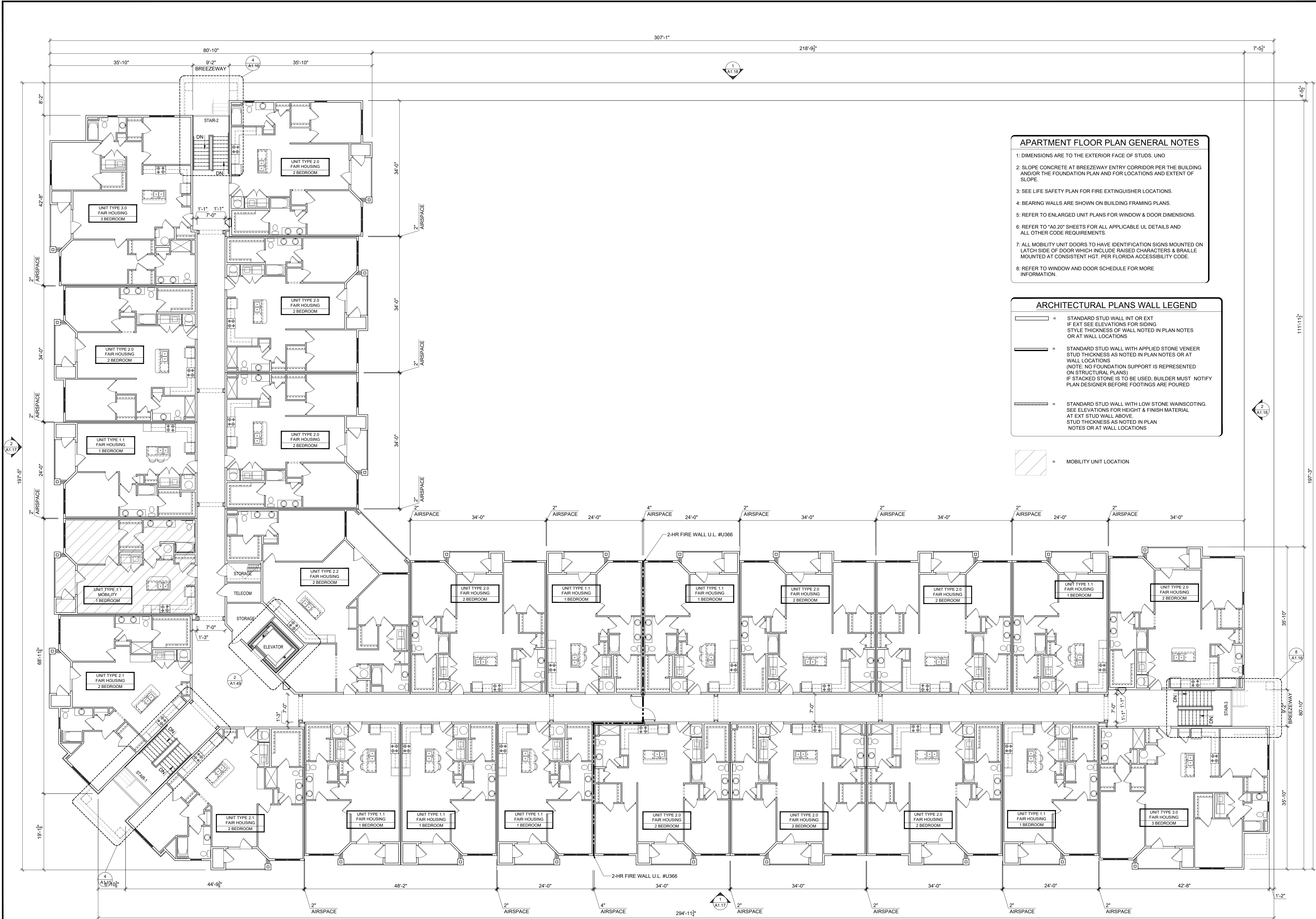
PROJECT NO: **010819**
DRAWN BY: CLJ/AM
CHECKED BY:

SHEET TITLE: **Building Type 1-R Third Floor Plan**

SHEET NUMBER:

A1.12-R

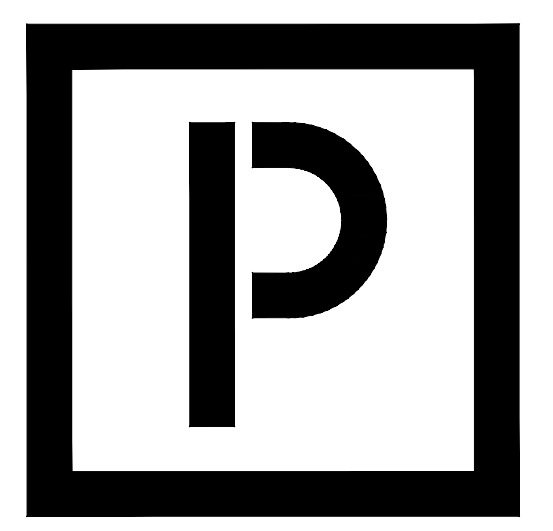
1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. 2. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted. 3. Contractor is to notify architect immediately of conditions or items varying from depicted information. 4. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planworx Architecture, P.A. Design. 5. Planworx Architecture, P.A. retains ownership of all of designs depicted and implied herein. 6. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans. © Copyright 2021 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client. Unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION W/O APPROPRIATE PROFESSIONAL SEALS.



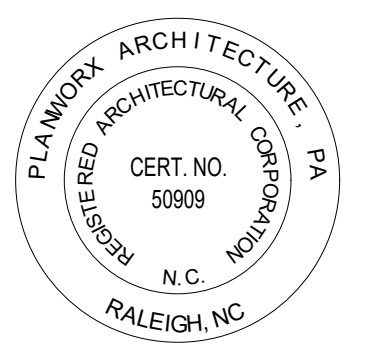
- APARTMENT FLOOR PLAN GENERAL NOTES**
1. DIMENSIONS ARE TO THE EXTERIOR FACE OF STUDS. UNO
 2. SLOPE CONCRETE AT BREEZEWAY ENTRY CORRIDOR PER THE BUILDING AND/OR THE FOUNDATION PLAN AND FOR LOCATIONS AND EXTENT OF SLOPE.
 3. SEE LIFE SAFETY PLAN FOR FIRE EXTINGUISHER LOCATIONS.
 4. BEARING WALLS ARE SHOWN ON BUILDING FRAMING PLANS.
 5. REFER TO ENLARGED UNIT PLANS FOR WINDOW & DOOR DIMENSIONS.
 6. REFER TO "A0.20" SHEETS FOR ALL APPLICABLE UL DETAILS AND ALL OTHER CODE REQUIREMENTS.
 7. ALL MOBILITY UNIT DOORS TO HAVE IDENTIFICATION SIGNS MOUNTED ON LATON SIDE OF DOOR WHICH INCLUDE RAISED CHARACTERS & BRAILLE MOUNTED AT CONSISTENT HGT. PER FLORIDA ACCESSIBILITY CODE.
 8. REFER TO WINDOW AND DOOR SCHEDULE FOR MORE INFORMATION.

- ARCHITECTURAL PLANS WALL LEGEND**
- = STANDARD STUD WALL INT OR EXT IF EXT SEE ELEVATIONS FOR SIDING STYLE THICKNESS OF WALL NOTED IN PLAN NOTES OR AT WALL LOCATIONS
 - = STANDARD STUD WALL WITH APPLIED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE: NO FOUNDATION SUPPORT IS REPRESENTED ON STRUCTURAL PLANS) IF STACKED STONE IS TO BE USED, BUILDER MUST NOTIFY PLAN DESIGNER BEFORE FOOTINGS ARE POURED
 - = STANDARD STUD WALL WITH LOW STONE WAINSCOTING. SEE ELEVATIONS FOR HEIGHT & FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
 - ▨ = MOBILITY UNIT LOCATION

BUILDING TYPE 1-R - FOURTH FLOOR PLAN
Scale: 3/32" = 1'-0"



PLANWORX ARCHITECTURE
5711 SIX FORKS ROAD, SUITE 100
RALEIGH NC 27609
website www.planworx.com



Inspiration at Southpoint Apartments
Zimmer Development Company
Fort Meyers, Florida



PROGRESS DATE:	12-1-21 (100% Set)		
ISSUE DATE:			
REVISIONS:			
NUMBER	DATE INITIALS DESCRIPTION		

PROJECT NO: **010819**
DRAWN BY: CLJ/AM
CHECKED BY:

SHEET TITLE: **Building Type 1-R Fourth Floor Plan**

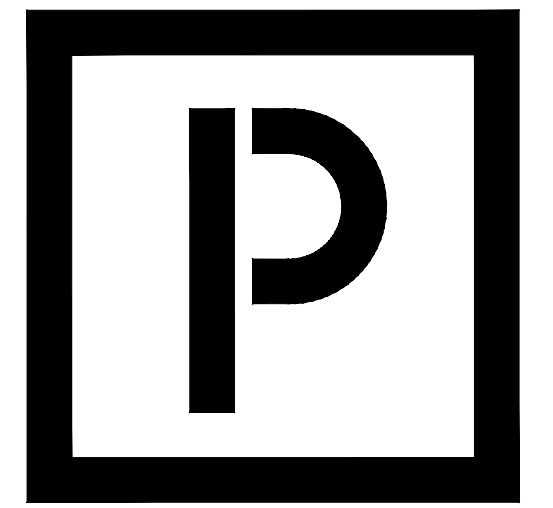
SHEET NUMBER: **A1.13-R**

1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. 2. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted. 3. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans. 4. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planworx Architecture, P.A. Design. 5. Planworx Architecture, P.A. retains ownership of all of designs depicted and implied herein. 6. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans. © Copyright 2021 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client. Unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION W/O APPROPRIATE PROFESSIONAL SEALS.

- APARTMENT FLOOR PLAN GENERAL NOTES**
1. DIMENSIONS ARE TO THE EXTERIOR FACE OF STUDS, UNO
 2. SLOPE CONCRETE AT BREEZEWAY ENTRY CORRIDOR PER THE BUILDING AND/OR THE FOUNDATION PLAN AND FOR LOCATIONS AND EXTENT OF SLOPE.
 3. SEE LIFE SAFETY PLAN FOR FIRE EXTINGUISHER LOCATIONS.
 4. BEARING WALLS ARE SHOWN ON BUILDING FRAMING PLANS.
 5. REFER TO ENLARGED UNIT PLANS FOR WINDOW & DOOR DIMENSIONS.
 6. REFER TO "AD" SHEETS FOR ALL APPLICABLE UL DETAILS AND ALL OTHER CODE REQUIREMENTS.
 7. ALL MOBILITY UNIT DOORS TO HAVE IDENTIFICATION SIGNS MOUNTED ON LATCH SIDE OF DOOR WHICH INCLUDE RAISED CHARACTERS & BRAILLE MOUNTED AT CONSISTENT HGT. PER FLORIDA ACCESSIBILITY CODE.
 8. REFER TO WINDOW AND DOOR SCHEDULE FOR MORE INFORMATION.

- ARCHITECTURAL PLANS WALL LEGEND**
- STANDARD STUD WALL INT OR EXT
IF EXT SEE ELEVATIONS FOR SIDING
STYLE THICKNESS OF WALL NOTED IN PLAN NOTES OR AT WALL LOCATIONS
 - STANDARD STUD WALL WITH APPLIED STONE VENEER
STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
(NOTE: NO FOUNDATION SUPPORT IS REPRESENTED ON STRUCTURAL PLANS)
IF STACKED STONE IS TO BE USED, BUILDER MUST NOTIFY PLAN DESIGNER BEFORE FOOTINGS ARE POURED
 - STANDARD STUD WALL WITH LOW STONE WAINSCOTING.
SEE ELEVATIONS FOR HEIGHT & FINISH MATERIAL
AT EXT STUD WALL ABOVE
STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS

MOBILITY UNIT LOCATION



PLANWORX ARCHITECTURE
5711 SIX FORKS ROAD, SUITE 100
RALEIGH NC 27609
website www.planworx.com



Inspiration at Southpoint Apartments
Zimmer Development Company
Fort Meyers, Florida



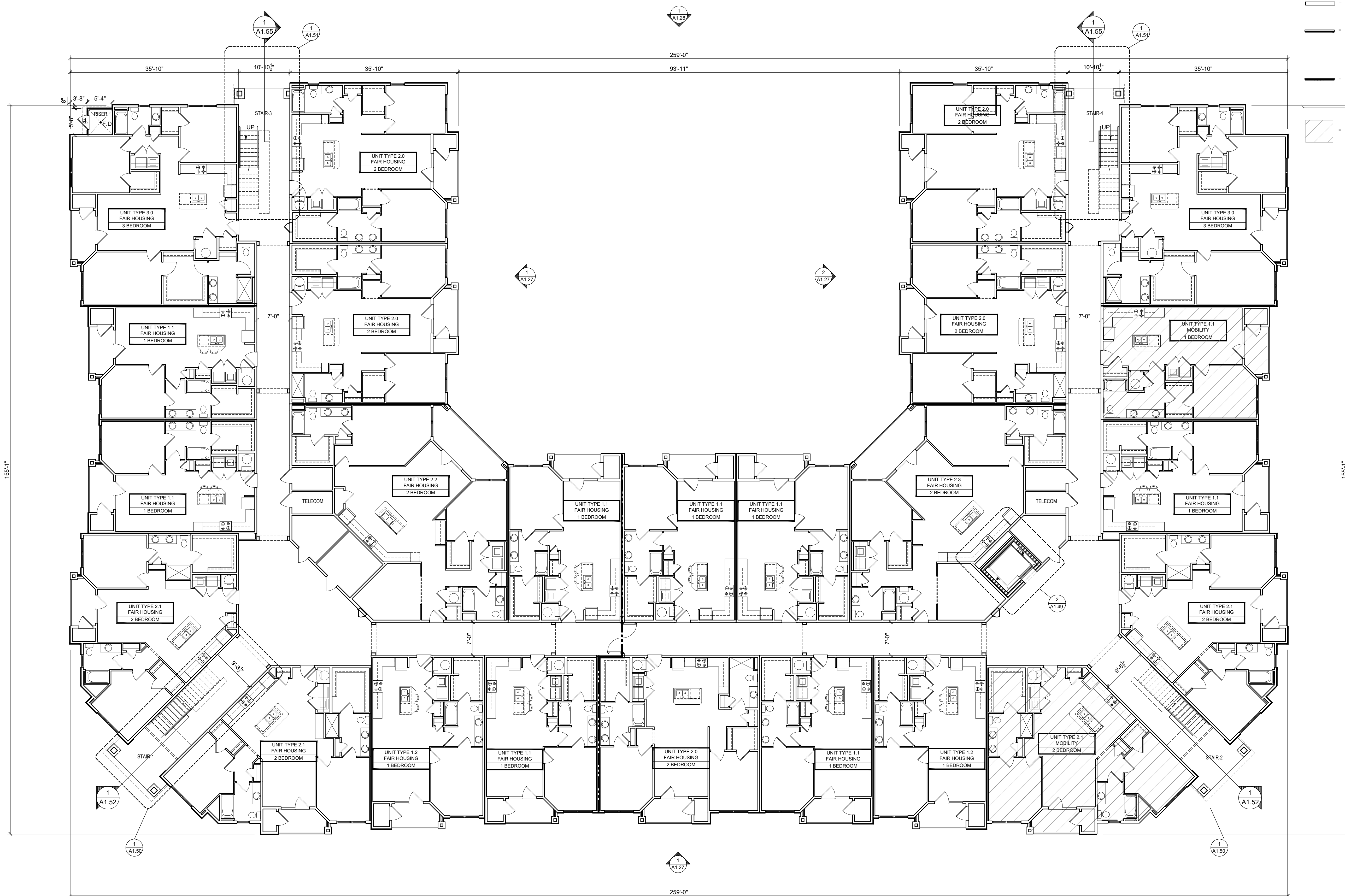
PROGRESS DATE:	12-1-21 (100% Set)
ISSUE DATE:	
REVISIONS NUMBER	
DATE	
INITIALS	
DESCRIPTION	

PROJECT NO: 010819
DRAWN BY: CLJ/AM
CHECKED BY:

SHEET TITLE:
Building Type 2
First Floor Plan

SHEET NUMBER:

A1.20

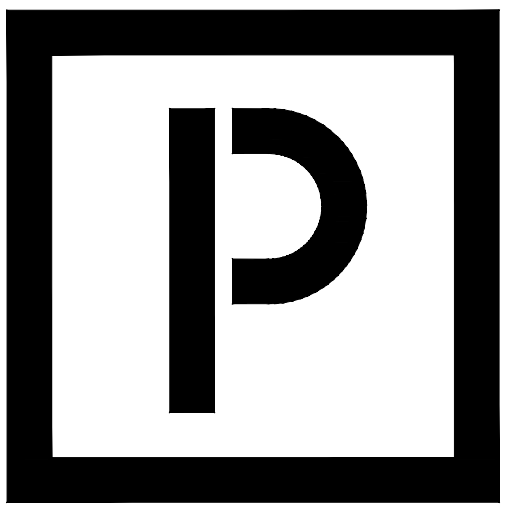


BUILDING TYPE 2 - FIRST FLOOR PLAN

Scale: 3/32" = 1'-0"

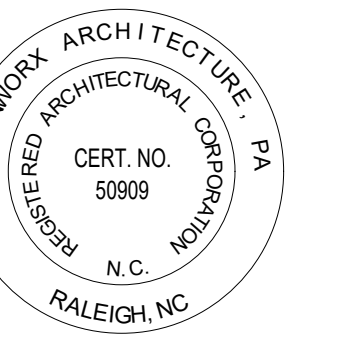
1

1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. 2. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted. 3. Contractor is to notify architect immediately of conditions or items varying from depicted information. 4. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planworx Architecture, P.A. Design. 5. Planworx Architecture, P.A. retains ownership of all of designs depicted and implied herein. 6. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans. © Copyright 2021 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client. Unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION W/O APPROPRIATE PROFESSIONAL SEALS.



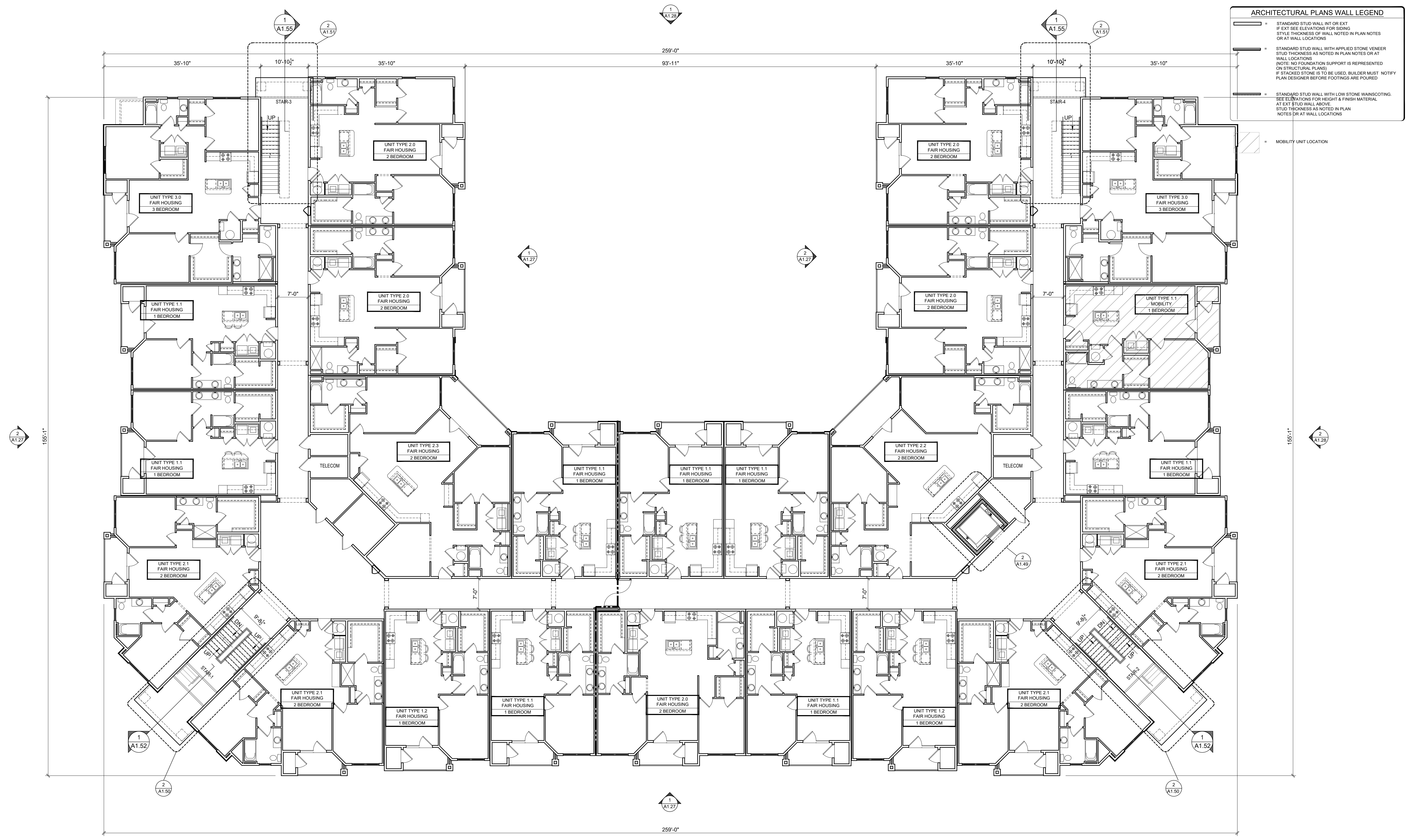
PLANWORX
ARCHITECTURE

5711 SIX FORKS ROAD, SUITE 100
RALEIGH NC 27609
website www.planworx.com



- APARTMENT FLOOR PLAN GENERAL NOTES**
1. DIMENSIONS ARE TO THE EXTERIOR FACE OF STUDS. UNO
 2. SLOPE CONCRETE AT BREEZEWAY ENTRY CORRIDOR PER THE BUILDING AND/OR THE FOUNDATION PLAN AND FOR LOCATIONS AND EXTENT OF SLOPE.
 3. SEE LIFE SAFETY PLAN FOR FIRE EXTINGUISHER LOCATIONS.
 4. BEARING WALLS ARE SHOWN ON BUILDING FRAMING PLANS.
 5. REFER TO ENLARGED UNIT PLANS FOR WINDOW & DOOR DIMENSIONS.
 6. REFER TO "A0.20" SHEETS FOR ALL APPLICABLE UL DETAILS AND ALL OTHER CODE REQUIREMENTS.
 7. ALL MOBILITY UNIT DOORS TO HAVE IDENTIFICATION SIGNS MOUNTED ON LATCH SIDE OF DOOR WHICH INCLUDE RAISED CHARACTERS & BRILLE MOUNTED AT CONSISTENT HGT. PER FLORIDA ACCESSIBILITY CODE.
 8. REFER TO WINDOW AND DOOR SCHEDULE FOR MORE INFORMATION.

- ARCHITECTURAL PLANS WALL LEGEND**
- STANDARD STUD WALL INT OR EXT. IF EXT SEE ELEVATIONS FOR SISING STYLE THICKNESS OF WALL NOTED IN PLAN NOTES OR AT WALL LOCATIONS
 - STANDARD STUD WALL WITH APPLIED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE: NO FOUNDATION SUPPORT IS REPRESENTED ON STRUCTURAL PLANS) IF STACKED STONE IS TO BE USED, BUILDER MUST NOTIFY PLAN DESIGNER BEFORE FOOTINGS ARE POURED
 - STANDARD STUD WALL WITH LOW STONE WAINSCOTING SEE ELEVATIONS FOR HEIGHT & FINISH MATERIAL AT EXT STUD WALL ABOVE STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
 - MOBILITY UNIT LOCATION



Inspiration at Southpoint Apartments
 Zimmer Development Company
 Fort Meyers, Florida



PROGRESS DATE:	12-1-21 (100% Set)
ISSUE DATE:	
REVISIONS NUMBER	
INITIALS	
DESCRIPTION	

PROJECT NO: **010819**
 DRAWN BY: CLJ/AM
 CHECKED BY:

SHEET TITLE:
**Building Type 2
 Second Floor Plan**

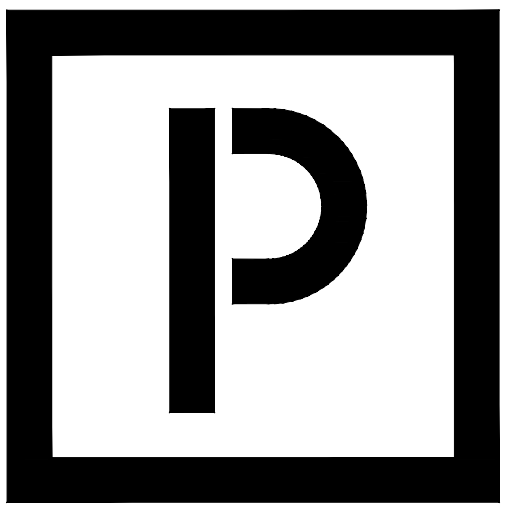
SHEET NUMBER:

BUILDING TYPE 2 - SECOND FLOOR PLAN
 Scale: 3/32" = 1'-0"

1

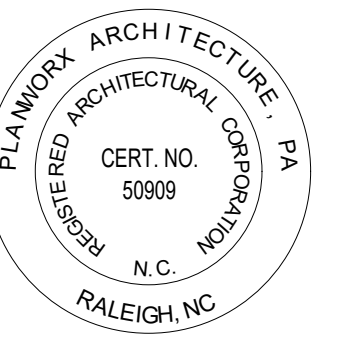
A1.21

1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. 3. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted. 5. Planworx Architecture, P.A. retains ownership of all of designs depicted and implied herein.
 2. Contractor is to notify architect immediately of conditions or items varying from depicted information. 4. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planworx Architecture, P.A. Design. 6. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans.
 © Copyright 2021 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client. Unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION W/O APPROPRIATE PROFESSIONAL SEALS.



PLANWORX
ARCHITECTURE

5711 SIX FORKS ROAD, SUITE 100
RALEIGH NC 27609
website www.planworx.com



Inspiration at Southpoint Apartments
Zimmer Development Company
Fort Meyers, Florida



PROGRESS DATE:	12-1-21 (100% Set)
ISSUE DATE:	
REVISIONS NUMBER	
INITIALS	
DESCRIPTION	

PROJECT NO: 010819

DRAWN BY: CL/AM

CHECKED BY:

SHEET TITLE:
**Building Type 2
Third Floor Plan**

SHEET NUMBER:

A1.22

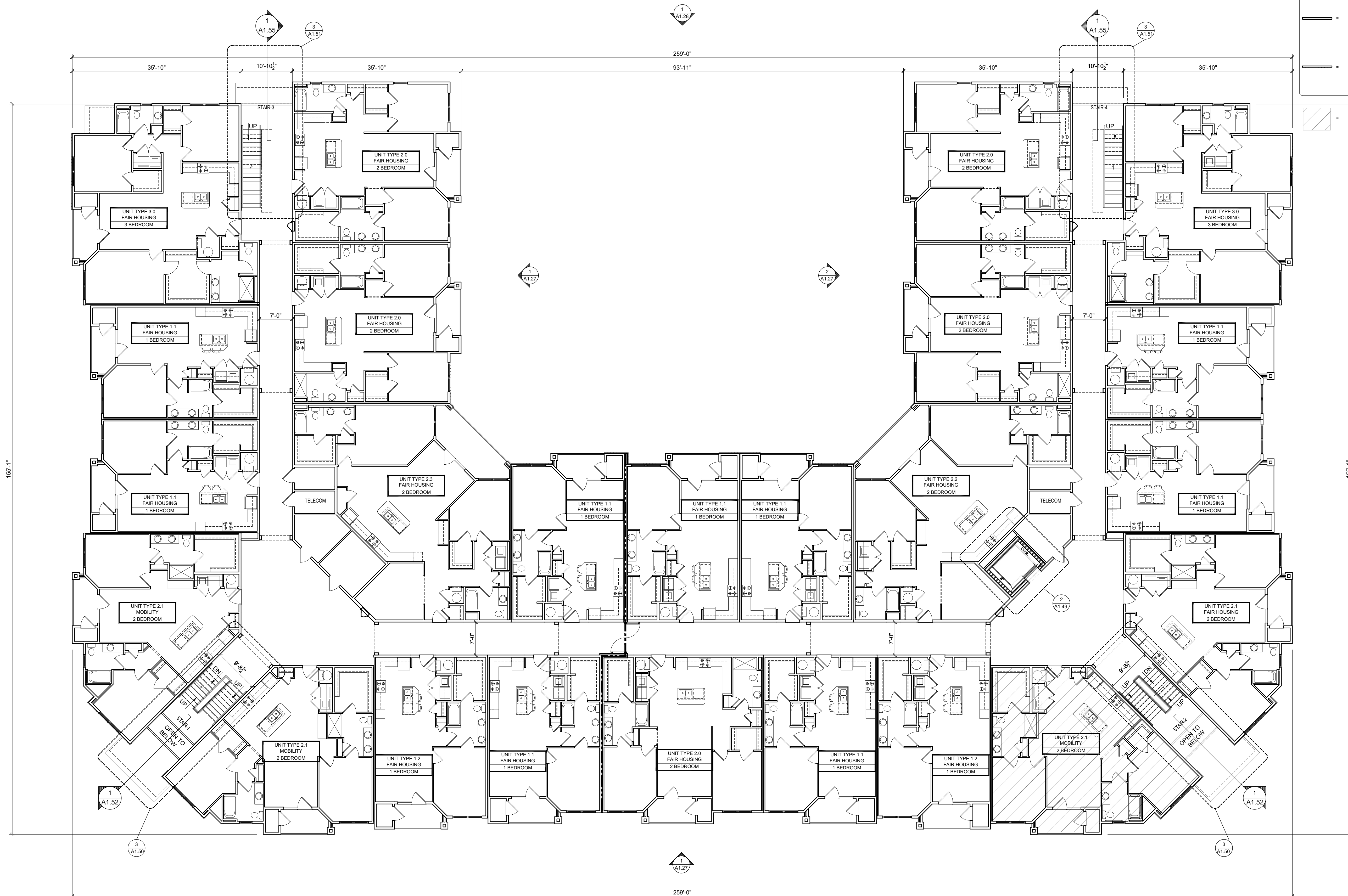
APARTMENT FLOOR PLAN GENERAL NOTES

1. DIMENSIONS ARE TO THE EXTERIOR FACE OF STUDS, UNO
2. SLOPE CONCRETE AT BREEZEWAY ENTRY CORRIDOR PER THE BUILDING AND/OR THE FOUNDATION PLAN AND FOR LOCATIONS AND EXTENT OF SLOPE
3. SEE LIFE SAFETY PLAN FOR FIRE EXTINGUISHER LOCATIONS.
4. BEARING WALLS ARE SHOWN ON BUILDING FRAMING PLANS.
5. REFER TO ENLARGED UNIT PLANS FOR WINDOW & DOOR DIMENSIONS.
6. REFER TO 'A1.27' SHEETS FOR ALL APPLICABLE UL DETAILS AND ALL OTHER CODE REQUIREMENTS.
7. ALL MOBILITY UNIT DOORS TO HAVE IDENTIFICATION SIGNS MOUNTED ON LATCH SIDE OF DOOR WHICH INCLUDE RAISED CHARACTERS & BRAILLE MOUNTED AT CONSISTENT HGT. PER FLORIDA ACCESSIBILITY CODE.
8. REFER TO WINDOW AND DOOR SCHEDULE FOR MORE INFORMATION.

ARCHITECTURAL PLANS WALL LEGEND

- STANDARD STUD WALL INT OR EXT
IF EXT SEE ELEVATIONS FOR SIDING
STYLE THICKNESS OF WALL NOTED IN PLAN NOTES
OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH APPLIED STONE VENEER
STUD THICKNESS AS NOTED IN PLAN NOTES OR AT
WALL LOCATIONS
(NOTE: NO FOUNDATION SUPPORT IS REPRESENTED
ON STRUCTURAL PLANS)
IF STACKED STONE IS TO BE USED, BUILDER MUST NOTIFY
PLAN DESIGNER BEFORE FOOTINGS ARE POURED
- STANDARD STUD WALL WITH LOW STONE WAINSCOTING.
SEE ELEVATIONS FOR HEIGHT & FINISH MATERIAL
AT EXT STUD WALL ABOVE
STUD THICKNESS AS NOTED IN PLAN
NOTES OR AT WALL LOCATIONS

MOBILITY UNIT LOCATION



BUILDING TYPE 2 - THIRD FLOOR PLAN

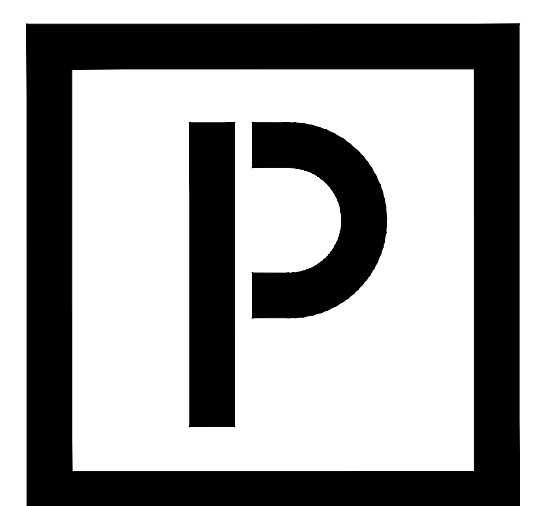
Scale: 3/32" = 1'-0"

1

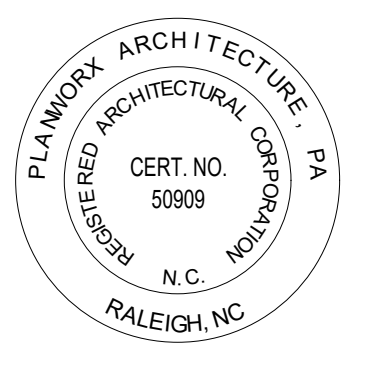
1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. 3. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted.
 2. Contractor is to notify architect immediately of conditions or items varying from depicted information. 4. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planworx Architecture, P.A. Design. 6. Planworx Architecture, P.A. retains ownership of all of designs depicted and implied herein.
 5. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans.
 © Copyright 2021 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client. Unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION W/O APPROPRIATE PROFESSIONAL SEALS.

- APARTMENT FLOOR PLAN GENERAL NOTES**
1. DIMENSIONS ARE TO THE EXTERIOR FACE OF STUDS. UNO
 2. SLOPE CONCRETE AT BREEZEWAY ENTRY CORRIDOR PER THE BUILDING AND/OR THE FOUNDATION PLAN AND FOR LOCATIONS AND EXTENT OF SLOPE.
 3. SEE LIFE SAFETY PLAN FOR FIRE EXTINGUISHER LOCATIONS.
 4. BEARING WALLS ARE SHOWN ON BUILDING FRAMING PLANS.
 5. REFER TO ENLARGED UNIT PLANS FOR WINDOW & DOOR DIMENSIONS.
 6. REFER TO "AS 20" SHEETS FOR ALL APPLICABLE U.L. DETAILS AND ALL OTHER CODE REQUIREMENTS.
 7. ALL MOBILITY UNIT DOORS TO HAVE IDENTIFICATION SIGNS MOUNTED ON LATCH SIDE OF DOOR WHICH INCLUDE RAISED CHARACTERS & BRILLE MOUNTED AT CONSISTENT HGT. PER FLORIDA ACCESSIBILITY CODE.
 8. REFER TO WINDOW AND DOOR SCHEDULE FOR MORE INFORMATION.

- ARCHITECTURAL PLANS WALL LEGEND**
- STANDARD STUD WALL INT OR EXT IF EXT SEE ELEVATIONS FOR SIDING STYLE THICKNESS OF WALL NOTED IN PLAN NOTES OR AT WALL LOCATIONS
 - STANDARD STUD WALL WITH APPLIED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE: NO FOUNDATION SUPPORT IS REPRESENTED ON STRUCTURAL PLANS) IF STACKED STONE IS TO BE USED, BUILDER MUST NOTIFY PLAN DESIGNER BEFORE FOOTINGS ARE POURED
 - STANDARD STUD WALL WITH LOW STONE WAINSCOTING SEE ELEVATIONS FOR HEIGHT & FINISH MATERIAL AT EXT STUD WALL ABOVE STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
 - MOBILITY UNIT LOCATION



PLANWORX ARCHITECTURE
 5711 SIX FORKS ROAD, SUITE 100
 RALEIGH NC 27609
 website www.planworx.com



Inspiration at Southpoint Apartments
 Zimmer Development Company
 Fort Meyers, Florida

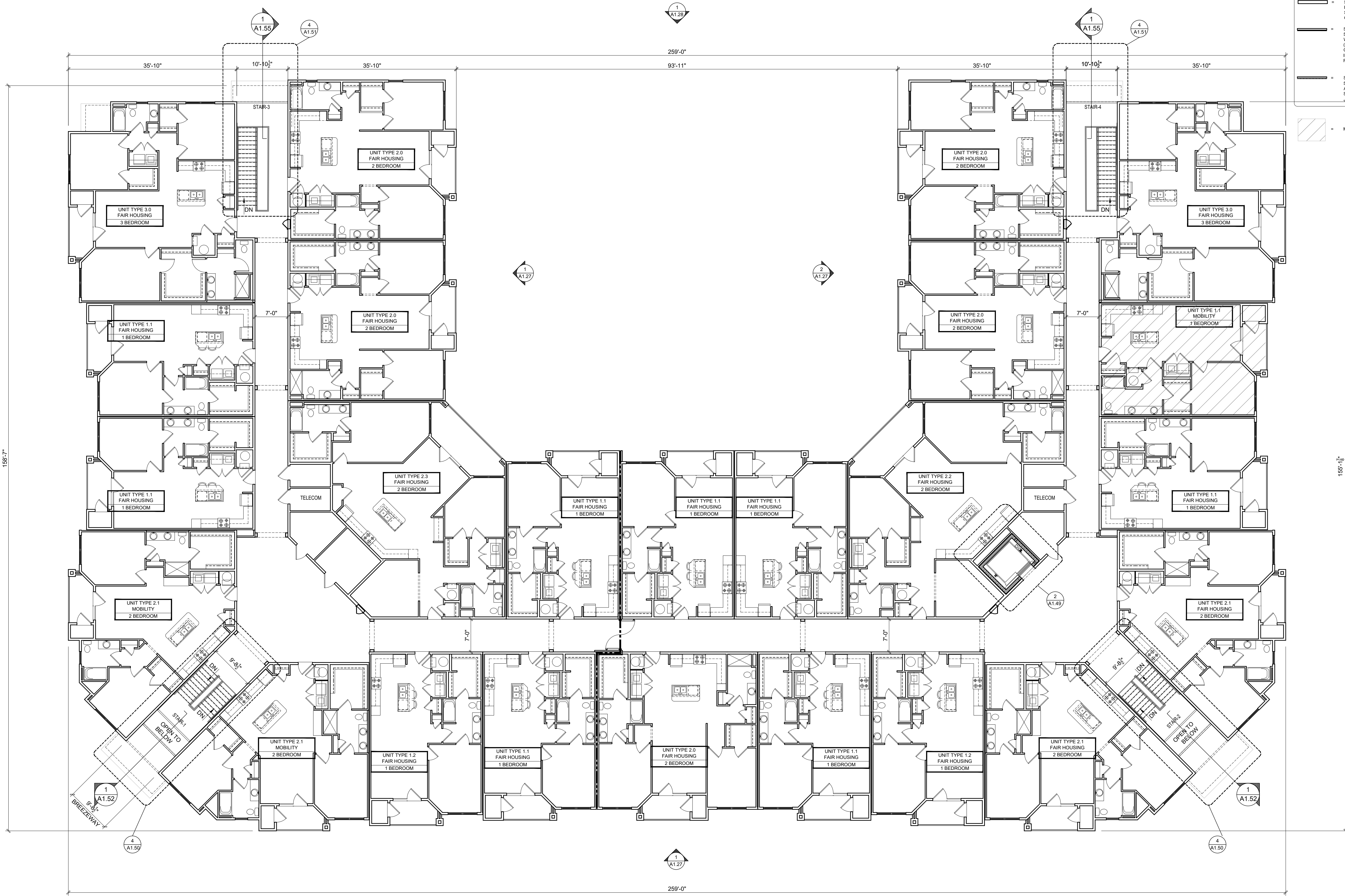


PROGRESS DATE:	12-1-21 (100% Set)
ISSUE DATE:	
REVISIONS NUMBER	
INITIALS	
DESCRIPTION	

PROJECT NO: **010819**
 DRAWN BY: CLJ/AM
 CHECKED BY:

SHEET TITLE:
**Building Type 2
 Fourth Floor Plan**

SHEET NUMBER:
A1.23



BUILDING TYPE 2 - FOURTH FLOOR PLAN
 Scale: 3/32" = 1'-0"

1

1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. 2. Contractor is to notify architect immediately of conditions or items varying from depicted information. 3. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted. 4. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planworx Architecture, P.A. Design. 5. Planworx Architecture, P.A. retains ownership of all of designs depicted and implied herein. 6. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans. © Copyright 2021 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client. Unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION W/O APPROPRIATE PROFESSIONAL SEALS.