

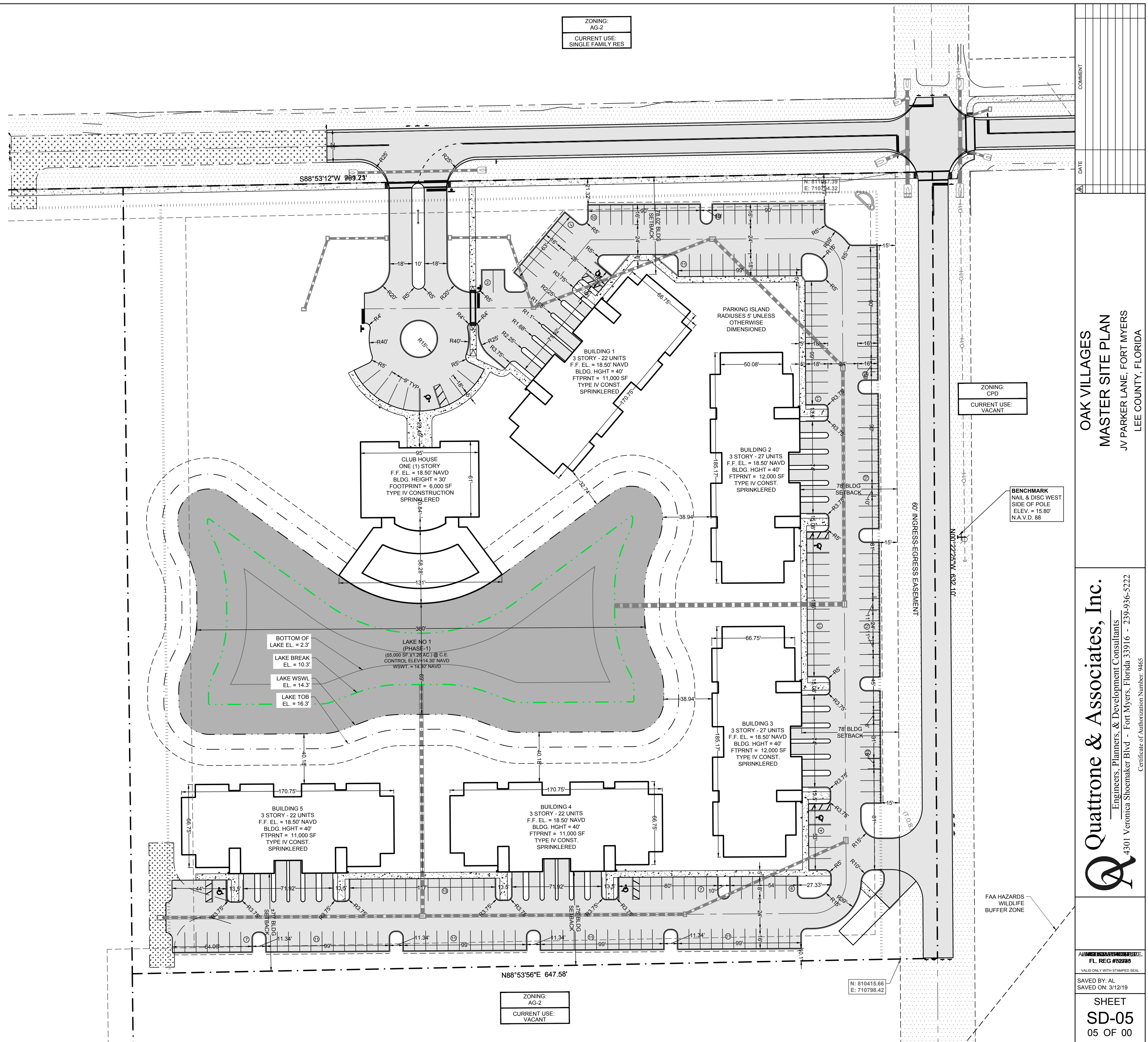
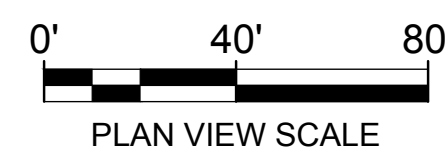
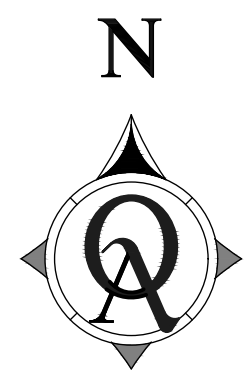
LAND USE BREAKDOWN:			
TOTAL SITE AREA	410,308 SF	9.42 AC.	
BUILDING AREA	62,085 SF	1.43 AC.	15.13%
PAVEMENT AREA (ON-SITE)	92,206 SF	2.12 AC.	22.47%
LAKE WATER SURFACE AREA	54,176 SF	1.24 AC.	13.20%
CONCRETE AREA	7,307 SF	0.17 AC.	1.78%
OPEN SPACE	205,154 SF	4.71 AC.	50.00%
TOTAL IMPERVIOUS AREA	161,598 SF	3.71 AC.	39.38%
TOTAL PERVIOUS AREA	248,710 SF	5.71 AC.	60.62%
			100.00%

SITE DEVELOPMENT REQUIREMENTS:		
REQUIRED	PROVIDED	
ROAD - CRYSTAL DR / JV PARKER LN	25 FT	85 FT
ROAD - BLAKINGHAM RD	110 FT	110 FT
WEST SIDE - SOUTH PROPERTY LINE	110 FT	110 FT
SIDE PROPERTY LINES	20 FT	20 FT
WATERBODY	25 FT	25 FT
MAXIMUM LOT COVERAGE	60%	45%
MINIMUM OPEN SPACE	50%	50%
MAX BUILDING HEIGHT	35/45 FT **	28/38 FT

PARKING CALCULATIONS: LDC 34-2020		
RESIDENTIAL MULTI-FAMILY		
PARKING SPACES REQUIRED: 2 SPACES / UNIT + 10% FOR GUEST PARKING		
TOTAL NUMBER OF UNITS PROVIDED		120
TOTAL NUMBER OF SPACES REQUIRED ( 240 + 24 ) =		264
TOTAL NUMBER OF SPACES PROVIDED		264
RECREATIONAL FACILITIES (INDOOR)		
PARKING SPACES REQUIRED: 4 SPACES PER 1000 SF		
TOTAL SQUARE FEET		6,000
TOTAL NUMBER OF SPACES REQUIRED		24
TOTAL NUMBER OF SPACES PROVIDED		24
OVERALL TOTAL NUMBER OF SPACES PROVIDED : 264 + 24 =		288
TOTAL NUMBER OF HANDICAP SPACES PROVIDED *		9
5% REDUCTION FOR BIKEWAYS / WALKWAYS (LDC 34-2020 (c)(3)) ADJUSTED PARKING PROVIDED		
* INCLUDED IN OVERALL TOTAL SPACES PROVIDED		

SITE DATA:	
MINIMUM PAVEMENT ELEV.	CONTROL ELEVATION:
ELEV. 16.85' NAVD	ELEV. 14.30' NAVD
MINIMUM FINISH FLOOR ELEVATION:	PERIMETER BERM ELEVATION:
ELEV. 18.50' NAVD	ELEV. 17.80' NAVD
AVERAGE EXISTING GROUND ELEVATION:	STRAP NUMBERS:
ELEV. 14.7' NAVD	17-45-25-01-00000.0210
ZONING:	17-45-25-01-00000.015A
RPD (CYPRESS VILLAGE (Z-15-017))	17-45-25-01-00000.0140
	17-45-25-01-00000.013A
SOILS:	FLUCCS CODE:
34 (MALABAR FINE SAND)	41A/212 (PINE/OAK HORSE PASTURE DISTURBED)
33 (OLDSMAR SAND)	500 (CATTLE POND) 213 (WOODLAND PASTURE)
	110 (RESIDENTIAL) 740 (DISTURBED)
	212 (HORSE PASTURE) 742 (BORROW PIT)
	211 (IMPROVED PASTURE)
FEMA FLOOD ZONE:	
THIS PROPERTY IS LOCATED FLOOD ZONE X , & AE BASE FLOOD ELEV. = 15.0 (NAVD) IN FIRM COMMUNITY 125124 PANEL NO. 0429 MAP #: 12071C0429F DATED: 8/28/2008	

SITE PLAN LEGEND:	
	PROPOSED PAVEMENT
	PROPOSED CONCRETE / WALKS
	PROPOSED BUILDING LINE
	PAVEMENT TO BE DEMOTED
	PROPOSED GRAVEL PARKING
	PAINTED HANDICAP PARKING SYMBOL
	PROPOSED STOP SIGN
	NUMBER OF PARKING SPACES IN ROW
	SIGN AND POST
	CENTER LINE
	EXST. FEATURES (ROADS, WALKS, ETC.)
	RIGHT OF WAY
	SITE BOUNDARY
	FENCE (CHAIN LINK)
	PROJECT PHASE LINE
	EASEMENTS
	DETECTABLE WARNING PER FDOT INDEX 304
	PAINTED TRAFFIC ARROWS



OAK VILLAGES  
MASTER SITE PLAN  
JV PARKER LANE, FORT MYERS  
LEE COUNTY, FLORIDA

Quattrone & Associates, Inc.  
Engineers, Planners, & Development Consultants  
4301 Veronical Shoemaker Blvd - Fort Myers, Florida 33916 - 239-936-5222  
Certificate of Authorization Number: 9465

ASSEMBLED AND NUMBERED  
FL REG # 92000  
VALID ONLY WITH STAMPED SEAL  
SAVED BY: AL  
SAVED ON: 3/12/19  
SHEET  
SD-05  
05 OF 00

C:\0-01-01-PROJECTS\OAK VILLAGES\03-NEW PARCEL AREA\100504-BASE