Inspiration at Southpoint Apartments

Fort Meyers, Florida



STRUCTURAL

ARCHITECTURAL

Contractor is to notify architect immediately of conditions or items varying from depicted information.

All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. 3. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted.

			BUILDING :	1-L					E	BUILDING	1-R						BUILDING	G 2			PROJE	CT TOTALS
JNIT TYPES	NET		EXT. STOR	GROSS	QUANT.	GROSS/ UNIT TYPE	UNIT TYPES	NET	BALC	EXT. STOR	GROSS		GROSS/ UNIT TYPE	UNIT TYPES	NET		EXT. STOR	GROSS	QUANT.	GROSS/ UNIT TYPE	TOTAL/ UNIT	GROSS SF PER UNIT TYPE
JT 1.1	763	55	26	844	36	30,384	UT 1.1	763	55	26	844	36	30,384	UT 1.1	763	55	26	844	36	30,384	108	
JT 1.2	748	55	26	829	-	0	UT 1.3	748	55	26	829	-	0	UT 1.2	748	55	26	829	8	6,632	8	· ·
JT 1.3	722	55	26	803	1	803	UT 1.3	722	55	26	803	1	803	UT 1.3	722	55	26	803	-	0	2	1,60
																		-				
JT 2.0	1,095	55	19	1,169	43	50,267	UT 2.0	1,095	55	19	1,169	43	50,267	UT 2.0	1,095	55	19	1,169	20	23,380	106	123,91
JT 2.1	1,131	54	19	1,204	8	9,632	UT 2.1	1,131	54	19	1,204	8	9,632	UT 2.1	1,131	54	19	1,204	16	19,264	32	38,52
JT 2.2	1,491	134	-	1,625	4	6,500	UT 2.2	1,491	134	-	1,625	4	6,500	UT 2.2	1,491	134	-	1,625	8	13,000	16	26,00
				-		0					-		0					-		0	-	
Л 3.0	1,376	58	18	1,452	8	11,616	UT 3.0	1,376	58	18	1,452	8	11,616	UT 3.0	1,376	58	18	1,452	8	11,616	24	34,84
				-							-							-				
BUILDING 1	TOTALS				100	109,202	 BUILDING 2	ΤΟΤΔΙς				100	109 202		TOTALS				96	104,276		

Roof and Floor trusses are light frame. Post signage on structures which meets the requirements of the Florida Administrative Code 69A-60.081

Knox box to be installed on the exterior of each apartment building within 5 feet of the main entrance door. Mounting height to be not greater than 5'-0" A.F.F. Coordinate requirements w/ local fire marshal.

The contractor shall make available to the Building Inspector any documentation necessary to verify that all exterior envelope components requiring product approval per FS 553.842 are in compliance with product approval installation requirements.

Fire Alarm, Automatic Sprinkler and Fire Line Subcontractor's shall each submit plans for evaluation and permitting prior to commencement of new work.

Each new fire wall, fire barrier, fire partition, smoke barrier, smoke partition, or any other new wall required to have protected openings shall be permanently identified with signs or stenciling above decorative ceilings and in concealed spaces with the wording, "fire and smoke barrier - protect all openings," or similar language. Such signs or stenciling shall be 4-inch high letters, 1/2-inch stroke, and not more than 15-feet on-center

FIRE PROTECTION

ELECTRICAL

5. Planworx Architecture, P.A. retains ownership of all of designs depicted and implied herein.



PLANWORX ARCHITECTURE

5711 SIX FORKS ROAD, SUITE 100 RALEIGH NC 27609

www.planworx.com



Southpoint Apartments evelopment at Inspiratior

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Cover Sheet

SHEET NUMBER:

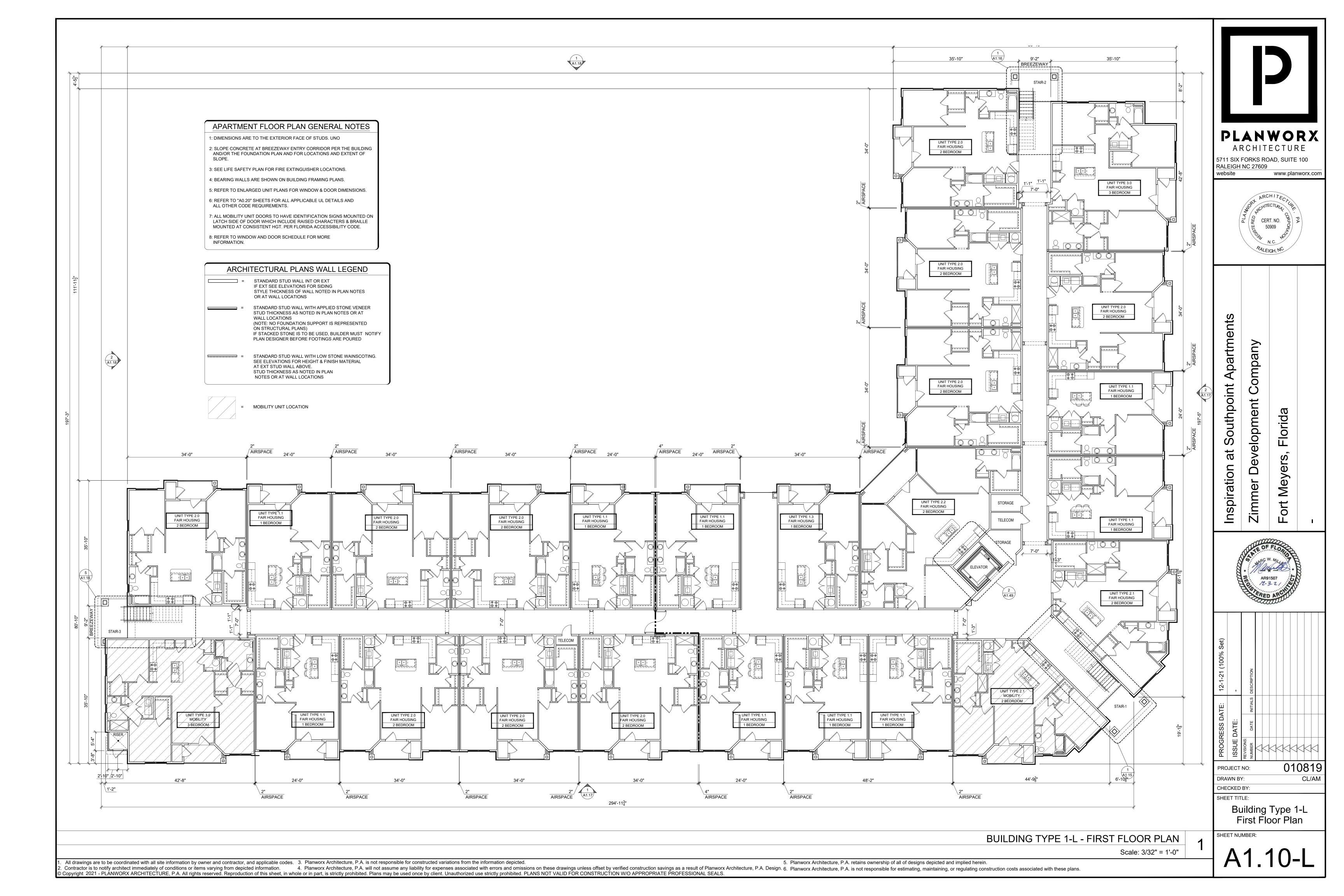
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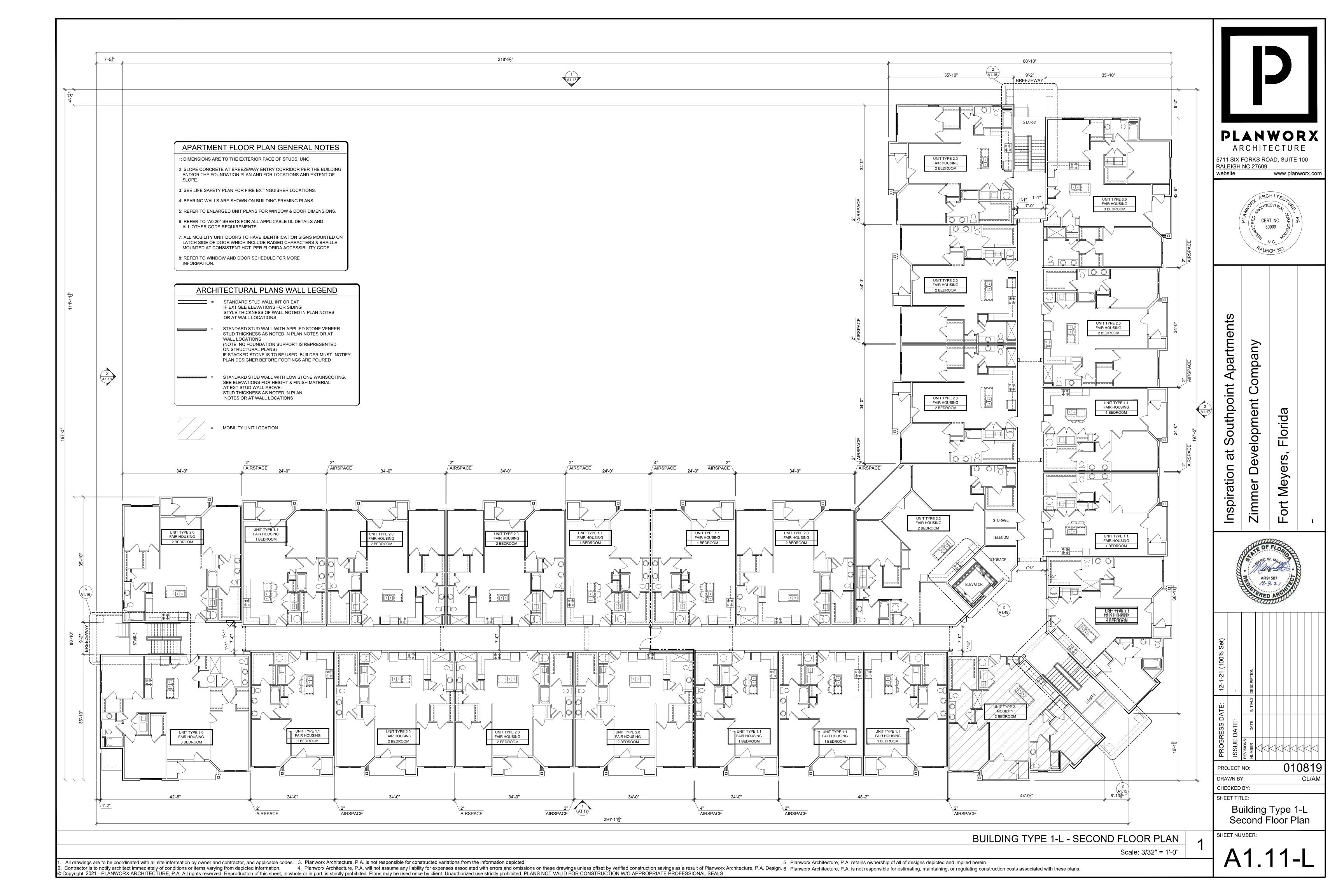
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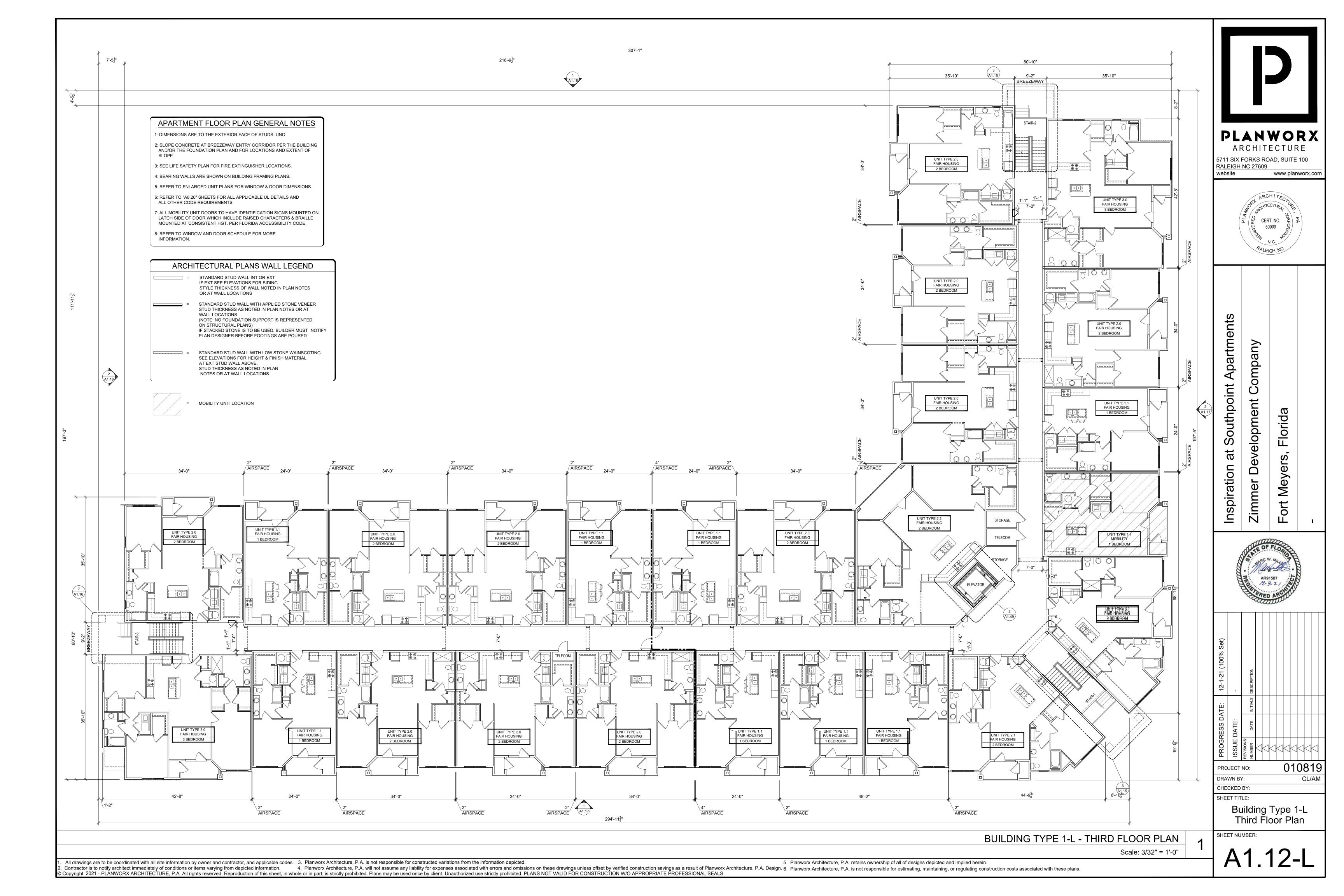
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12/1/2021	A0.00 Cover Sheet	12/1/2021	A1.30	Unit 1.0 Floor Plans	12/1/2021	\$1.01	General Notes	12/1/2021	PME0.01	1 UL Details	12/1/2021	M0.01	Schedules Legend & Notes	12/1/2021	E0.01	Schedules Notes & Legend	12/1/2021	FA0.01	Scheduels Notes & Legend	
12/1/2021	A0.01 Architectural Site Plan	12/1/2021	A1.31	Unit 2.0 Floor Plans	12/1/2021	S1 02	General Notes	12/1/2021	PMF0.02	2 UL Details	12/1/2021	M0.02	Schedules	12/1/2021	F0.02	Details	12/1/2021	FA1 10	Building Type 1 - First Floor Plan	1
12/1/2021	A0.02 General Notes	12/1/2021	A1.32	Unit 2.1 Floor Plans	12/1/2021	\$1.03	Typical Notes & Details	12/1/2021	PME0.03	3 UL Details	12/1/2021	M0.03	Details	12/1/2021	E0.03	Details	12/1/2021	FA1.11	Building Type 1 - First Floor Plan Building Type 1 - Second Floor Pla	lan
12/1/2021	A0.10-L Building Type 1-L Appendix B Summary	12/1/2021	A1 33	Unit 2.2 & 2.3 Floor Plans	12/1/2021	S2 10	Building 1 Slab Dimension Plan	12/1/2021	P0.01	Schedules & Notes	12/1/2021	M1 10	Building Type 1 - First Floor Plan	12/1/2021	F1 10	Building Type 1 - First Floor Plan	12/1/2021	FA1 12	Building Type 1 - Third Floor Plan	0
12/1/2021	A0.10-R Building Type 1-R Appendix B Summary	12/1/2021	A1.34	Unit 3.0 Floor Plans	12/1/2021	S2.11a	Building 1 Foundation Plan	12/1/2021	P0.02	Schedules & Details	12/1/2021	M1.14	Building Type 1 - Roof Plan	12/1/2021	E1.11	Building Type 1 - Second Floor Plan	12/1/2021	FA1.13	Building Type 1 - Third Floor Plan Building Type 1 - Fourth Floor Plar	an
12/1/2021	A0.10-1 Building Type 1 Life Safety Plan	12/1/2021	A1 35	Door & Window Schedule	12/1/2021	S2 11b		12/1/2021	P0.03	Details	12/1/2021	M1 20	Building Type 2 - First Floor Plan	12/1/2021	F1 12	Building Type 1 - Third Floor Plan	12/1/2021	FA1.20	Building Type 2 - First Floor Plan	1
12/1/2021	A0.10-2 Building Type 1 Life Safety Plan	12/1/2021	A1 36	Interior Bath Elevations	12/1/2021	S2 11c	Building 1 Foundation Plan	12/1/2021	P1 10	Building Type 1 - First Floor Plan	12/1/2021	M1 24	Building Type 2 - Roof Plan	12/1/2021	F1 13	Building Type 1 - Fourth Floor Plan	12/1/2021	FA1 21	Building Type 2 - Second Floor Pla	^J lan
12/1/2021	A0.10-3 Building Type 1 Life Safety Plan	12/1/2021	A 1 27	Interior Kitchen Elevations	12/1/2021	\$2,110	Building 1 Second Floor Framing Plan	12/1/2021	D1 11	Building Type 1 - Second Floor Plan	12/1/2021	M1.30	Unit Plans	12/1/2021	E1.10	Building Type 1 - Roof Plan	12/1/2021	FA1.22	Building Type 2 - Third Floor Plan	n
12/1/2021		12/1/2021	A1.37	The state of the s	12/1/2021			12/1/2021	P4.40	Building Type 1 - Cecond Floor Plan	12/1/2021	M1.30	Unit Plans	12/1/2021	E 1.14	Building Type 2 - First Floor Plan	12/1/2021	FA1.23	Building Type 2 - Fourth Floor Plan	<u>/</u>
	A0.10-4 Building Type 1 Life Safety Plan			Interior Kitchen Elevations			Building 1 Second Floor Framing Plan		P1.12			W 1.51			E1.20		10 11000			AII
12/1/2021	A0.11 Building Type 2 Appendix B Summary	12/1/2021	A1.40	Wall Sections	12/1/2021		Building 1 Second Floor Framing Plan	12/1/2021	P1.13	Building Type 1 - Fourth Floor Plan	12/1/2021	M1.32	Unit Plans	12/1/2021	E1.21	Building Type 2 - Second Floor Plan	12/1/2021	FA1.30	Unit Plans	
12/1/2021	A0.11-1 Building Type 2 Life Safety Plan	12/1/2021	A1.41	Wall Sections	12/1/2021		Building 1 Third/Fourth Floor Framing Plan	12/1/2021	P1.14	Building Type 1 - Roof Plan	12/1/2021	M1.33	Unit Plans	12/1/2021		Building Type 2 - Third Floor Plan	12/1/2021	FA1.31	Unit Plans	
12/1/2021	A0.11-2 Building Type 2 Life Safety Plan	12/1/2021	A1.42	Wall Sections	12/1/2021	S2.13b	Building 1 Third/Fourth Floor Framing Plan	12/1/2021	P1.15	Roof Calculations - Building Type 1	12/1/2021	M2.10	Clubhouse Plan	12/1/2021	E1.23	Building Type 2 - Fourth Floor Plan	12/1/2021	FA1.32	Unit Plans	
12/1/2021	A0.11-3 Building Type 2 Life Safety Plan	12/1/2021	A1.43	Wall Sections	12/1/2021	S2.13c	Building 1 Third/Fourth Floor Framing Plan	12/1/2021	P1.20	Building Type 2 - First Floor Plan	12/1/2021	M3.10	Pool House Plan	12/1/2021	E1.24	Building Type 2 - Roof	12/1/2021	FA1.33	Unit Plans	
12/1/2021	A0.11-4 Building Type 2 Life Safety Plan	12/1/2021	A1.44	Wall Sections	12/1/2021		Building 1 Roof Framing Plan	12/1/2021	P1.21	Building Type 2 - Second Floor Plan	12/1/2021	M5.10	Maintenance & Car Wash Building	12/1/2021	E1.30	Unit Plans				
12/1/2021	A0.12 Clubhouse Appendix B	12/1/2021	A1.45	Wall Sections	12/1/2021		Building 1 Roof Framing Plan	12/1/2021	P1.22	Building Type 2 - Third Floor Plan			<u> </u>	12/1/2021	F1.31	Unit Plans				
12/1/2021	A0.12-1 Clubhouse Life Safety Plan	12/1/2021		Wall Sections	12/1/2021		Building 1 Roof Framing Plan	12/1/2021	P1.23	Building Type 2 Fourth Floor Plan				12/1/2021		Unit Plans				
12/1/2021	A0.13 Pool House Appendix B	12/1/2021		Building Stair Plans	12/1/2021		Building 2 Slab Dimension	12/1/2021	P1.24	Building Type 2 Roof Plan				12/1/2021		Unit Plans				
12/1/2021		12/1/2021		3	12/1/2021			12/1/2021	D1.25	Roof Calculations - Building Type 2				12/1/2021	E 1.33	Clubhouse Plan Lighting		<u> </u>		
12/1/2021	A0.14 Maintenance Building Appendix B	12/1/2021	1 1 1	Building Stair Plans	12/1/2021		Building 2 Foundation Plan	12/1/2021	P1.25					12/1/2021	E2.10	Clubhouse Plan Lighting Clubhouse Plan Power				
	A0.15 Compactor Enclosure Appendix B			Building Stair Plans			Building 2 Foundation Plan			Unit Plans					E2.11					
12/1/2021	A0.20 UL Details	12/1/2021	A1.52	Stair Section	12/1/2021	S2.22a	Building 2 Second Floor Foundation Plan	12/1/2021	P1.31	Unit Plans				12/1/2021	E2.12	Clubhouse Riser & Panel Schedule				
12/1/2021	A0.21 UL Details	12/1/2021	A1.53	Enlarged Stair Details	12/1/2021	S2.22b	Building 2 Second Floor Foundation Plan	12/1/2021	P1.32	Unit Plans				12/1/2021	E3.10	Pool House Plan				
12/1/2021	A0.22 UL Details	12/1/2021	A1.54	Enlarged Stair Details	12/1/2021		Building 2 Third/Fourth Floor Framing Plan	12/1/2021	P1.33	Unit Plans				12/1/2021	E4.10	Dumpster Enclosure Plan				
12/1/2021	A0.23 UL Details	12/1/2021	A1.55	Stair Section	12/1/2021	S2.23b	Building 2 Third/Fourth Floor Framing Plan	12/1/2021	P2.10	Clubhouse Plan				12/1/2021	E5.10	Maintenance & Car Wash Building				
12/1/2021	A0.24 UL Details	12/1/2021	A1.60	Enlarged Details	12/1/2021	S2.24a	Building 2 Roof Framing Plan	12/1/2021	P3.10	Pool House Plan				12/1/2021	E6.01	Building Type 1 Electrical Panel Schedules & Riser				
12/1/2021	A0.25 UL Details	12/1/2021	A1.61	Enlarged Details	12/1/2021	S2.24b	Building 2 Roof Framing Plan	12/1/2021	P5.10	Maintenance & Car Wash Building				12/1/2021	E6.02	Building Type 2 Electrical Panel Schedules & Riser				
12/1/2021	A0.26 UL Details	12/1/2021	A1.62	Enlarged Details	12/1/2021	S2.31	Clubhouse Foundation	xsw	P6.01	Plumbing Risers				12/1/2021	E6.03	Panel Schedules				
12/1/2021	A0.27 UL Details	12/1/2021	A1.63	Enlarged Details	12/1/2021	S2.32	Clubhouse Roof Plan													
12/1/2021	A0.30 Project Notes	12/1/2021	A1.64	Enlarged Details	12/1/2021	S2 33	Miscellaneous Buildings Foundation Plans						_							
12/1/2021	A0.31 Project Notes	12/1/2021	A1.65	Door & Window Details	12/1/2021	S2.34	Miscellaneous Buildings Roof Plans		_											
12/1/2021	,	12/1/2021			12/1/2021	C2.04	Foundation Sections & Details						+							
12/1/2021	A1.10-L Building Type 1-L First Floor Plan	12/1/2021		Elevator Section & Details	12/1/2021	S4.01	Framing Sections & Details													
	A1.11-L Building Type 1-L Second Floor Plan		A2.10	Clubhouse Floor Plan		54.01														
12/1/2021	A1.12-L Building Type 1-L Third Floor Plan	12/1/2021	A2.11	Clubhouse Roof Plan	12/1/2021	\$4.02	Framing Sections & Details													
12/1/2021	A1.13-L Building Type 1-L Fourth Floor Plan	12/1/2021	A2.12	Clubhouse Exterior Elevations	12/1/2021	S5.01	Shearwall Typical Details													
12/1/2021	A1.14-L Building Type 1-L Roof Plan	12/1/2021	A2.13	Clubhouse Exterior Elevations	12/1/2021	S5.02	Shearwall Typical Details													
12/1/2021	A1.10-R Building Type 1-R First Floor Plan	12/1/2021	A2.14	Clubhouse Enlarged Plans																
12/1/2021	A1.11-R Building Type 1-R Second Floor Plan	12/1/2021	A2.15	Clubhouse Interior Elevations																
12/1/2021	A1.12-R Building Type 1-R Third Floor Plan	12/1/2021	A2.16	Clubhouse Wall Sections																
12/1/2021	A1.13-R Building Type 1-R Fourth Floor Plan	12/1/2021	A2.17	Clubhouse Wall Sections																
12/1/2021	A1.14-R Building Type 1-R Roof Plan	12/1/2021	A2.18	Clubhouse Wall Sections	1															
12/1/2021	A1.15 Building Type 1 Exterior Elevations	12/1/2021	A2.19	Clubhouse Wall Sections	+															
12/1/2021	A1.16 Building Type 1 Exterior Elevations	12/1/2021		Clubhouse Mailbox Details	+						+									
12/1/2021	A1.20 Building Type 2 First Floor Plan	12/1/2021		Clubhouse Door & Window Schedules																
12/1/2021	A 1.20 Building Type 2 First Floor Flan	12/1/2021		Exercise the second at the second sec									+							
12/1/2021	A1.21 Building Type 2 Second Floor Plan	12/1/2021		Pool House Floor Plan	+															
	A1.22 Building Type 2 Third Floor Plan	12/1/2021		Pool House Roof Plan																
12/1/2021	A1.23 Building Type 2 Fourth Floor Plan			Pool House Exterior Elevations																
12/1/2021	A1.24 Building Type 2 Roof Plan	12/1/2021		Pool House Details & Interior Elevations																
12/1/2021	A1.25 Building Type 2 Exterior Elevations	12/1/2021		Pool House Details																
12/1/2021	A1.26 Building Type 2 Exterior Elevations	12/1/2021		Maintenance & Carwash Building																
12/1/2021	A1.27 Building Type 2 Exterior Elevations	12/1/2021		Dumpster Enclosure Layout																
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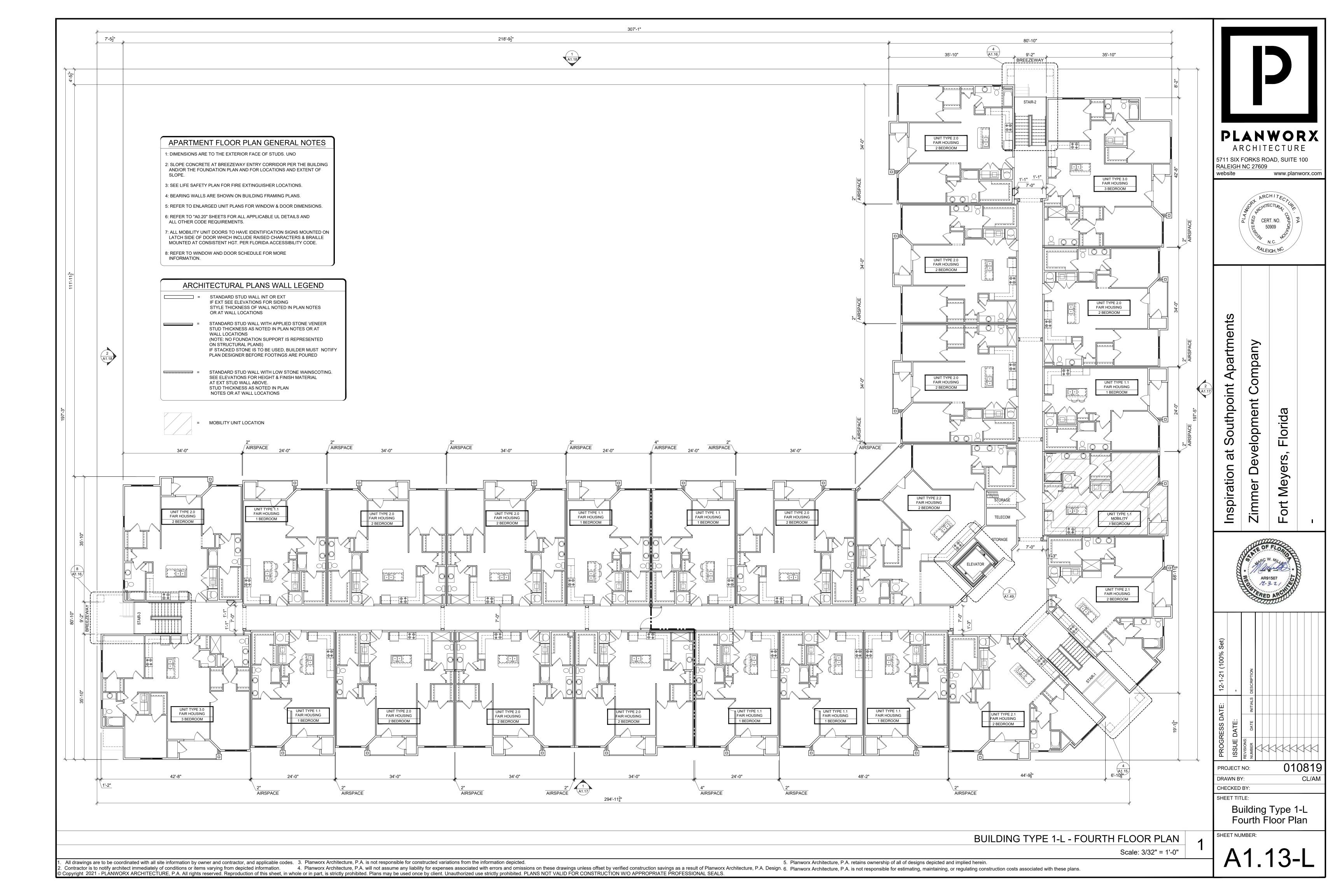
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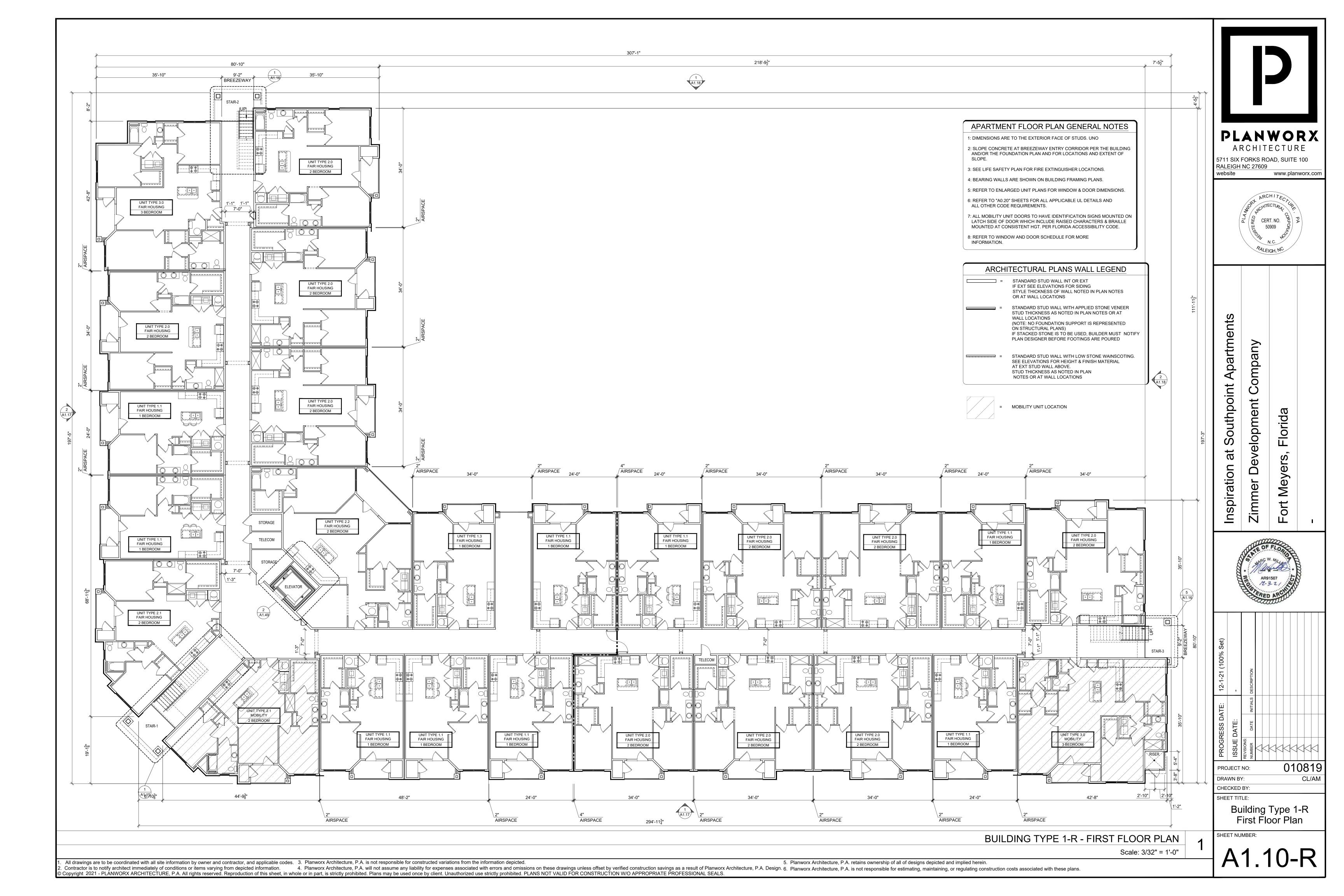
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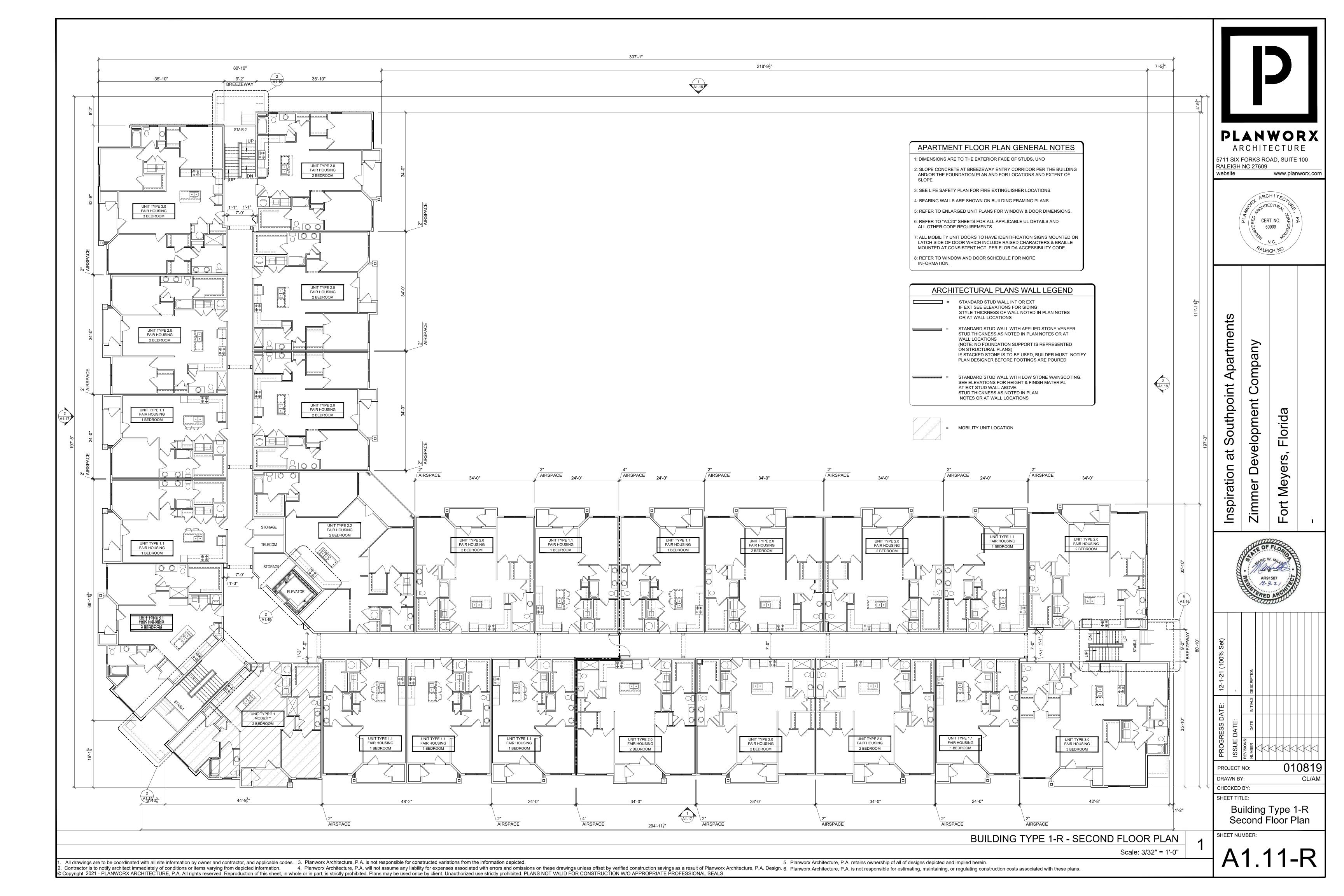


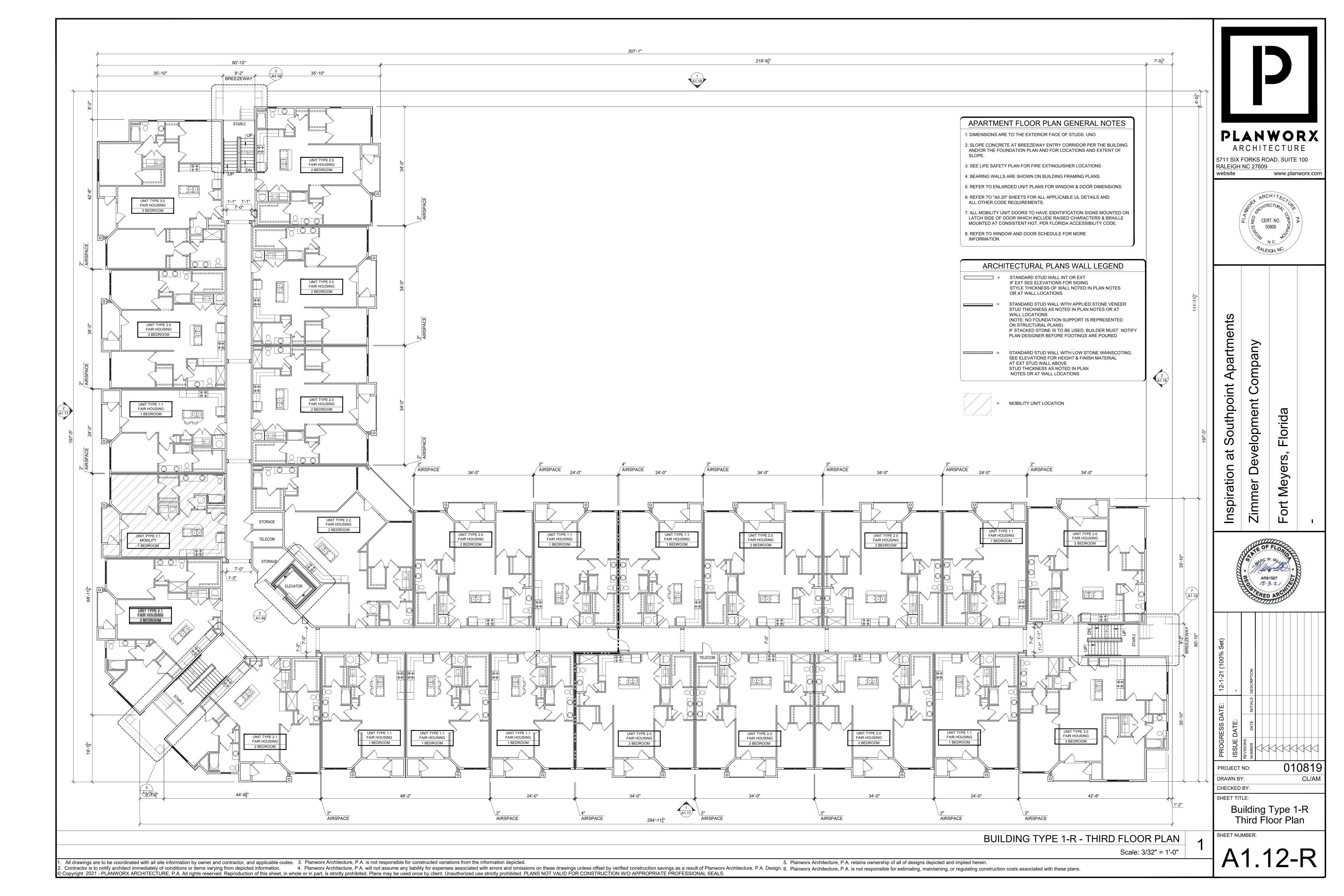


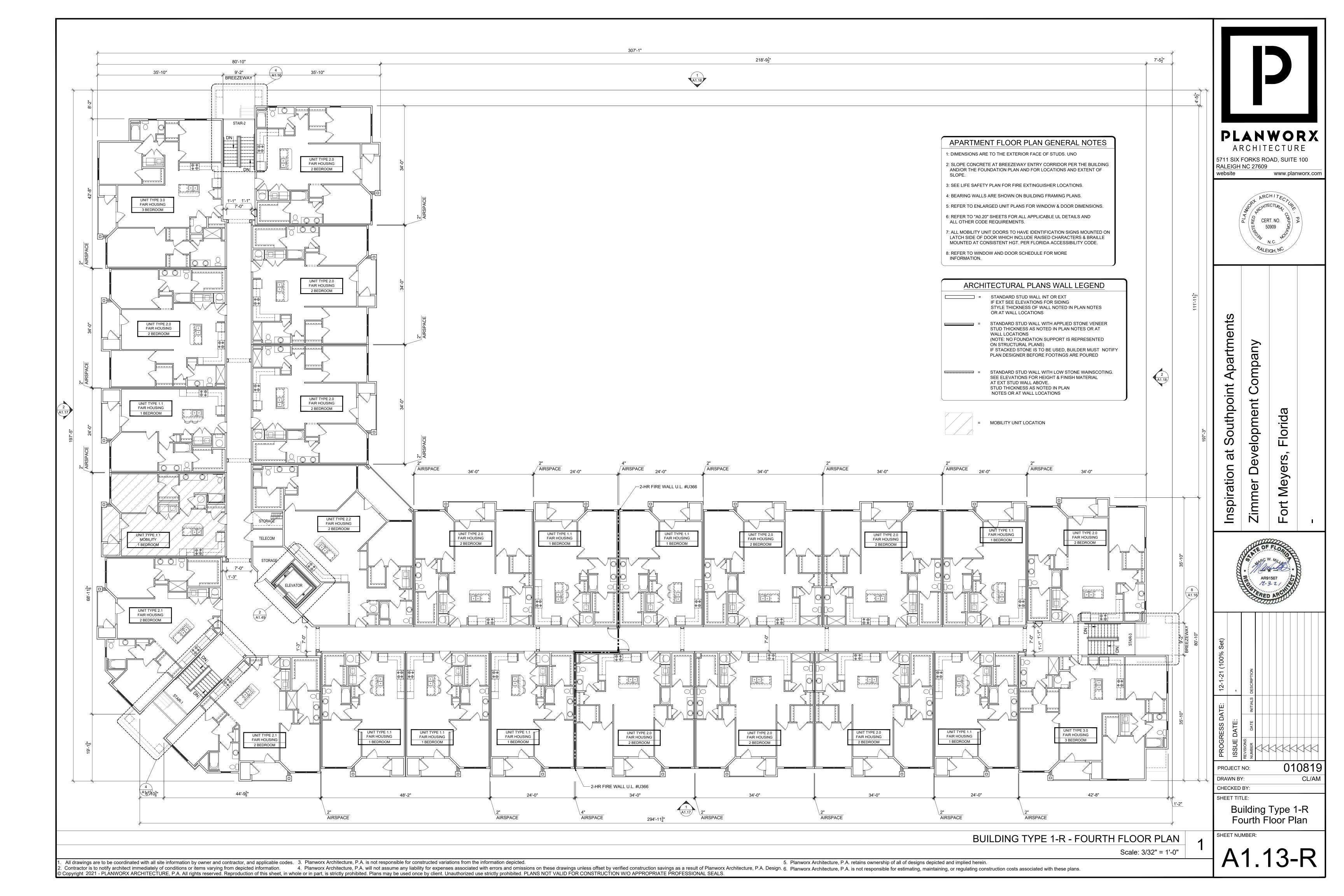


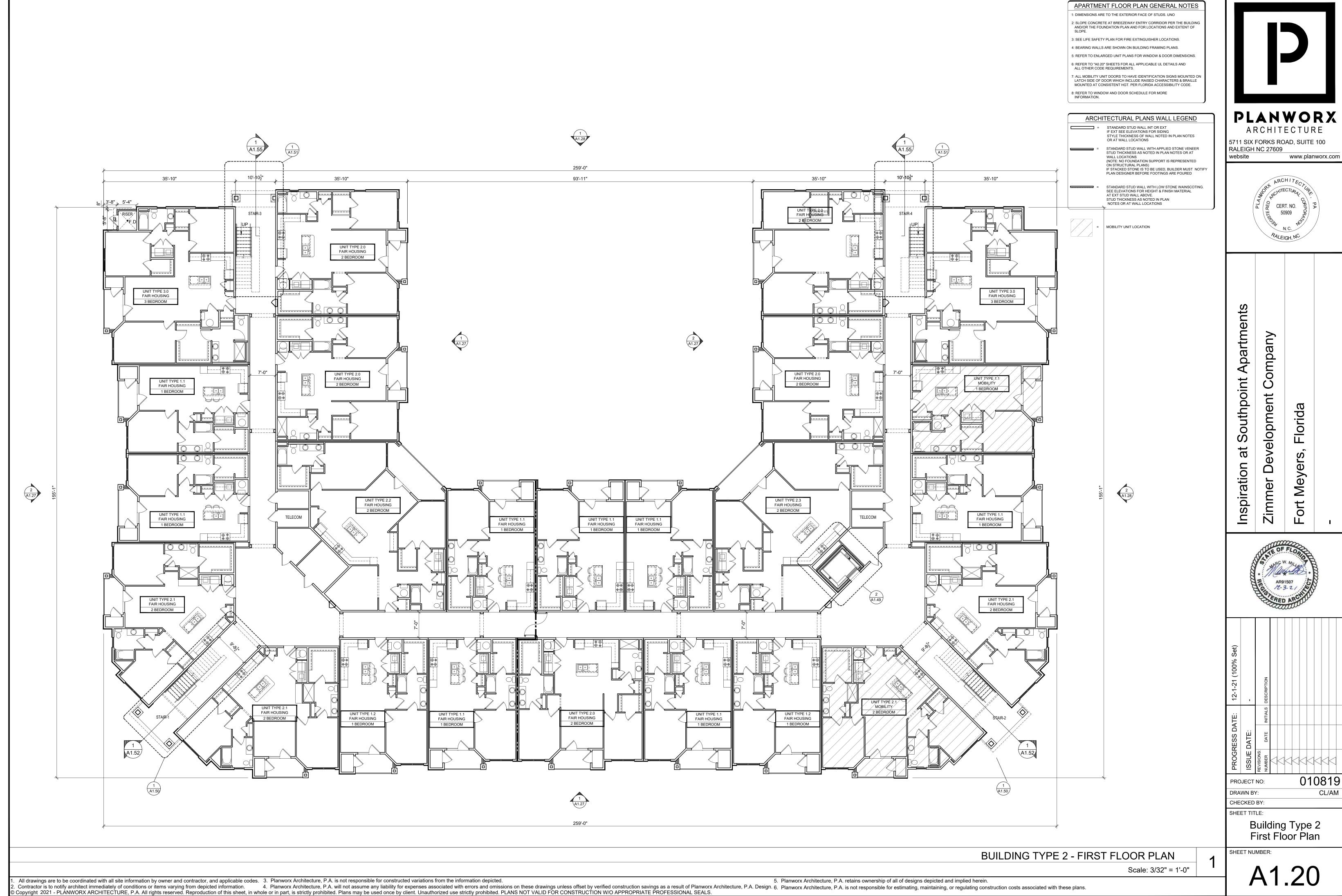




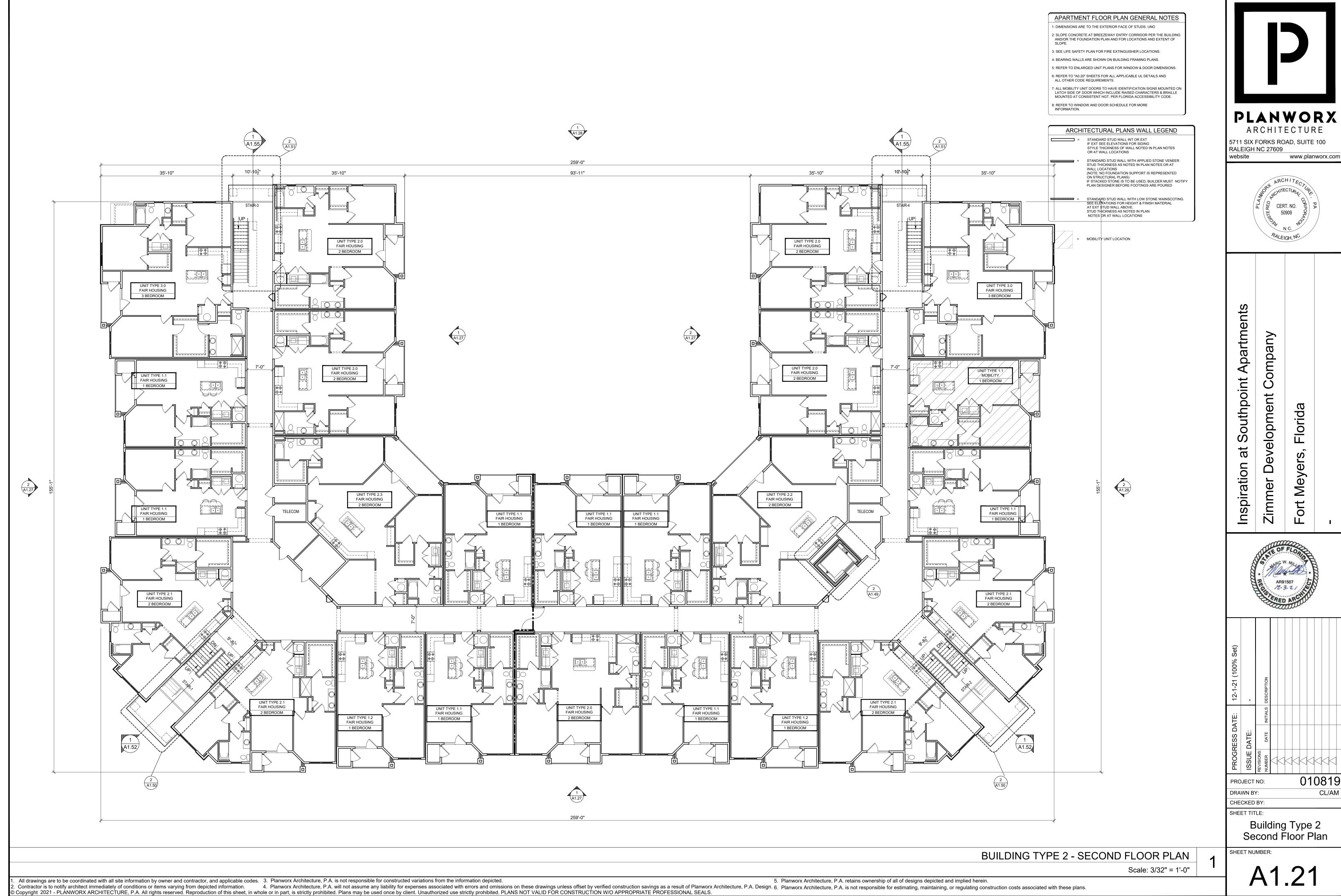


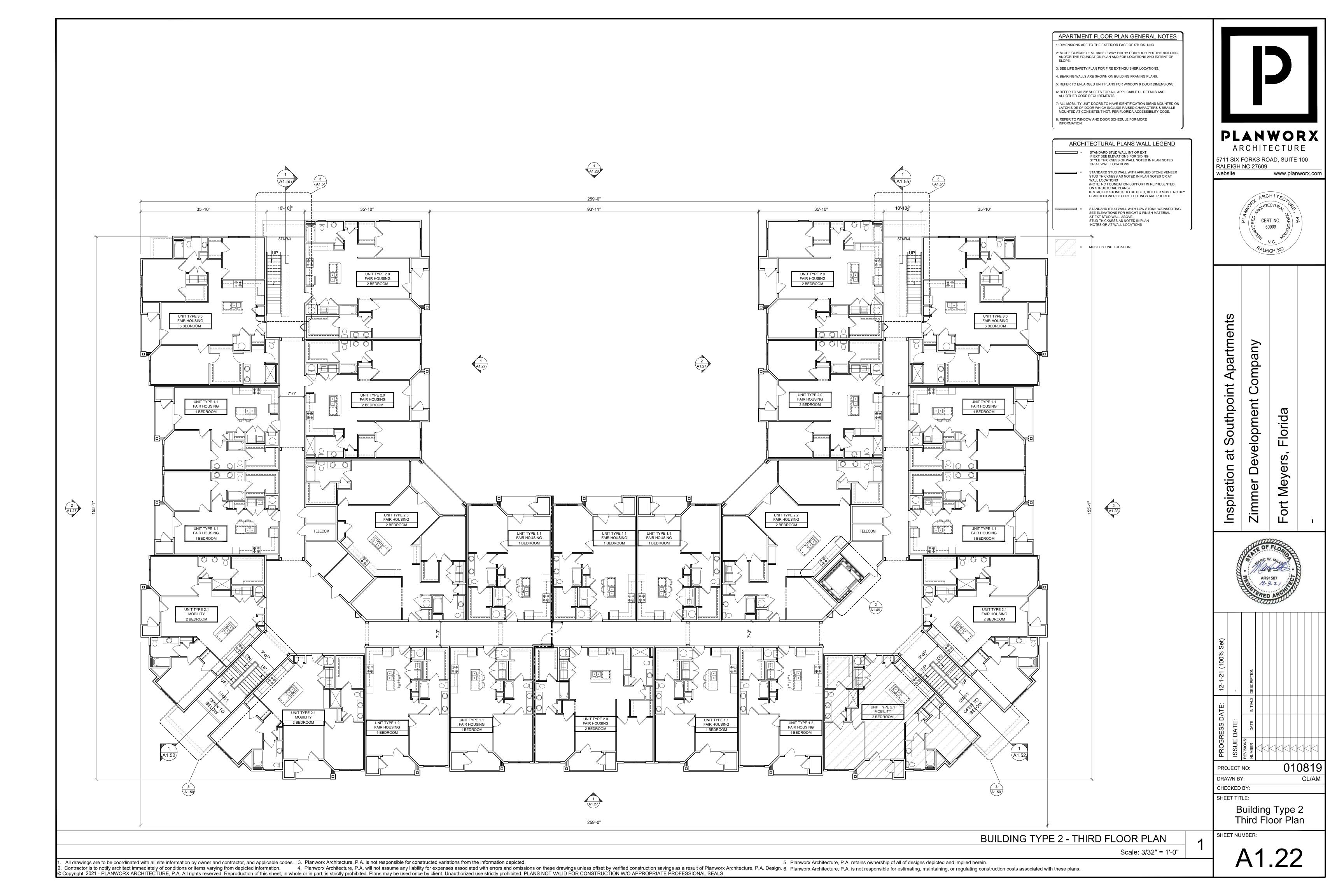


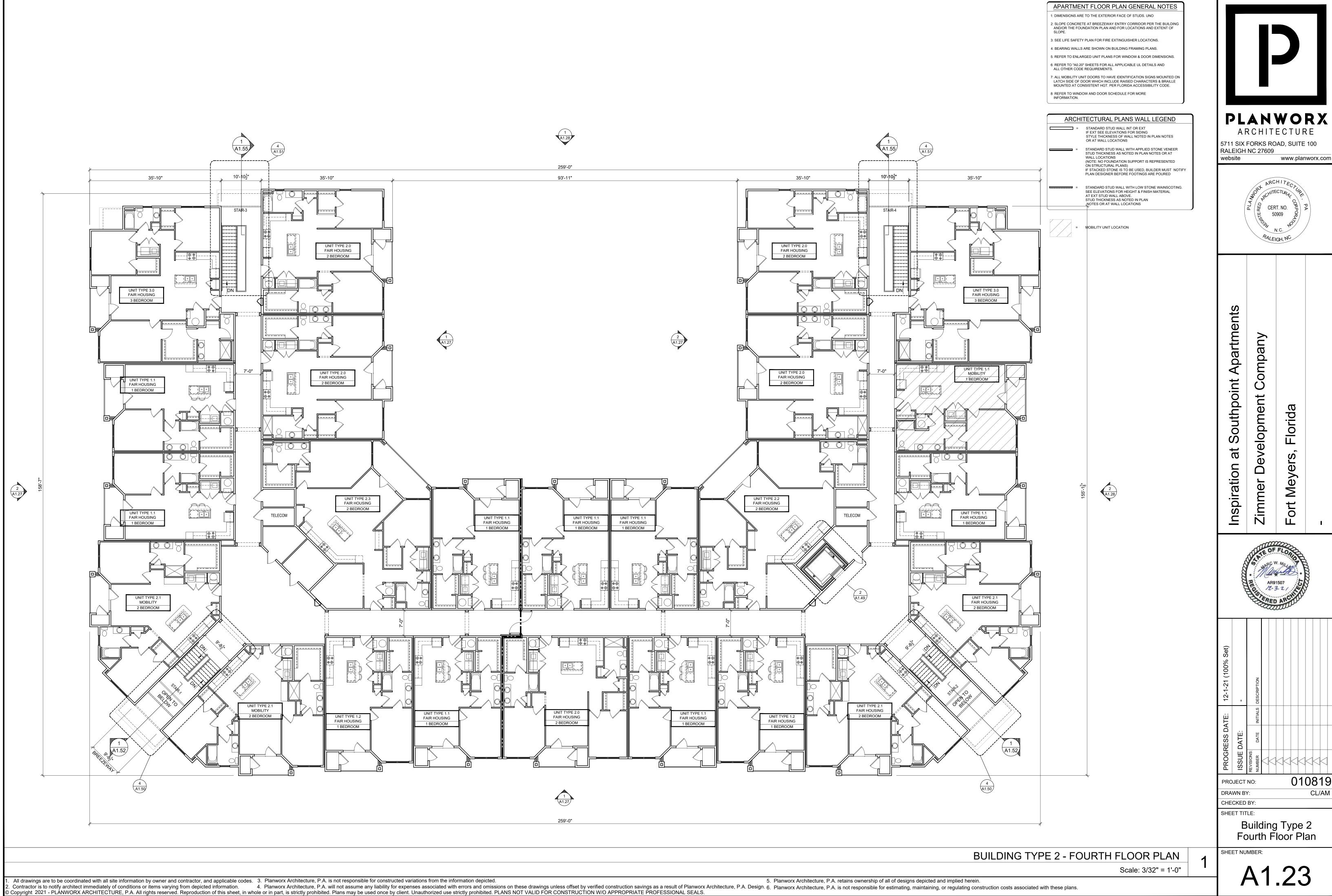




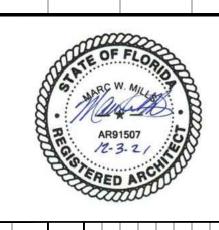
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